

City of Syracuse Zoning Administration

Application for **PROJECT SITE REVIEW** **SITE PLAN REVIEW-LAKEFRONT DISTRICT**

City Hall Commons * Room 101 * 201 E. Washington Street * Syracuse, NY 13202-1426 * 315-448-8640

For Office Use: Filing Date: Case Number: Zoning District:

LIST ALL PROPERTIES INVOLVED IN YOUR PROJECT:

TAX MAP SECTION, BLOCK, and LOT information from Assessment Department (call 448-8280)

Section: Block: Lot:

Section: Block: Lot:

Section: Block: Lot:

PROJECT INFORMATION:

Existing Use

Proposed Use

New Construction Hotel

Multi-Unit Residential Building

New Addition _____

Exterior Alteration _____

Demolition Hotel

Multi-Unit Residential Building

PLEASE DESCRIBE ALL ASPECTS OF YOUR PROJECT IN DETAIL:

See attached Opus at Syracuse - Project Overview dated July 29, 2022.

OWNER INFORMATION:

Name(s):

Mailing Address:

Zip: Daytime phone: Home phone:

E-mail:

APPLICANT INFORMATION:

(Copy of contract to purchase must be included with application)

Contract Purchaser(s) Tenant Co-Applicant Other (please state):

Name(s): Opus Development Company, L.L.C. (Athony Davidson, Sr. Director Real Estate Dev.)

Mailing Address: 9700 Higgins Road, Suite 900, Rosemont, IL

Zip: 60018 Home phone: Day Phone 1(847) 318-1616

E-mail: anthony.davidson@opus-group.com

REPRESENTATIVE INFORMATION:

(Only if involved in this application)

Attorney Architect Contractor Other

Name(s): Opus AE Group, LLC (Dean Newins, President and CEO)

Mailing Address: 10350 Bren Road West, Minnetonka, MN

Zip: 55343 Telephone: 1(952) 656-4610 E-mail: dean.newins@opus-group.com

SIGNAGE INFORMATION:

Size and location of all existing AND proposed signage (use additional sheet if necessary)

A sign plan is required, see attachment. (Wall, Ground, Projecting, Window)

Size	Location	Type
Size	Location	Type
Size	Location	Type

DECLARATION:

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

[Signature] 8/26/22
Signature of CURRENT PROPERTY OWNER Date
(or owner's LEGAL representative)

Scholar Syracuse LLC (Gary Brandeis, President)

PRINT NAME OF PROPERTY OWNER

*Please note that if referrals are necessary for this application, additional copies of all required materials will be requested.

FOR STAFF USE ONLY

REFERRAL NEEDED

ONONDAGA COUNTY PLANNING BOARD SYRACUSE LANDMARK PRESERVATION BOARD (This project is located within _____ Historic District; is listed individually in the National Register of Historic Places; is Eligible for inclusion in the National Register of Historic Places; or is architecturally significant) OTHER CITY/COUNTY/STATE AGENCY OR DEPARTMENT(S) _____

Opus at Syracuse - Project Overview

29 JUL 2022

The proposed project is located on a portion of the Scholar Hotel site, which is located at 1060 E. Genesee Street. A lot split will create two parcels: one for the 7-story Mayflower building and one for the proposed 145-unit residential project. The proposed project will raze the 2-story Genesee Grande structure and construct a 5-level structure (6-level along Madison Street due to existing grades).

The lot split will create a parcel for the Mayflower building that complies with the 40% maximum building coverage required by zoning (10,627sf building footprint / 28,600sf lot area = 37% coverage). The remaining parcel (88,358sf) will be used for the proposed residential project. The proposed footprint of the residential project will be less than 65% of lot area (65% = 58,733sf), the maximum building coverage allowed with premiums.

The project design will create a fully enclosed parking solution on 2 flat plates. The lower level accessed off Madison Street will be used for the residential project. The garage will contain a minimum of 131 parking spaces. The amount provided is 0.9 of the required 1 space/unit parking (145 units). The upper-level parking will be used for the Mayflower. Guests will enter at the existing curb cut along Genesee Street, pass by the entrance and drop off area, before entering the garage. The garage will provide 82 parking spaces matching the 82 units. There are also 4 existing employee surface parking spaces on the west side of the hotel that will remain.

The Zoning Designation is "OB" and the Use is "Apartments." The proposed residential density is approximately 623sf/DU. Far greater than the 425sf/DU minimum. The proposed FAR is approximately 2.2. The proposed project is requesting a waiver for this condition.

The proposed projects north property line will meet or exceed the required 20ft front yard setback along Genesee Street, correcting the non-conforming condition of the existing Genesee Grande. The building will be sited on the south property line to create an approximate 28ft front yard off Madison Street. The required minimum setback is 20ft. This will improve site lines to Grace Church from the west. A landscape buffer is proposed along the eastern edge of the proposed project and the adjacent church parking lot.

The project will provide a balanced mix of unit types which will range from studio/alcove units to four-bedroom units. Certain units will have private balconies off their living space.

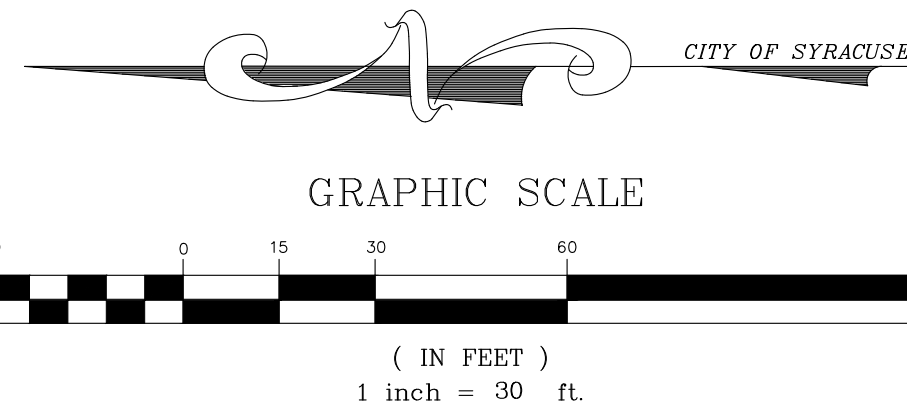
The project will have indoor and outdoor amenities for the residents. The lower parking level will have an entrance and lobby for residents and bike storage, entering from Madison Street. The 1st floor of the project will have the main residential entrance and lobby with a mailroom, fitness facility and gathering space. The 2nd floor will have a club room adjacent an outdoor courtyard wrapped by units. The courtyard will have a pool and community gathering areas. An additional library and lounge with an outdoor terrace and planting buffer will also be located on the 2nd floor. The top floor will have a small terrace and lounge area on the southeast corner. This detail will help with the buildings massing along Madison Street.

Premiums & Waivers

The project is being submitted for site review and the applicant requests an increase in the maximum lot coverage based on the following premiums.

1. Maximum Lot Coverage (Buildings or Structures)

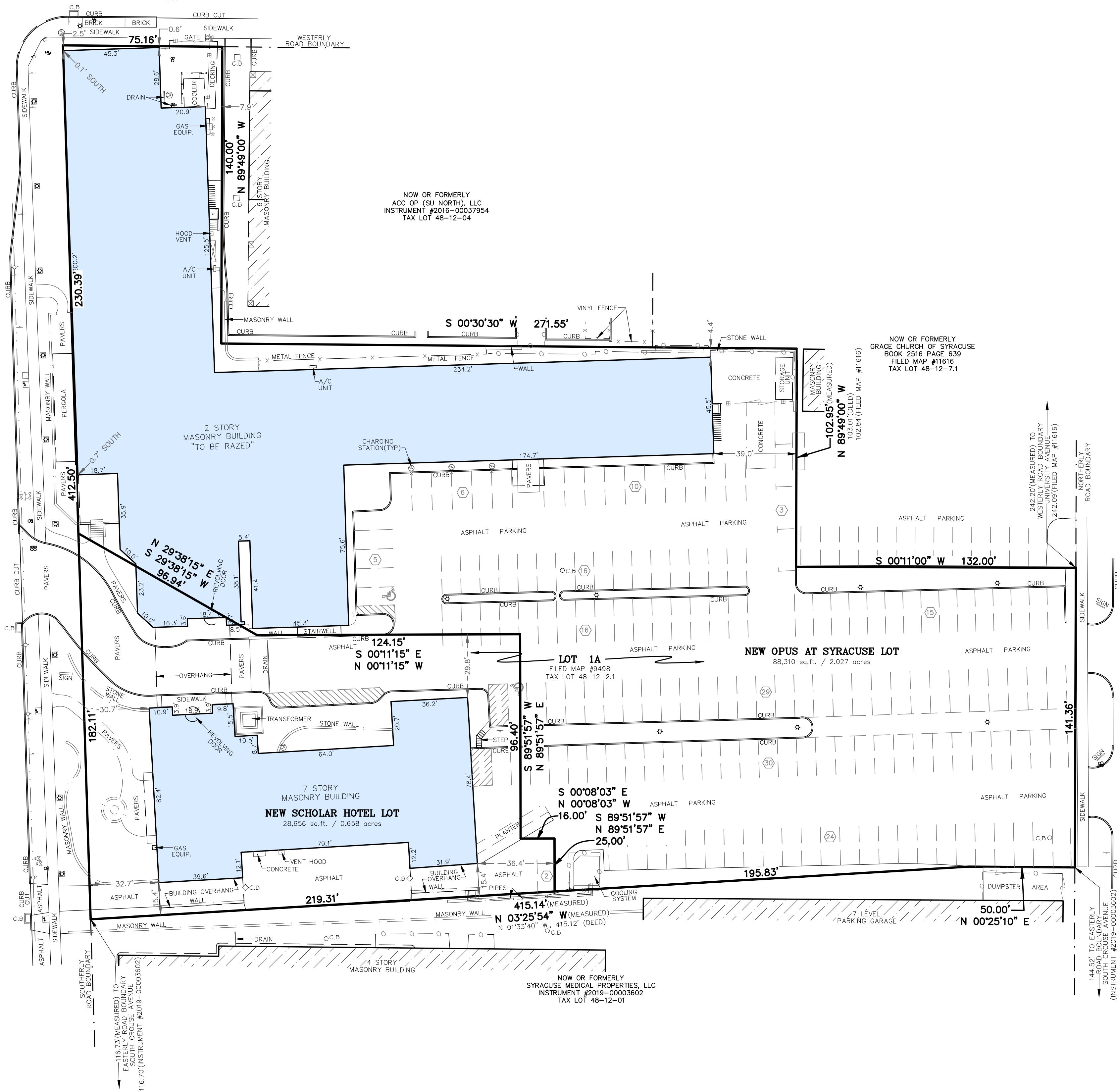
The code states: No buildings or structures shall hereafter be erected or structurally altered the aggregate area of which, measured by the projection to the ground of their greatest outside dimensions, shall exceed 40% of the area of the lot occupied, except where premiums are granted for the provisions of amenities and/or an approved site plan. The maximum lot coverage, with premiums included, shall not exceed 65%. Amenities provided to gain premiums



UNIVERSITY AVENUE
S 00°30'30" W
66' RIGHT OF WAY

EAST GENESEE STREET
N 86°11'00" E
99' RIGHT OF WAY

MADISON STREET
N 89°49'00" W
66' RIGHT OF WAY



ZONING INFORMATION

Zoned - OB - Office District, Class B

Permitted Uses:
Apartment Houses, Hotels and Motels

Minimum Yard Requirements:
Front Yard - 20 feet
Side Yard - 4 feet
Rear Yard - 5 feet

Maximum Lot Coverage - 40 percent

Maximum Parking Surface Coverage - 80 percent

Residential Density Requirement - 425 square feet per dwelling unit

Floor Area Ratio - 1.5

Minimum Open Space Requirement - 15 percent

Off-Street Parking Requirement:

Motels and Hotels: 1 space for each guest room
Apartment House: 1 space for each dwelling unit

Zoning information from syrgov.net/Zoning_Ordinances.aspx and is subject to interpretation and all zoning information should be verified by the City of Syracuse before use.



LEGEND

- LIGHT POLE - ○
- UTILITY POLE - ◇
- HYDRANT - ◊
- MANHOLE - ⊕
- HANDICAP PARKING - ♿
- DIRECTIONAL ARROW - →
- CATCH BASIN - □
- BOLLARD - ⊕
- WATER VALVE - ⊕
- CLEAN OUT - ⊕
- LIGHT CAN - ⊕
- EXISTING PARKING SIGN - ⊕
- SIGNAL POLE - ⊕
- CROSSWALK POLE - ⊕
- CHAIN LINK FENCE - ○
- WOOD STOCKADE FENCE - ⊕
- FENCE AS LABELED - x
- OVERHEAD UTILITY LINES - - - -
- GUARD RAIL - - - -

Only survey maps with the Land Surveyor's embossed seal are genuine true and correct copies of the surveyor's original work and opinion.
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
Certifications indicated hereon shall apply only to the persons for whom this survey was performed and on their behalf to the title insurance company governing agency and lending institution and to the assignees of the lending institution and/or subsequent owners.
This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain insurance for any subsequent or future grantees.
Survey prepared without the benefit of an abstract.
Location surveys do not include the staking of the property corners except as shown.
No building construction and/or improvements can be performed until the correct applications have been submitted for approval.
No additional field work was performed after October 27, 2021.

APPROVALS

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**OPUS AT SYRACUSE
SUBDIVISION
PRELIMINARY PLAN**

No.	DATE	DESCRIPTION	BY

LEHR
LAND SURVEYORS D.P.C.

116 SALINA STREET - SUITE 6
LIVERPOOL, NEW YORK 13088
315-451-3333
info@lehrandsurveyors.com

I HEREBY CERTIFY THAT THIS IS AN ACCURATE MAP MADE FROM AN ACTUAL SURVEY.

DOUGLAS R. LEHR
LICENSED LAND SURVEYOR
NYSL 49223

RE-SUBDIVISION ON NEW LOT 1A OF A RESUBDIVISION ON PART OF BLOCK No.366, CITY OF SYRACUSE, FILED MAP No.9498
KNOWN AS No.1030-1060 EAST GENESEE STREET, CITY OF SYRACUSE, COUNTY OF ONONDAGA, NEW YORK

FIELD DATE: 27 OCT 2021 MAP DATE: 31 OCT 2022 SCALE: 1"=30' DRAWN BY: KRH

REVISIONS: DRAWING No. 22-J-109

February 03, 2023

City of Syracuse
Office of Zoning Administration
201 E. Washington Street
Room 101
Syracuse, NY 13202

RE: **Opus at Syracuse**
Project Site Review PR-22-24
1030-60 Genesee St E & University
Syracuse, NY 13210

Dear Lisa:

Below please see our written response to the Opus at Syracuse review dated 02/02/23. We have duplicated the original review comments and followed with our response in *italic bold type*.

ZONING OFFICE REVIEW:

DPW – Transportation Planner

2/1/23 Revised plans do not address previous comments. Drive isle along Genesee St is to be located at the facade, outside the ROW to the maximum extent possible. Additional comments and markup provided to Zoning to assist applicant with necessary redesign.

1/12/22 (23?) Additional Comments

The major concern with the proposed site plan is the reorganization of the Genesee Streetscape to produce a large access lane between the building and the curb line, the lane would also encroach significantly into the ROW, which is atypical for this block and not a preferred design. Two options listed below should be reviewed and evaluated by the applicant:

1. If the lane is required due to limits imposed by overhead utilities, undergrounding the utilities should be evaluated. Typical emergency access “Fire” lanes are found along the curbside, within the parking or travel lanes of the “street” (curb to curb.) If other/ additional limitations exist, mitigations should be evaluated that allow for a typical curbside emergency access lane. If determined not feasible, a narrative and related information is to be provided.

Response: The project team has evaluated converting the overhead utilities to underground. Our study determined that this solution is not feasible due to the following factors.

- ***The electrical three phase primary distribution lines appear to be in tension in front of the project site. Removing these poles to underground the primary distribution would likely require re-tensioning the overhead conductors in this circuit at both ends. It is not feasible due to lack of area for guying without undergrounding further back, thereby affecting many more poles in either direction.***
- ***The existing eastern portion of the existing overhead primary line traverses over University Ave. This east/west section of overhead line is electrically connected to the overhead lines traveling north/south along University Ave. The connection point of these lines is in the middle of University Ave. It is not feasible to underground at the eastern portion of the property as there is no way to support that overhead section on University Avenue. Further, this connection point provides an interconnection with National Grid’s network allowing power to be distributed in multiple directions***

- *There is currently a cobra head streetlight on one of the existing poles that would be removed as part of an undergrounding scenario. New lighting would need to be provided in its absence.*
 - *There are no less than eight (8), separate, multi conductor/fiber optic communication lines that are served by these existing utility poles. It is cost prohibitive and would have extensive impacts to a tremendous amount of residents and business on these lines for any kind of relocation process.*
 - *A significant number of underground vaults would be required to facilitate relocation of these overhead facilities and there is concern that adequate space underground for these vaults does not exist and would result in impacts to other existing underground utilities (water, sewer, storm, natural gas, etc.).*
 - *The coordination process with National Grid, Verizon, and others would be extensive and time consuming. There is no guarantee that National Grid would even permit the undergrounding of these lines even if the factors above could be overcome.*
 - *Due to zoning setbacks and existing curb line, the project would not conform to FCNYS Section D105.3. Proximity to building states: One or more of the required access routes meeting this condition shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building. The distance from the curb line to the 20-foot setback is greater than 48 feet.*
2. If constructing a new access lane is necessary it should be located adjacent to the façade, and in a manner that keeps the need to encroach into the ROW to an absolute minimum. This approach should include reorienting the proposed foundation plantings to provide a planted buffer between the lane and the sidewalk. Significant deterrents would be required to allow access only by Fire Dept vehicles through gated entry points with knoxbox or similar at both ends.

Response: The proposed fire lane design has been moved south and out of the ROW to the greatest extent possible. FCNYS, Section D105.3 Proximity to building states: One or more of the required access routes meeting this condition shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building. A planted buffer has been provided between the fire lane and the sidewalk. A gated controlled by the fire department via a knoxbox will be installed and both ends of the fire lane (See Sheet C-101 & PP0.3)

12/22/22

- Fire Access lane proposed along Genesee Street produces incongruous streetscape and requires revision.
- Fire Access lane to be accommodated on site, outside of ROW, and include access controls to prevent errant parking/loading etc, signage is not sufficient. If Fire Access lane cannot be accommodated on site the proposed building layout is to be changed. Fire Access lane cannot make use of ADA corner curb ramps.

Response: Building wing facing Genesee Street has been modified to create a separate and dedicate sidewalk and fire lane. The fire lane has been moved south to the greatest extent possible. These two areas are separated by a planting area that runs the length of Genesee Street. The fire lane includes a gate at each end, controlled by a knoxbox to prevent errant parking/loading. The fire access point will be accessed by a mountable curb at the east end of Genesee Street. The fire lane will not make use of the existing ADA corner curb ramp. (See Sheet C-101 & PP0.3.)

- Genesee St curb-cut/driveway to be dimensioned on revised plans. 26' is max width permissible for this Fire Access point.

Response: Our design utilizes the existing curbcut along Genesee Street. The fire lane itself will maintain a 26ft wide dimension. (See Sheet C-101)

- Driveway to be signed No Stopping Anytime, both sides, North of median/retention area

Response: Driveway will be signed "No Stopping Anytime", both sides, north of median/retention area.

- ADA compliant leadwalks required on both sides of drop off loop. 6'+ wide (to accommodate snow storage) around loop area with raised curb or bollard to prevent errant parking/overhang/obstruction of lead walks,

continuing directly to the Genesee St sidewalk on both sides of opening.

Response: An ADA compliant 6ft wide leadwalk with raised curb extends around the drop off loop. A leadwalk has been provided on the east side of the driveway for the proposed project extending from Genesee Street to the building entrance. This leadwalk has been increased to 6ft wide. An existing leadwalk currently serves the Mayflower from the Genesee Street sidewalk. (See Sheet C-101 & PP0.3)

- Leadwalks to provide continuous loop around drop off area, including additional crosswalk(s) at garage opening(s)

Response: A continuous leadwalk loop has been provided around the drop off area and a crosswalk has been provided at the garage opening. (See Sheet C-101 & PP0.3)

- Single direction opening to garage along Madison St to be 12' max width. Opening to conform to NYSDOT Type 3 entrance spec, no radial curb, driveway to be curbed.

Response: The vehicle entrance along Madison supports two-way traffic. The minimum width drive of 22' has been provided. Opening to conform to NYSDOT Type 3 entrance spec. As an added note, this design removes and existing curbcut along Madison, improving pedestrian safety. (See Sheet C-101 & PP0.3)

- Any planting bed near/in ROW must contain hard edging and be shown on plans, no landscape stone is permissible in the ROW.

Response: Planting beds near/in ROW are retained by the adjacent concrete areas. (See Sheet C-101 & C-103)

- Madison St to construct continuous trench with soil decompaction to 3' depth at direction of City Arborist for street tree installation.

Response: Will comply

- Any commercial space must have exterior bike parking provided using 3 staple-style (no-wave style) racks in a conspicuous and well-lit area near the main customer entrance.

Response: There is no commercial space on this project.

Fire Prevention – Zoning

Construction, alteration, or demolition shall adhere to applicable sections of the 2020 FCNYS and the 2020 BCNYS, Chapter 33 of the 2020 FCNYS and other provisions as necessary to secure the intent of the chapter.

Response: Will Comply

2/2/22 (23?) – comments based on 1/20/23 submission Site Plan sheet # PP0.3

Proposed Aerial Fire Apparatus Access Road along E Genesee Street does not meet Section D105.2 of the 20209 Fire Code of NYS. The 26' width requirement should be continuous and unobstructed in the immediate vicinity of that portion of the building. The width is reduced to less than 26' in one area. Plans do not document the setback distance from the face of the building to the proposed access lane for its entirety.

Response: Plans have been modified to create a continuous 26' wide fire access lane. Dimensions have been added to the plan to confirm that the 15' minimum distance from building to fire access lane and 26' fire access lane is consistent for the entire length of the lane. Per direction from DPW – Transportation, a gate has been added to each end of the fire lane. The gate will be controlled by a knoxbox. (See Sheet C-101 & PP0-3)



If you have any questions or should you require further clarification to these responses or drawings, please feel free to contact me directly at (952) 656-4610.

Sincerely,

Opus AE Group, L.L.C.

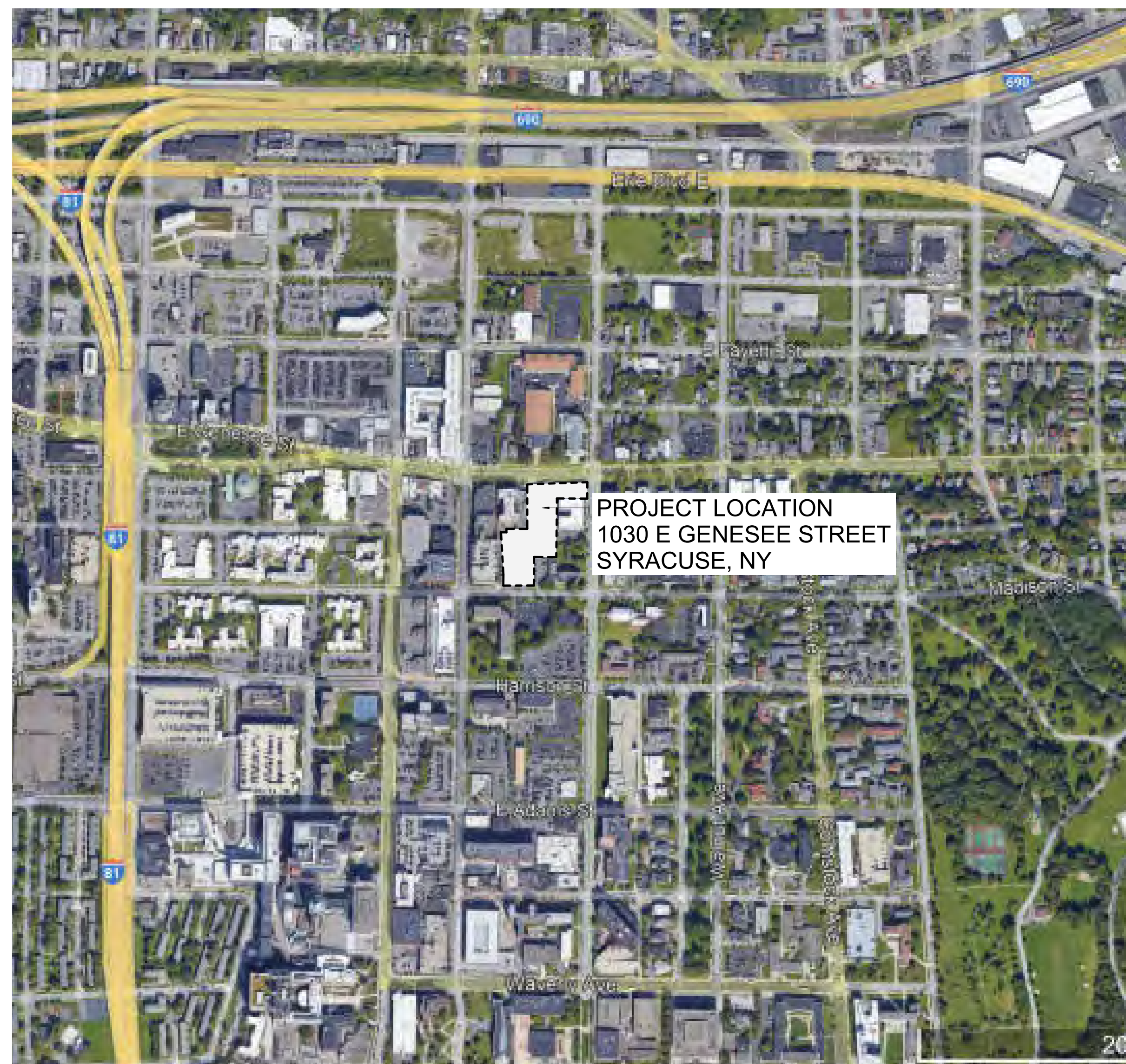
A handwritten signature in black ink, appearing to read "D. Newins", enclosed in a thin black rectangular border.

By: Dean S Newins, AIA
Its: President

OPUS AT SYRACUSE

DRAWING LIST

- 00 - COVER
- CC0.0 COVER
- 01 - CIVIL
- C-100 DEMOLITION PLAN
- C-101 SITE PLAN
- C-102 GRADING AND DRAINAGE PLAN
- C-103 LANDSCAPE PLAN
- 3 - ARCHITECTURE
- PP0.1 EXISTING CONDITIONS
- PP0.2 PROJECT DATA
- PP0.3 SITE PLAN
- PP1.0 LOWER LEVEL 01 PLAN
- PP1.1 GROUND FLOOR PLAN
- PP1.2 SECOND FLOOR PLAN
- PP1.3 THIRD & FOURTH FLOOR PLAN
- PP1.5 FIFTH FLOOR PLAN
- PP1.6 ROOF PLAN
- PP3.0 EXTERIOR ELEVATIONS
- PP3.1 EXTERIOR ELEVATIONS
- PP3.2 MATERIALS ILLUSTRATED
- PP4.0 BUILDING SECTIONS



LOCATION MAP

NOTE: LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SEE CIVIL & LANDSCAPE DRAWINGS



CONCEPTUAL VIEW - MADISON ST

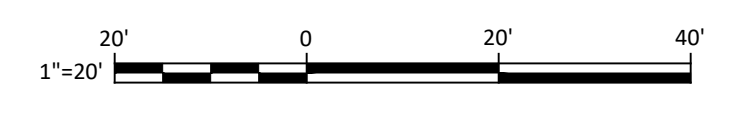
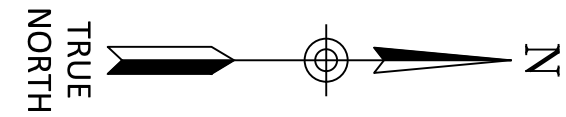
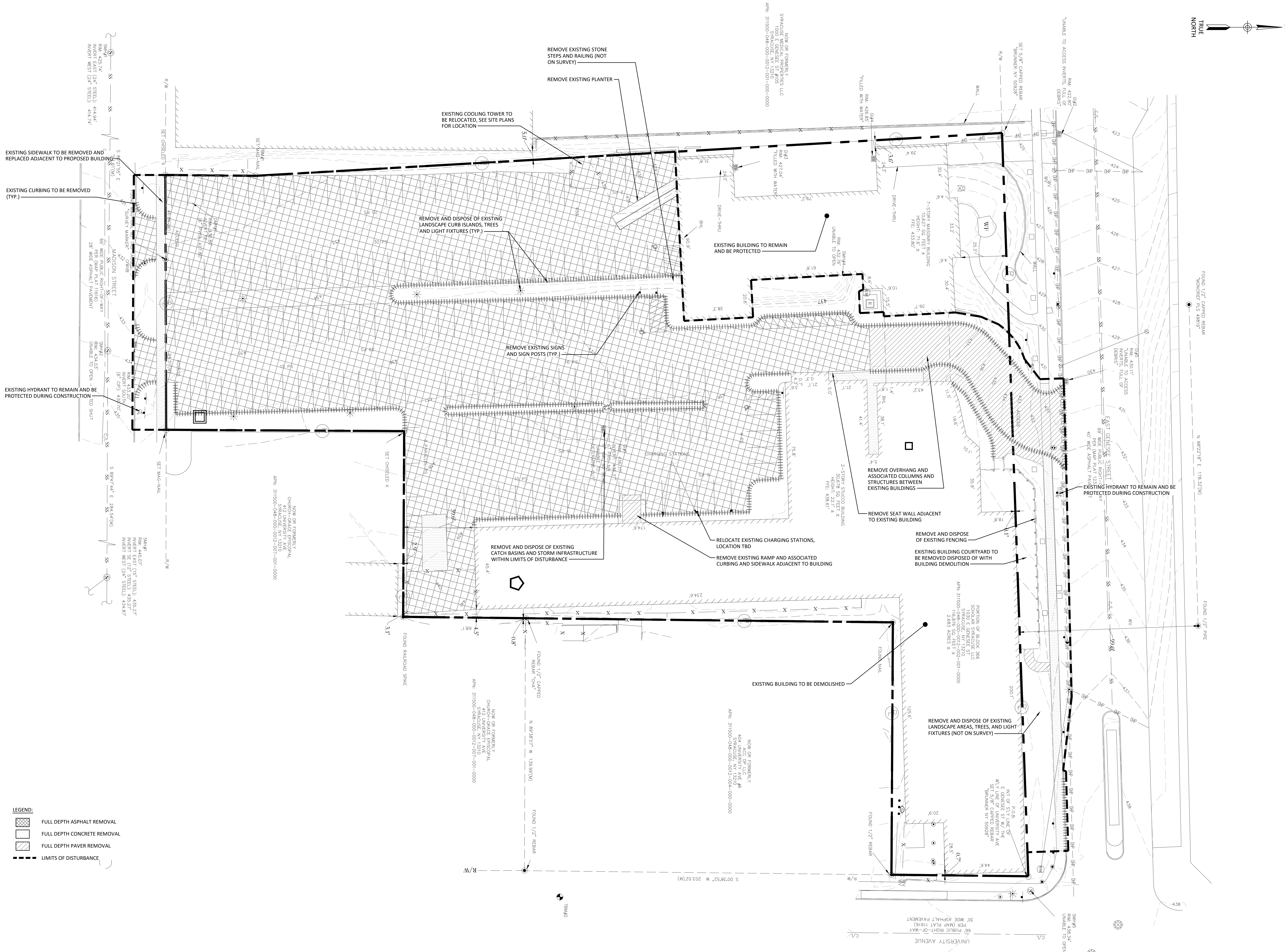


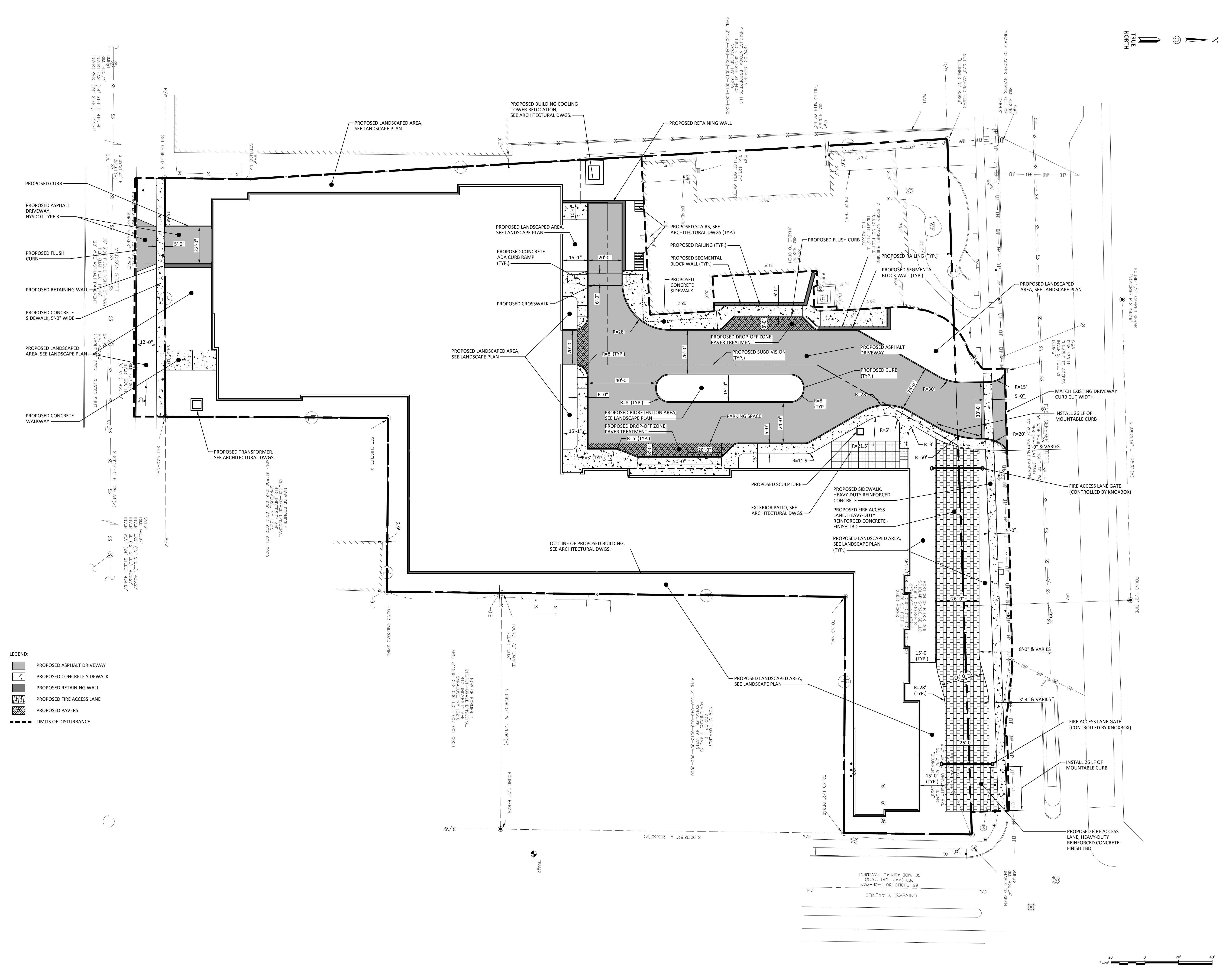
CONCEPTUAL VIEW: LOOKING EAST ON GENESEE



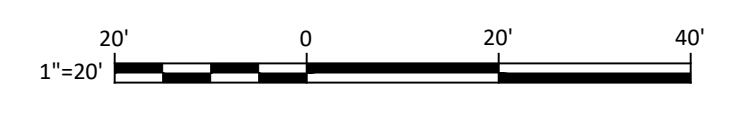
CONCEPTUAL VIEW: CORNER OF GENESEE & UNIVERSITY

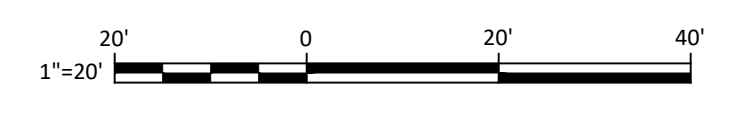
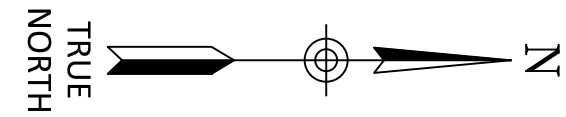
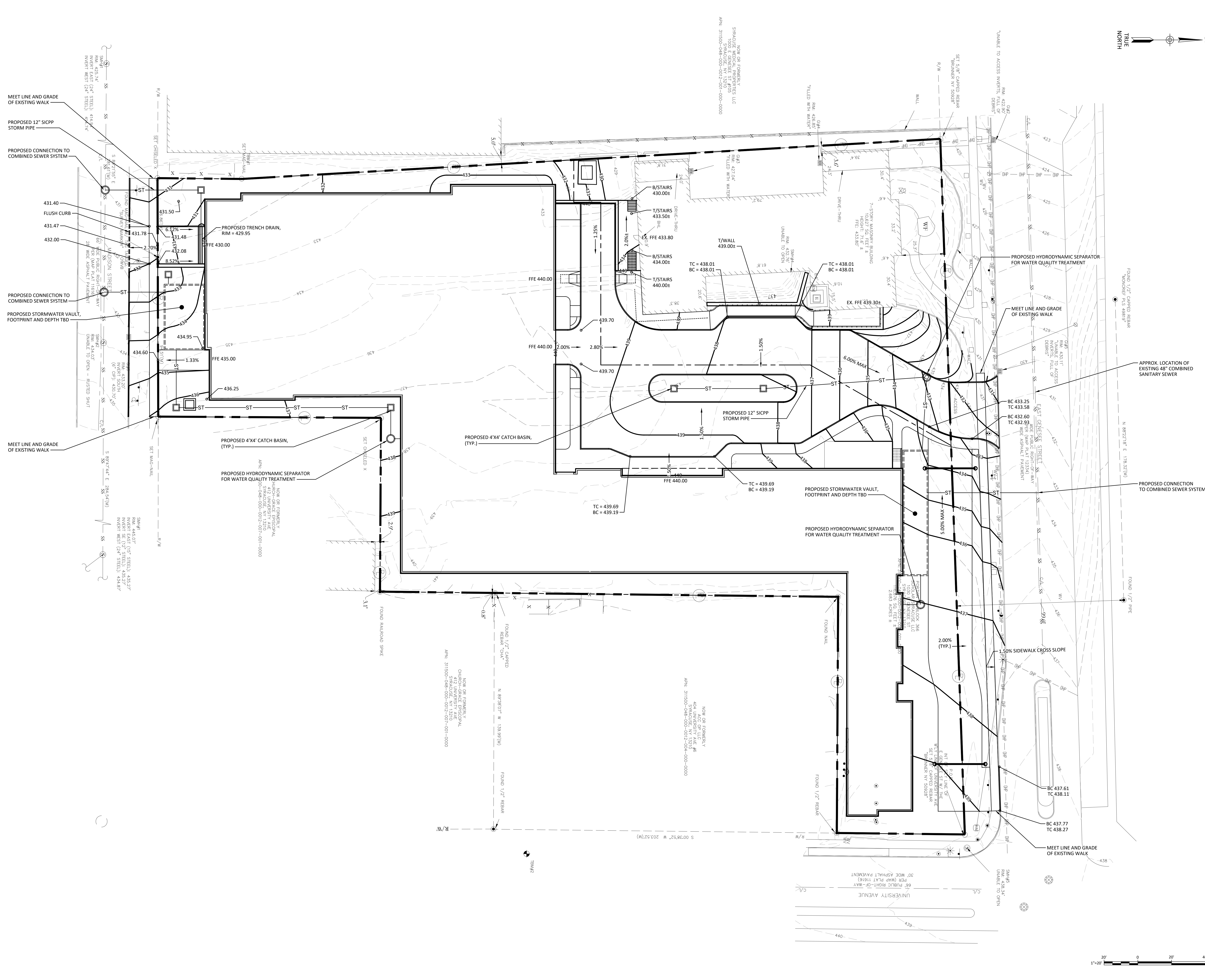
- LEGEND:**
- FULL DEPTH ASPHALT REMOVAL
 - FULL DEPTH CONCRETE REMOVAL
 - FULL DEPTH PAVER REMOVAL
 - LIMITS OF DISTURBANCE

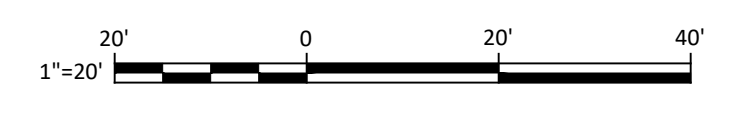
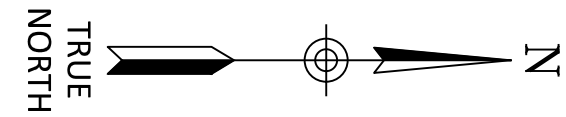
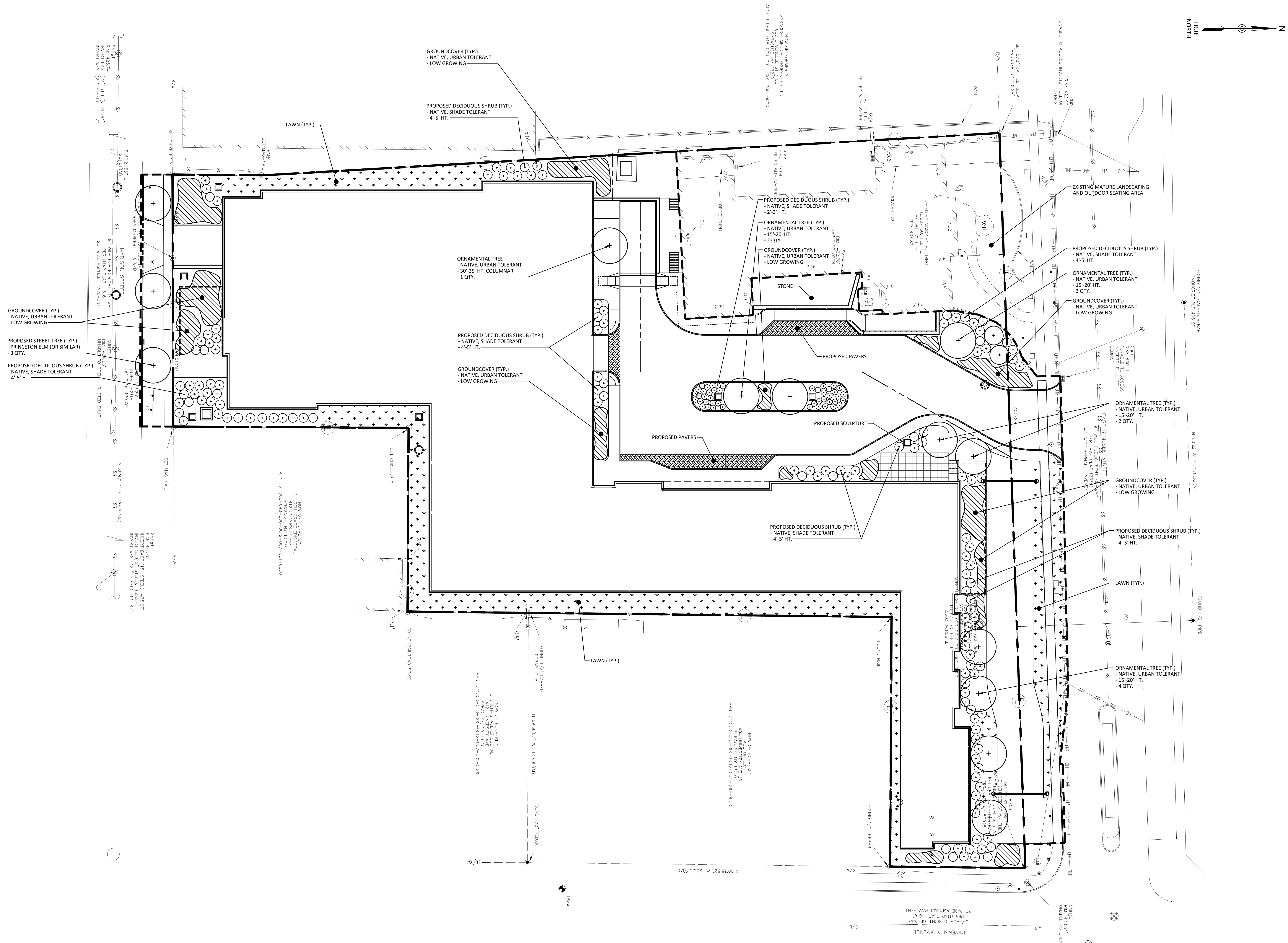




- LEGEND:**
- PROPOSED ASPHALT DRIVEWAY
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED RETAINING WALL
 - PROPOSED FIRE ACCESS LANE
 - PROPOSED PAVERS
 - LIMITS OF DISTURBANCE









EXISTING CONDITION: LOOKING NORTHWEST FROM UNIVERSITY & MADISON



EXISTING CONDITION: LOOKING EAST ON MADISON



EXISTING CONDITION: VIEW OF MAYFLOWER NORTH FACADE FROM GENESEE



EXISTING CONDITION: LOOKING EAST ON GENESEE



EXISTING CONDITION: VIEW OF NORTH FACADE FROM GENESEE



EXISTING CONDITION: CORNER OF UNIVERSITY AND GENESEE FROM NORTHEAST



EXISTING CONDITION: LOOKING WEST ON GENESEE



EXISTING CONDITION: EAST END OF LOT FROM UNIVERSITY



EXISTING CONDITION: LOOKING WEST ON GENESEE

MADISON STREET

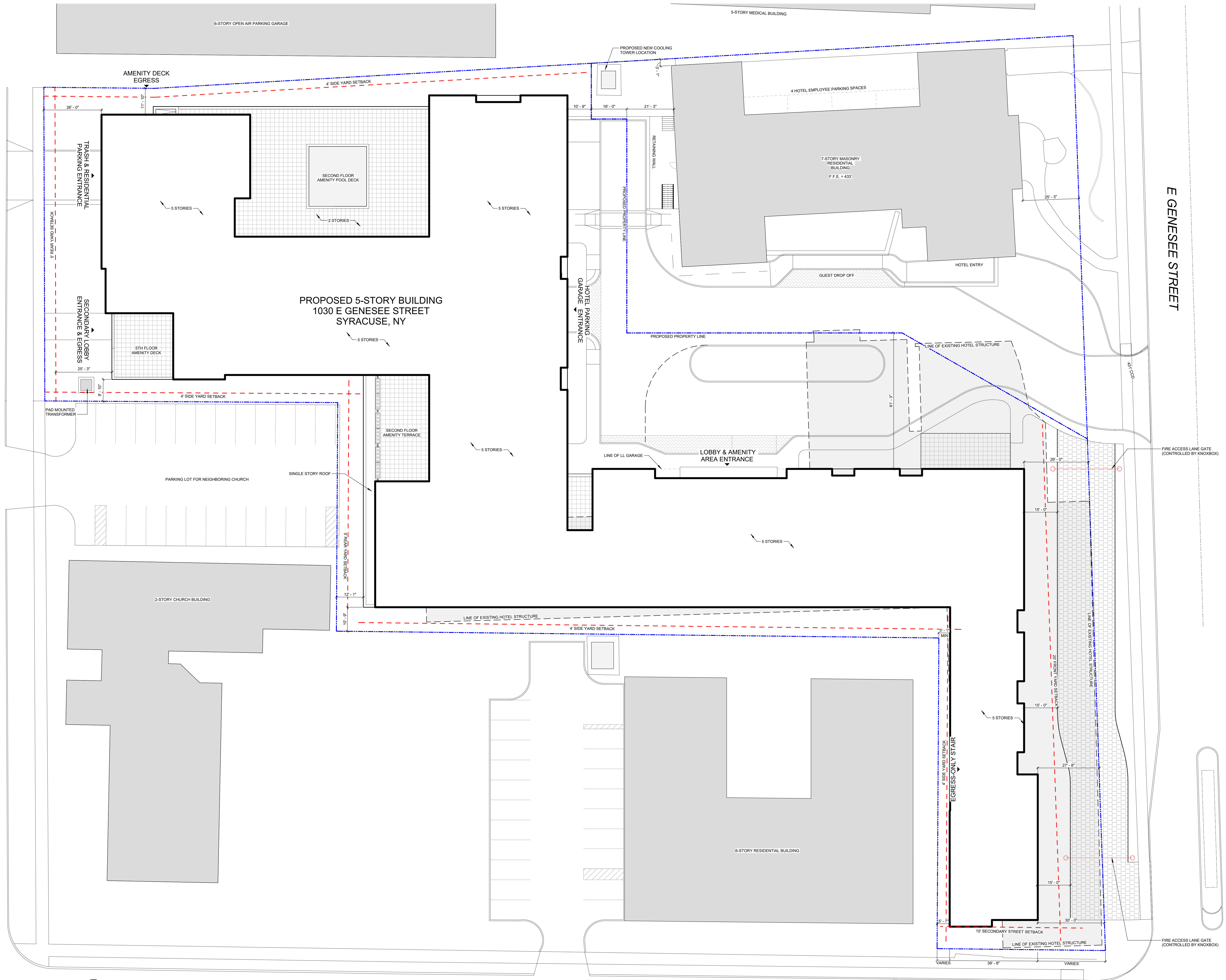
E GENESEE STREET

UNIVERSITY AVE

ARCH 0' - 0" = 440.00 CCD

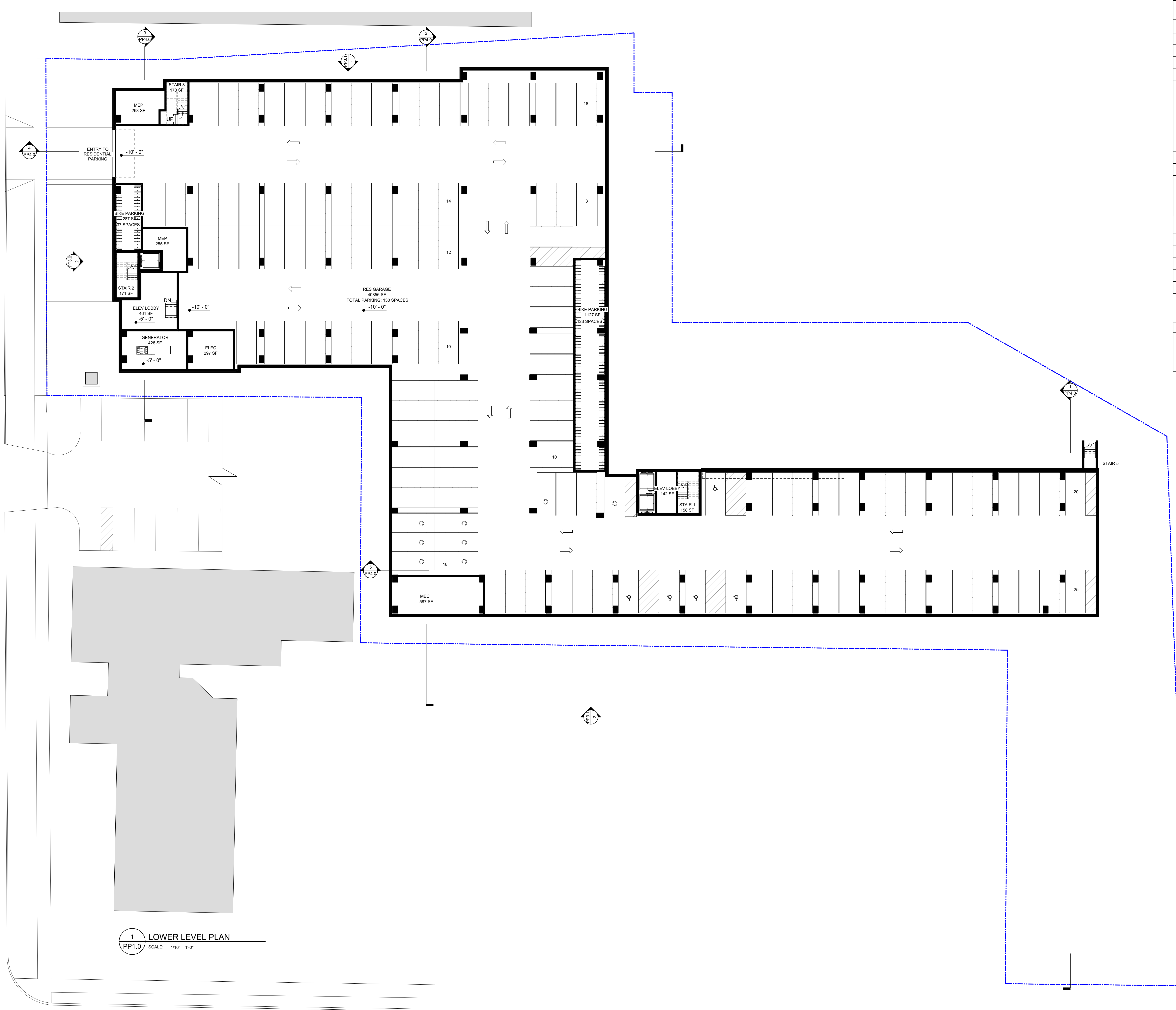
2 SITE PLAN
PP0.3 SCALE: 1/16" = 1'-0"

PLOT DATE: 2/2/2023 4:49:20 PM



PARKING TOTALS		
LEVEL	PARKING TYPE	COUNT
VEHICULAR PARKING: MULTIFAMILY		
1 SPACE / UNIT		145 UNITS
PARKING REQUIRED		145 SPACES
GROUND FLOOR:	STANDARD SPACE	0
	HANDICAP SPACE	0
SUBTOTAL		0
LOWER LEVEL:	STANDARD SPACE	114
	HANDICAP SPACE	5
SUBTOTAL		130
SURFACE PARKING:	STANDARD SPACE	1
TOTAL VEHICULAR PARKING: MULTIFAMILY		*131 SPACES
VEHICULAR PARKING: HOTEL		
1 SPACE/GUEST ROOM		82 GUEST ROOMS
PARKING REQUIRED		82 SPACES
GROUND FLOOR:	STANDARD SPACE	79
	HANDICAP SPACE	3
SUBTOTAL		82
LOWER LEVEL:	STANDARD SPACE	0
	HANDICAP SPACE	0
SUBTOTAL		0
SURFACE PARKING:	STANDARD SPACE	4
TOTAL VEHICULAR PARKING: HOTEL		82 SPACES

BIKE PARKING		
PARKING REQUIRED (MX-4)	REQUIRED	PROVIDED
1 SPACE PER 6 VEHICULAR SPACES; NOT LESS THAN 2 SPACES PER 15,000 GROSS FLOOR AREA; MAXIMUM 30 REQUIRED SPACES	36 30 MAX.	160

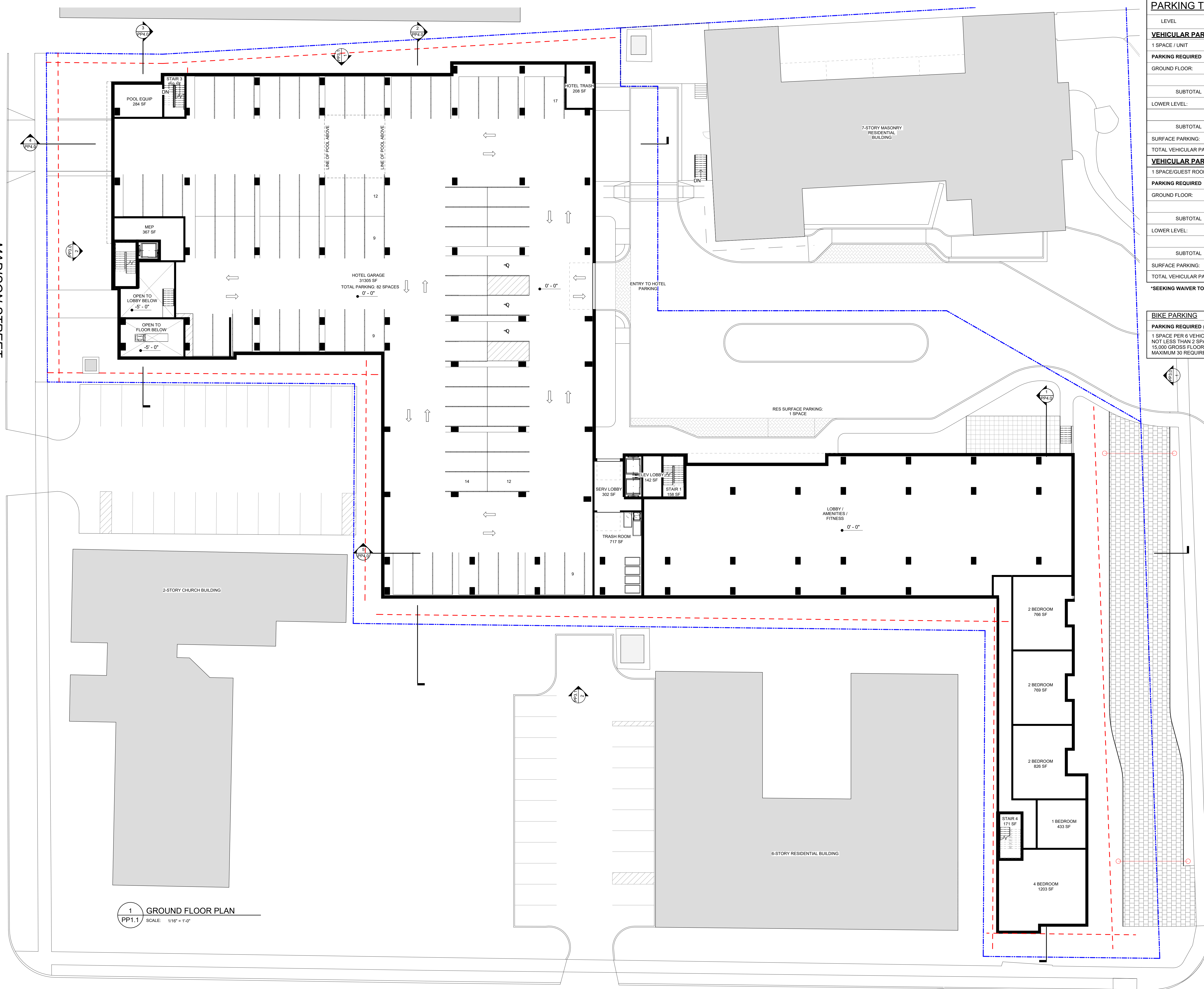


1 LOWER LEVEL PLAN
PP1.0 SCALE: 1/16" = 1'-0"

MADISON STREET

E GENESEE STREET

UNIVERSITY AVE



1 GROUND FLOOR PLAN
PP1.1 SCALE: 1/16" = 1'-0"

PARKING TOTALS		
LEVEL	PARKING TYPE	COUNT
VEHICULAR PARKING: MULTIFAMILY		
1 SPACE / UNIT		145 UNITS
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VEHICULAR PARKING: HOTEL		
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SUBTOTAL		0
SURFACE PARKING:	STANDARD SPACE	4
TOTAL VEHICULAR PARKING: HOTEL		82 SPACES
*SEEKING WAIVER TO MULTIFAMILY PARKING TO .9 SPACE/UNIT		

BIKE PARKING		
PARKING REQUIRED (MX-4)	REQUIRED	PROVIDED
1 SPACE PER 6 VEHICULAR SPACES; NOT LESS THAN 2 SPACES PER 15,000 GROSS FLOOR AREA; MAXIMUM 30 REQUIRED SPACES	36 30 MAX.	160



Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55345-0110
952-456-4444

Opus Design Build, L.L.C.
2055 E. Camelback Road
Suite 100
Phoenix, AZ 85016
602-448-5099



PROJECT
1030 E GENESEE ST.

PROJECT ADDRESS
SYRACUSE, NY

PROJECT NUMBER
22006

ISSUE RECORD

DATE
02/02/2023

PROJECT MANAGER

DRAWN BY
AB

CHECKED BY
IJG

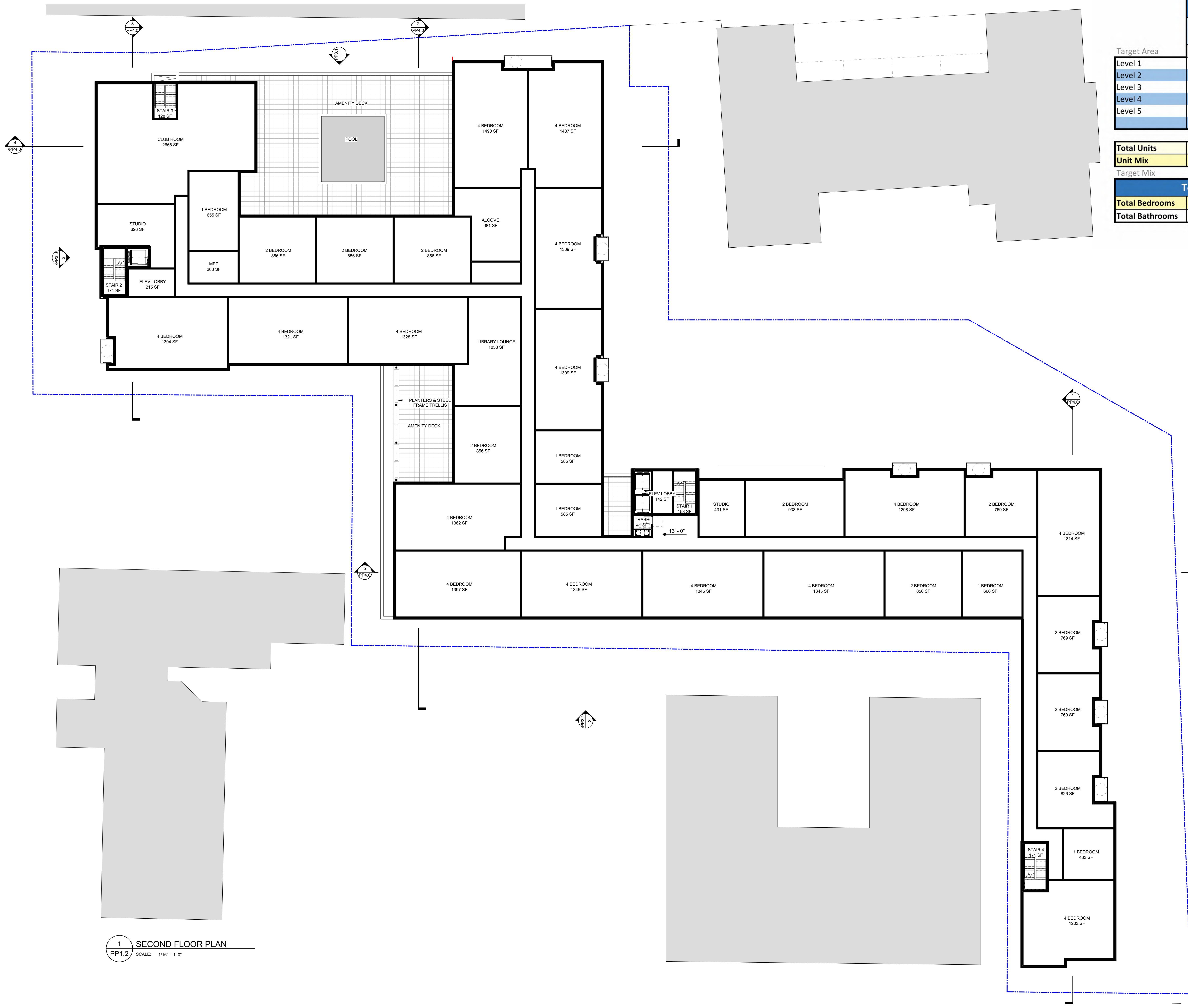
REGISTRATION

SHEET TITLE
GROUND FLOOR PLAN

SHEET NUMBER
PP1.1

PLOT DATE: 2/2/2023 4:49:23 PM

ARCH 0' - 0" = 440.00 CCD



Unit Matrix				
Studio / Alcove	1 BR	2 BR	4 BR	Total
515	660	915	1420	
Level 1	1	3	1	5
Level 2	4	4	10	36
Level 3	5	4	10	36
Level 4	5	4	10	36
Level 5	5	4	10	35

Total Units	19	17	43	66	145
Unit Mix	13%	12%	30%	46%	100%
Target Mix	17%	11%	23%	49%	100%

Total Bedrooms & Bathrooms					
Total Bedrooms	19	17	86	264	386
Total Bathrooms	19	17	86	264	386

1 SECOND FLOOR PLAN
PP1.2 SCALE: 1/16" = 1'-0"



Opus AE Group, L.L.C.
10250 Bren Road West
Minnetonka, MN 55345-0110
952-456-4444

Opus Design Build, L.L.C.
2055 E. Camelback Road
Suite 100
Phoenix, AZ 85016
602-448-5599



PROJECT
1030 E GENESEE ST.

PROJECT ADDRESS
SYRACUSE, NY

PROJECT NUMBER
22006

ISSUE RECORD

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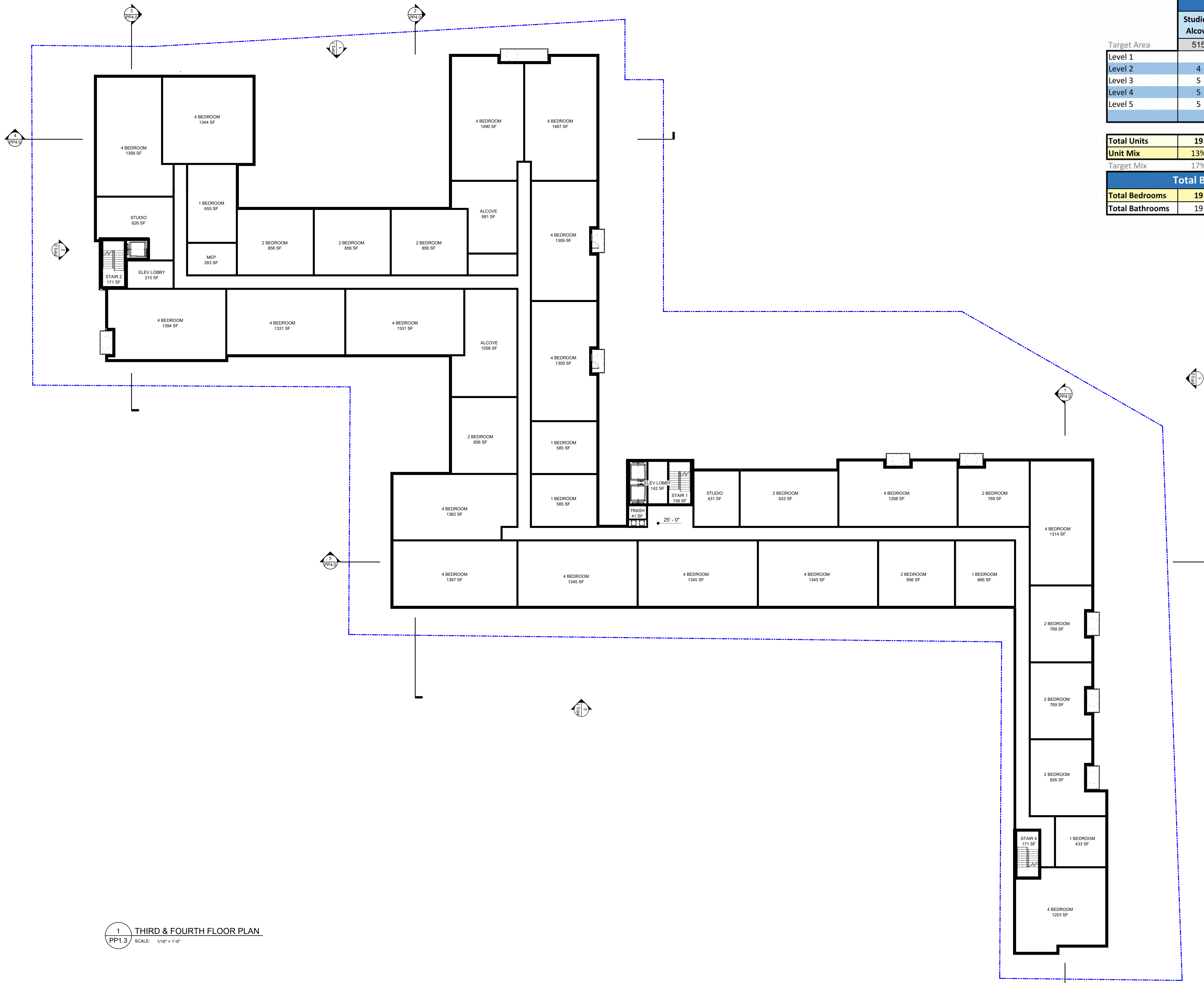
REGISTRATION

SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER

ARCH 0' - 0" = 440.00 CCD





1 THIRD & FOURTH FLOOR PLAN
PP1.3 SCALE: 1/16" = 1'-0"

Unit Matrix				
Studio / Alcove	1 BR	2 BR	4 BR	Total
515	660	915	1420	
Level 1	1	3	1	5
Level 2	4	4	10	36
Level 3	5	4	10	36
Level 4	5	4	10	36
Level 5	5	4	10	35

Total Units	19	17	43	66	145
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Target Mix	17%	11%	23%	49%	100%

Total Bedrooms & Bathrooms					
Total Bedrooms	19	17	86	264	386
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DATE
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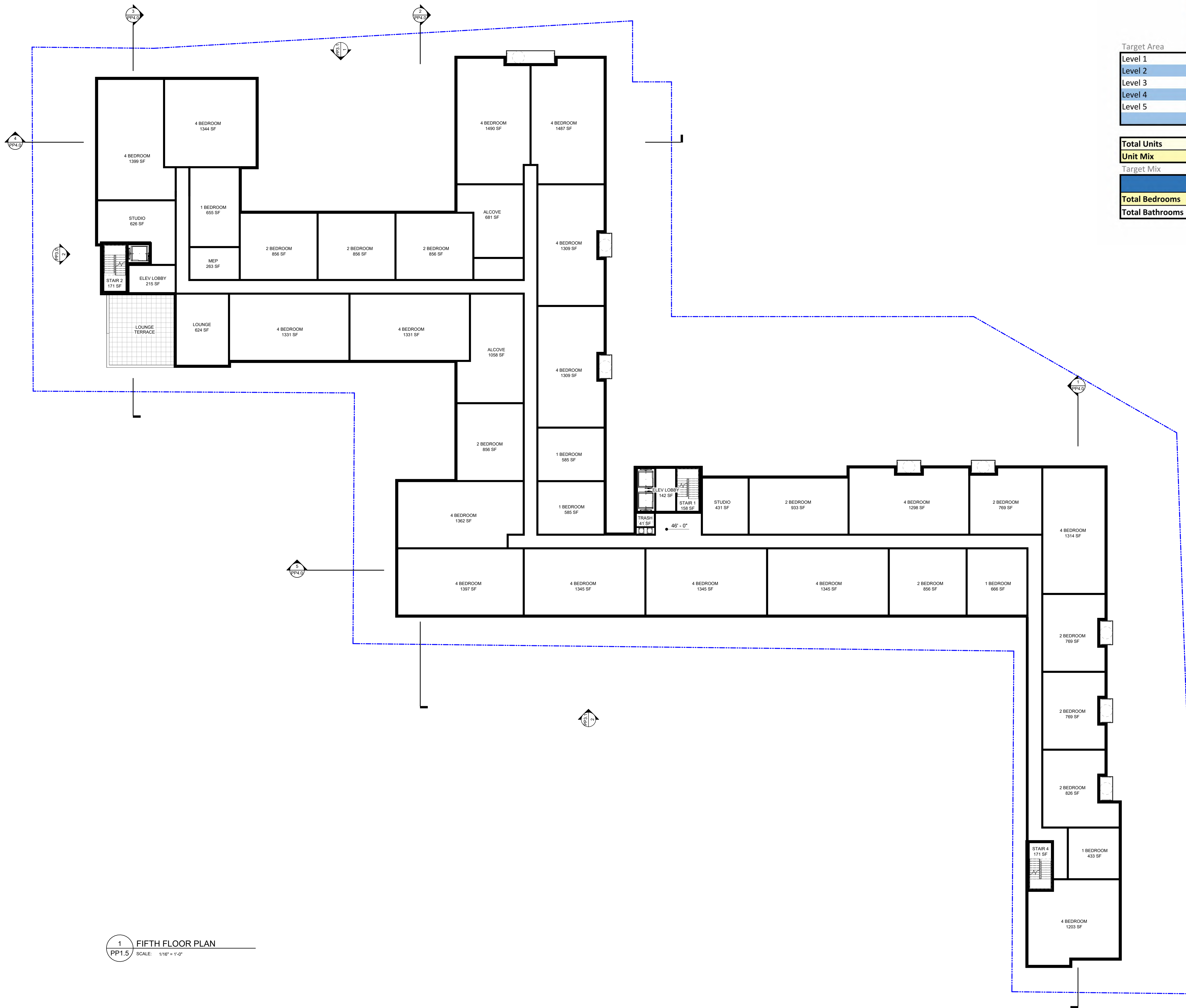
CHECKED BY
IJG

REGISTRATION

SHEET TITLE
THIRD & FOURTH FLOOR PLAN

SHEET NUMBER
PP1.3

ARCH 0' - 0" = 440.00 CCD



Unit Matrix				
Studio / Alcove	1 BR	2 BR	4 BR	Total
515	660	915	1420	
Level 1	1	3	1	5
Level 2	4	4	10	36
Level 3	5	4	10	36
Level 4	5	4	10	36
Level 5	5	4	10	35

Total Units	19	17	43	66	145
Unit Mix	13%	12%	30%	46%	100%
Target Mix	17%	11%	23%	49%	100%

Total Bedrooms & Bathrooms					
Total Bedrooms	19	17	86	264	386
Total Bathrooms	19	17	86	264	386

1 FIFTH FLOOR PLAN
PP1.5 SCALE: 1/16" = 1'-0"



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PROJECT
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SYRACUSE, NY

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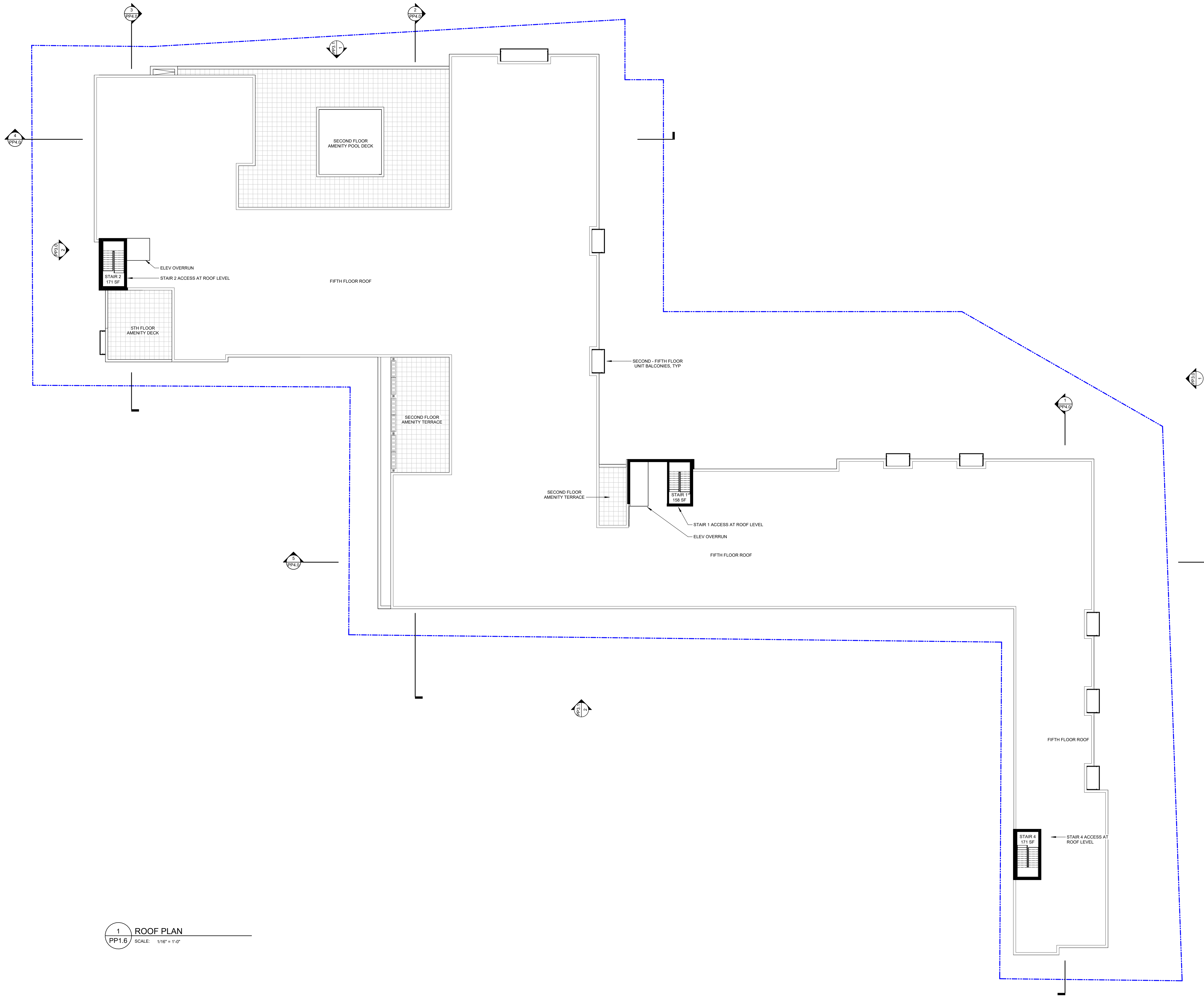
REGISTRATION

SHEET TITLE
FIFTH FLOOR PLAN

SHEET NUMBER
PP1.5

PLOT DATE: 2/2/2023 4:49:32 PM

ARCH 0' - 0" = 440.00 CCD



1 ROOF PLAN
PP1.6 SCALE: 1/16" = 1'-0"

PLOT DATE: 2/2/2023 4:49:34 PM





2 SD - EXTERIOR ELEV EAST
PP3.1 SCALE: 1/16" = 1'-0"



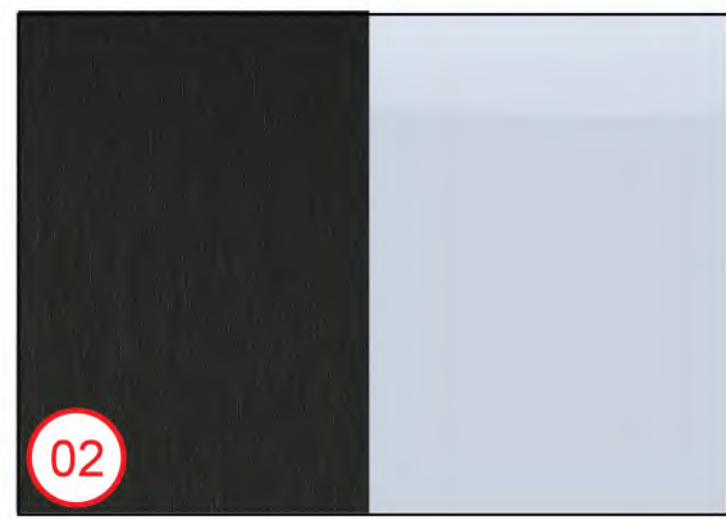
1 WEST ELEVATION
PP3.1 SCALE: 1/16" = 1'-0"

ARCH 0' - 0" = 440.00 CCD

SHEET NUMBER
PP3.1



01 INSULATED ALUMINUM PANEL, COPING, TRIM - BLACK



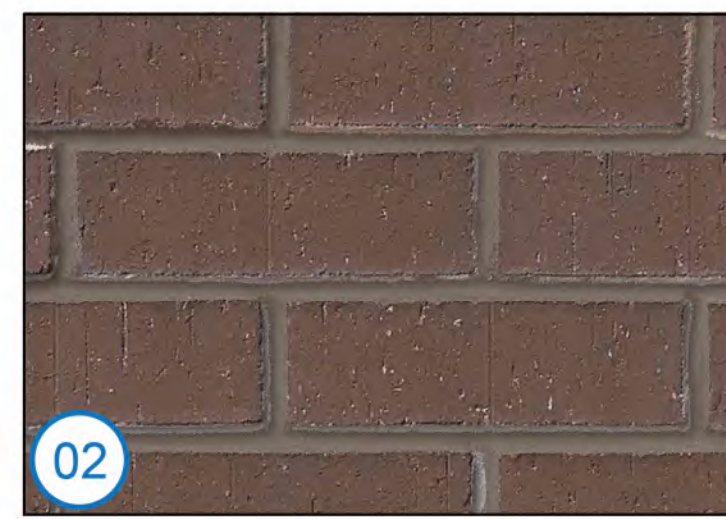
02 ALUMINUM & GLASS STOREFRONT - POWDER COATED BLACK



03 DARK GRAY IRON SPOT BRICK VENEER



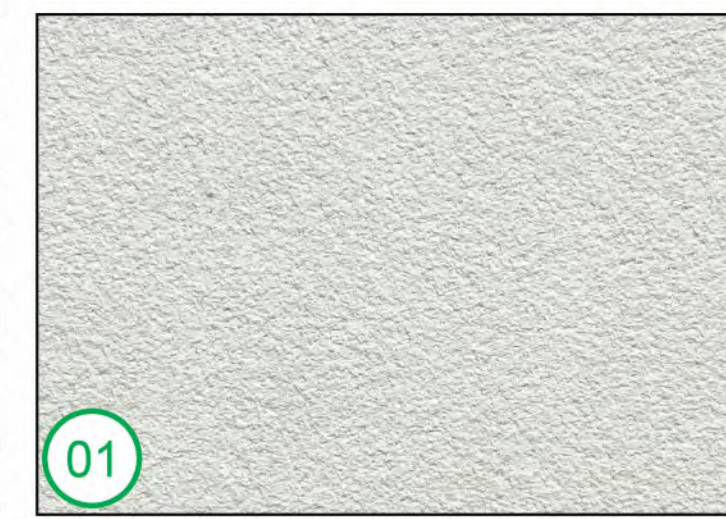
01 FIBER CEMENT PANEL RAIN SCREEN - LIMESTONE / SAND
BASIS OF DESIGN: CEMBRIT PATINA ROUGH - P045



02 RED-BROWN BRICK VENEER



03 INSULATED ALUMINUM PANEL, COPING, & TRIM - BLACK



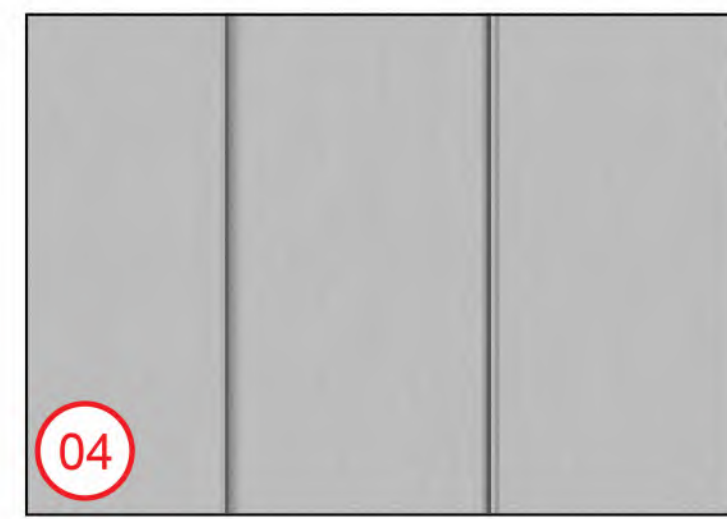
01 FIBER CEMENT HORIZONTAL SIDING - WHITE
BASIS OF DESIGN: CEMBRIT PATINA ROUGH - P222 PEARL



02 MEDIUM-GRAY BRICK VENEER



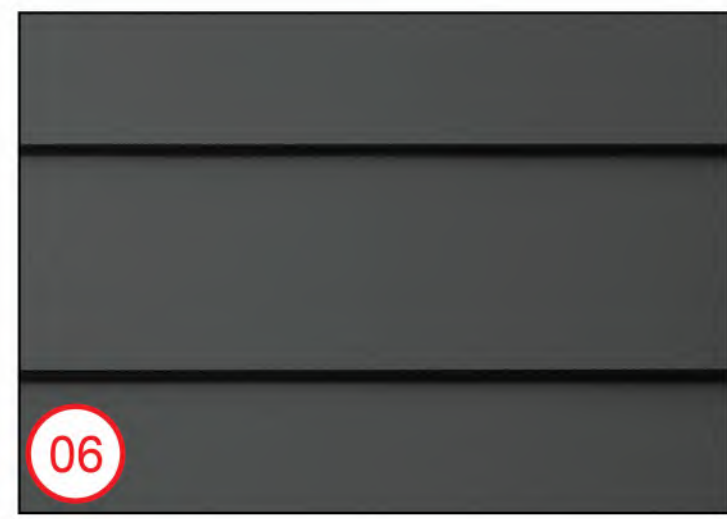
03 FIBER CEMENT HORIZONTAL SIDING - WHITE
BASIS OF DESIGN: CEMBRIT PATINA ROUGH - P020 GRANITE



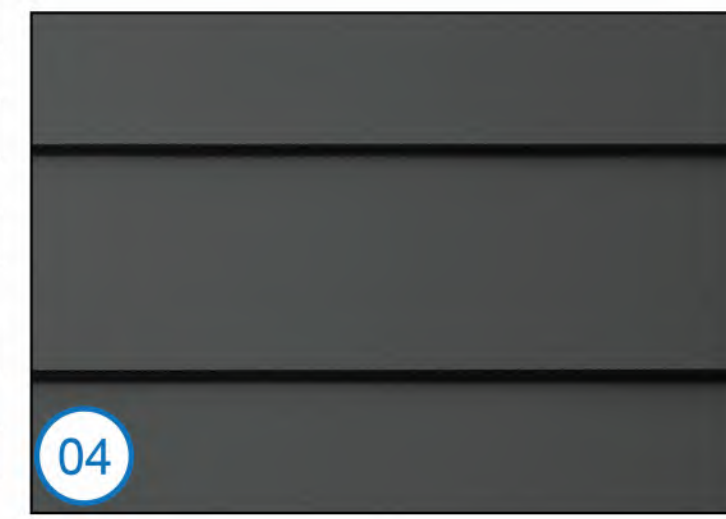
04 VERTICAL METAL CLADDING - GRAY / ALUMINUM



05 FIBER CEMENT PANEL RAIN SCREEN - CHARCOAL
BASIS OF DESIGN: CEMBRIT PATINA ROUGH - P070 FLINT



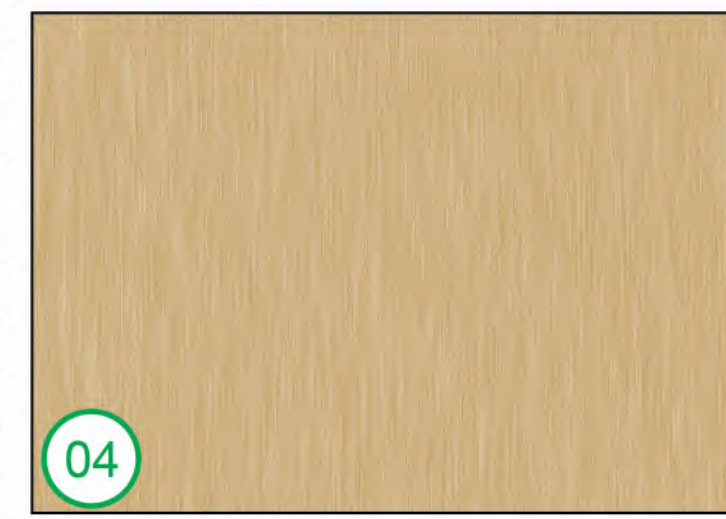
06 FIBER CEMENT HORIZONTAL SIDING - BLACK



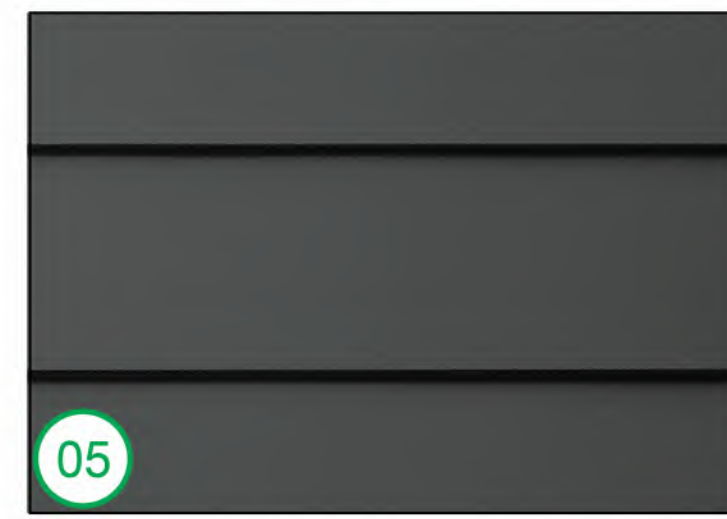
04 FIBER CEMENT HORIZONTAL SIDING - BLACK



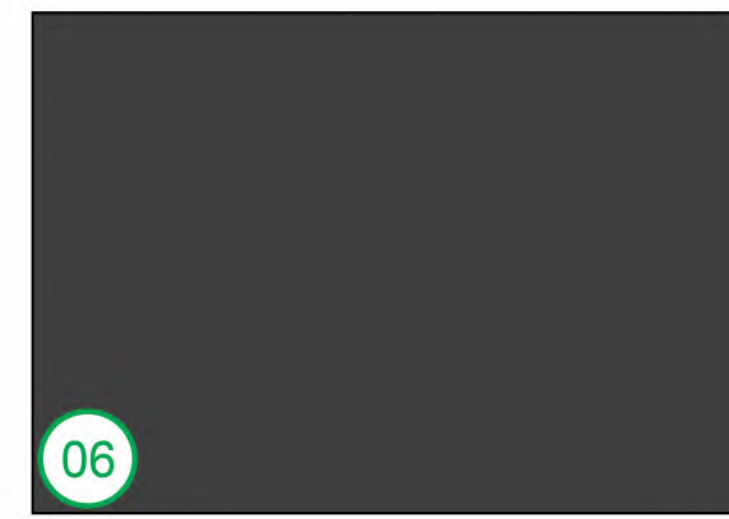
05 PERFORATED STEEL GUARDRAIL - BLACK



04 ALUMINUM COMPOSITE PANEL WITH FAUX BRASS FINISH



05 FIBER CEMENT HORIZONTAL SIDING - BLACK



06 INSULATED ALUMINUM PANEL, COPING, & TRIM - BLACK



ROOF 57'-0"
TRUSS BEARING 55'-5 1/4"
FIFTH FLOOR 46'-0"
FOURTH FLOOR 35'-0"
THIRD FLOOR 25'-0"
SECOND FLOOR 13'-0"
GROUND FLOOR 0'-0"
LOWER LEVEL -10'-0"

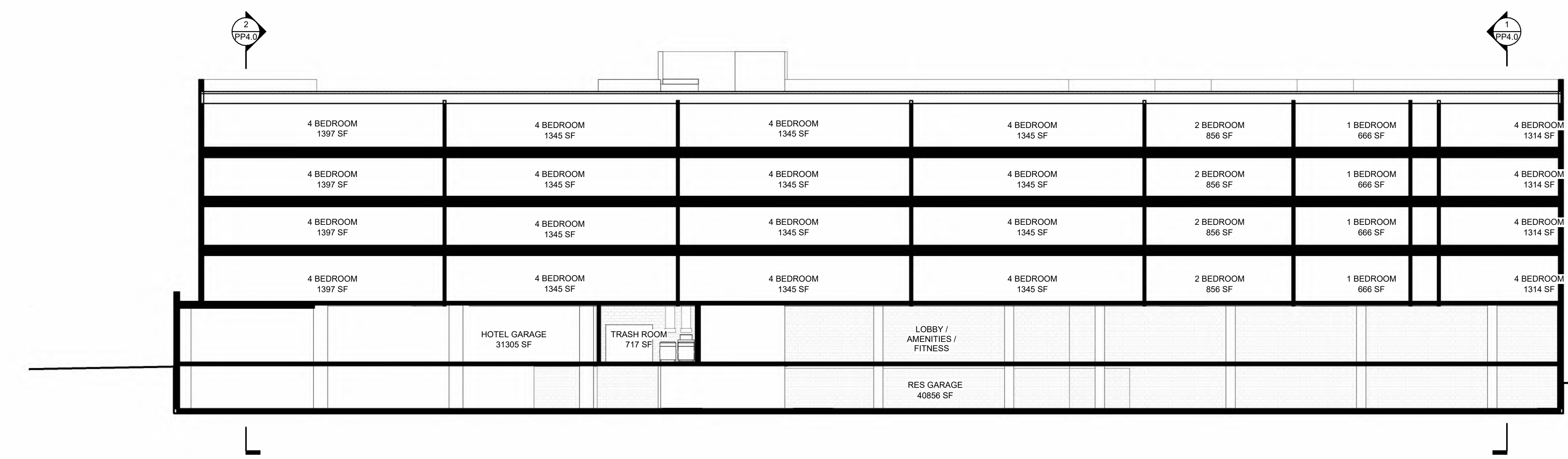
ROOF 57'-0"
TRUSS BEARING 55'-5 1/4"
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ROOF 57'-0"
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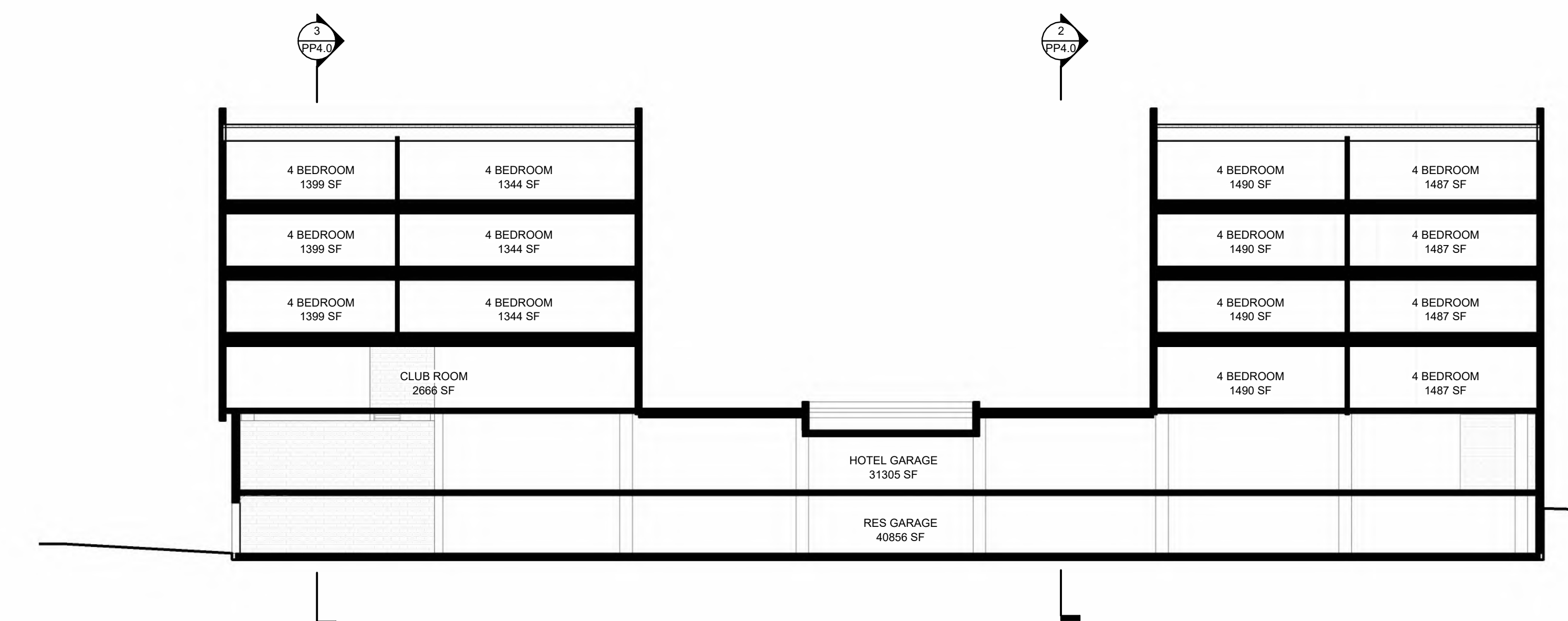
ROOF 57'-0"
TRUSS BEARING 55'-5 1/4"
FIFTH FLOOR 46'-0"
FOURTH FLOOR 35'-0"
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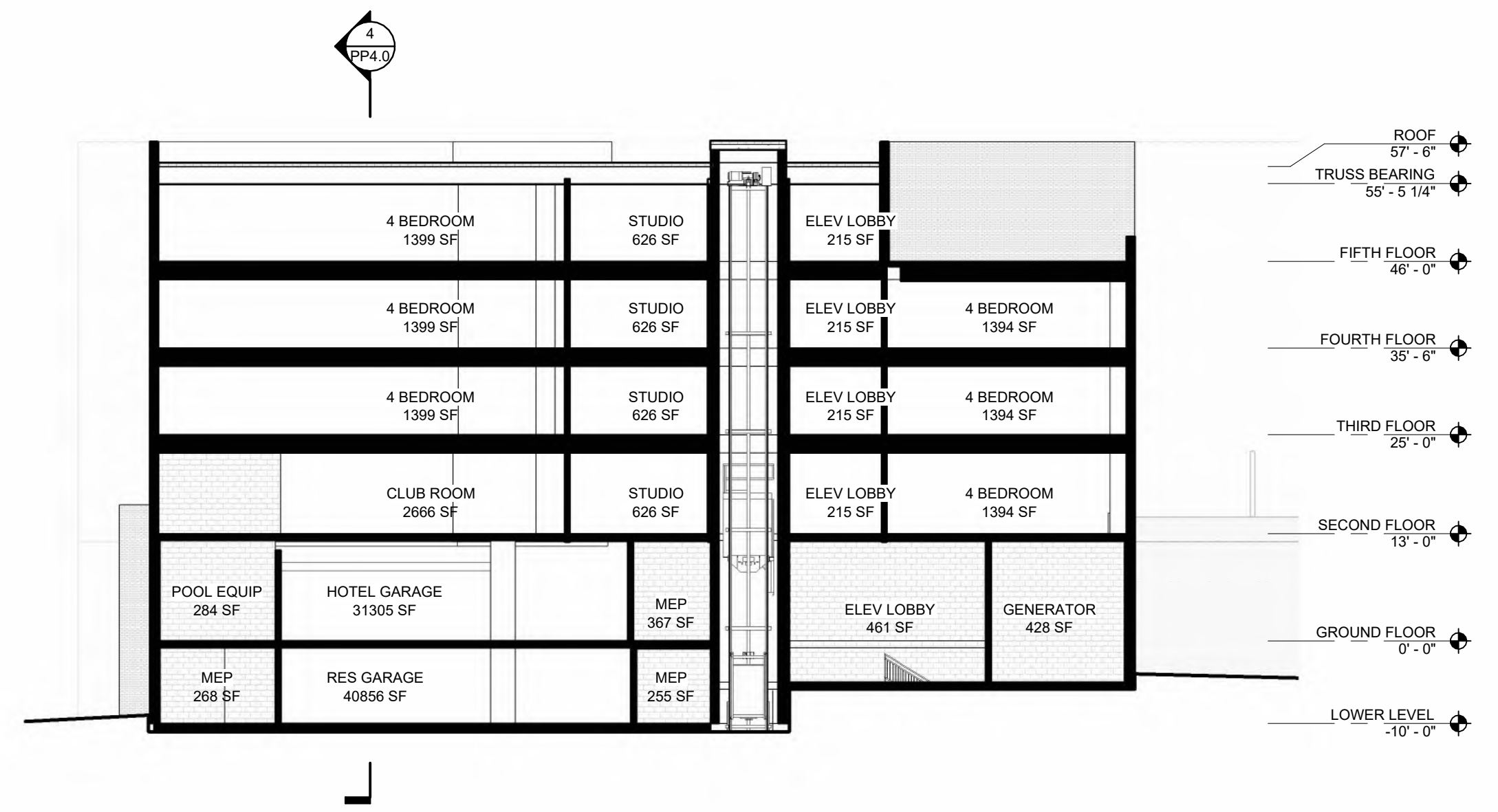
ROOF 57'-0"
TRUSS BEARING 55'-5 1/4"
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FOURTH FLOOR 35'-0"
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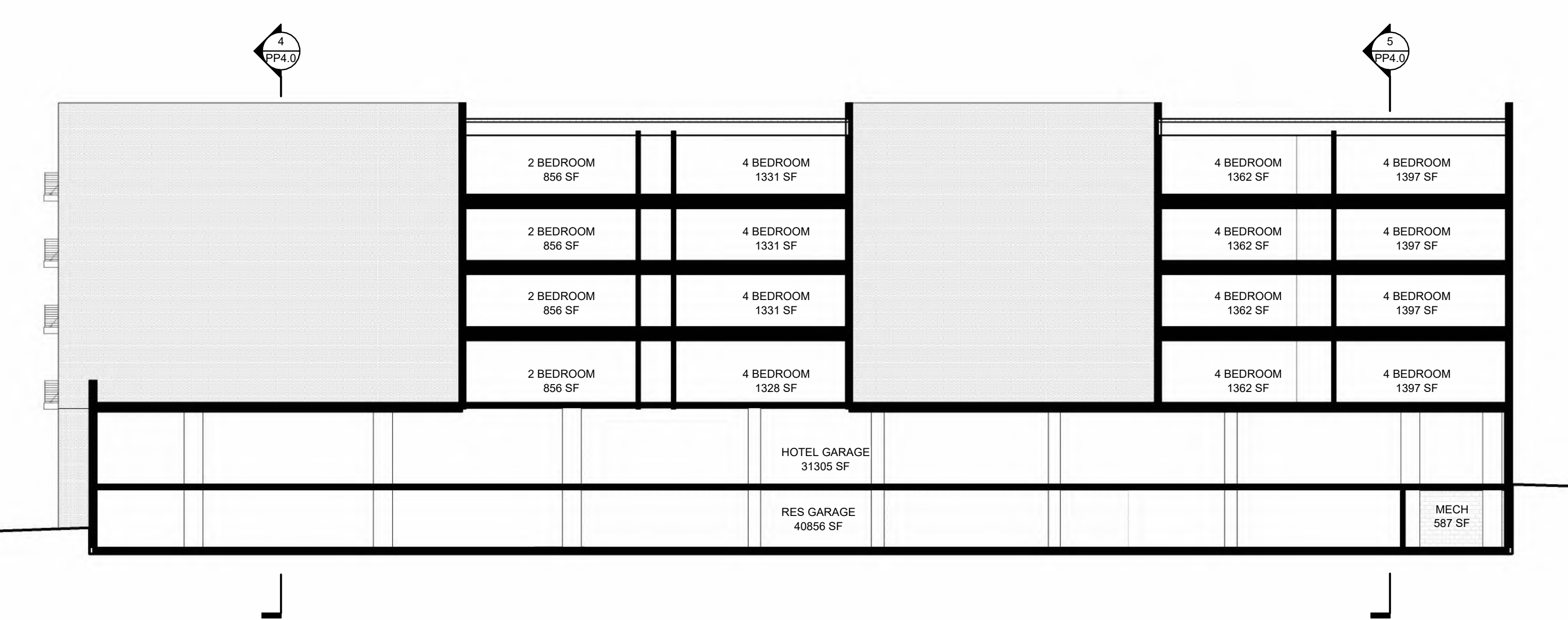
5 SD - N/S SECT 2
PP4.0 SCALE: 1/16" = 1'-0"



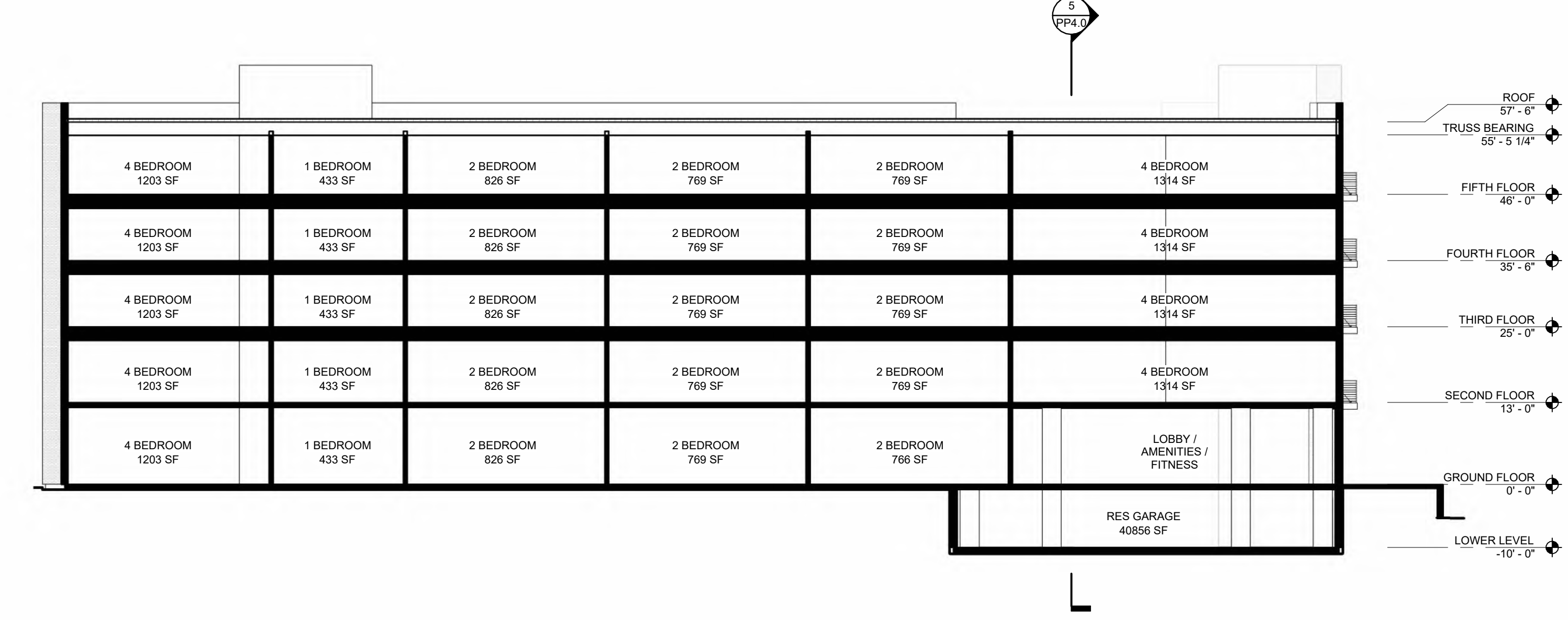
4 SD - N/S SECT 1
PP4.0 SCALE: 1/16" = 1'-0"



3 SD - E/W SECT 1
PP4.0 SCALE: 1/16" = 1'-0"



2 SD - E/W SECT 2
PP4.0 SCALE: 1/16" = 1'-0"



1 SD - E/W SECT 3
PP4.0 SCALE: 1/16" = 1'-0"

OPUS AT SYRACUSE

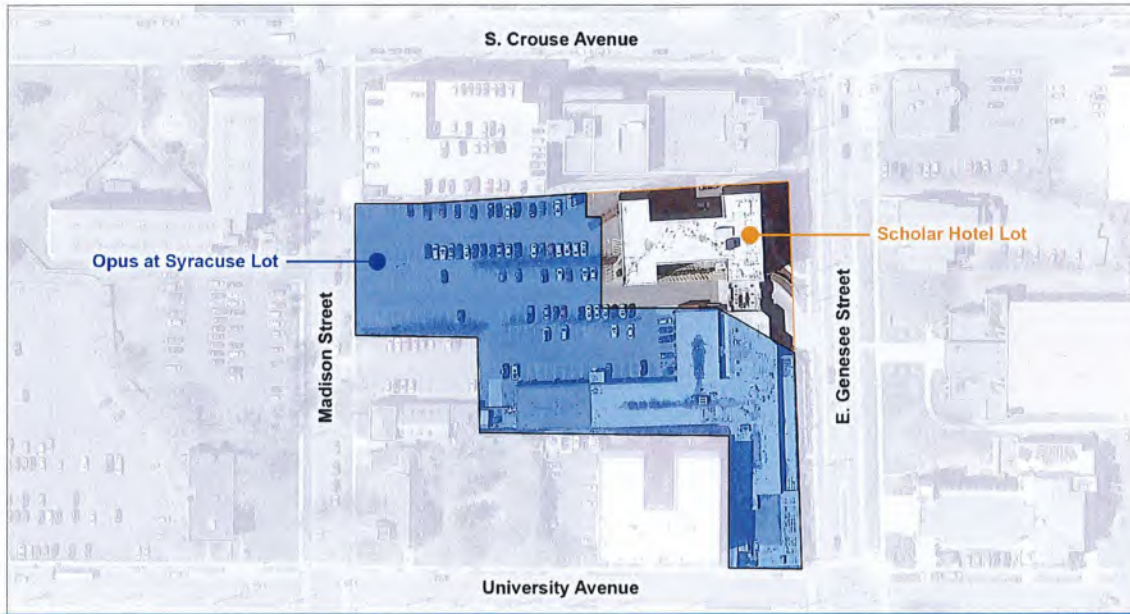
Summary of Revisions to Full EAF Part 1:

- A. Project and Applicant/Sponsor Information
 - Updated description of action
 - Added property owner information

- B. Government Approvals
 - Revised projected application date
 - Updated Agency and Approval(s) Required by removing "Board Zoning Appeals" as it is no longer required

- D. Project Details
 - D.1.b – updated total acreages
 - D.1.d – removed "commercial"
 - D.1.e.i – revised duration to 18 months from 16 months
 - D.1.f – revised total number of Multi-family residential uses to 145
 - D.2.a.ii – updated volume
 - D.2.a.v – updated excavation area
 - D.2.a.vi – updated area to be worked at one time
 - D.2.a.vii – updated depth of excavation
 - D.2.d.i – updated anticipated waste (sewage generation)
 - D.2.e – project will now impact greater than 1.0 acres, section has been completed
 - D.2.j.iii – Updated proposed and Net parking spaces

- E. Site and Setting of Proposed Action
 - E.1.a. – updated cover type areas
 - E.2.a – updated depth to bedrock
 - E.2.d. – updated depth to water table



Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Opus at Syracuse		
Project Location (describe, and attach a general location map): Southern end and eastern side property at 1060 East Genesee Street		
Brief Description of Proposed Action (include purpose or need): The proposed project is located on the site currently occupied by the Collegian Hotel & Suites. The project proposes to raze the existing 2-story Genesee Grand Hotel and replace it with a 5-story/ 6-story residential project that will front on both Genesee Street & Madison Street. The proposed project will occupy the demolished hotel site and existing parking lot. The existing 7-story Mayflower Hotel will remain. All parking required for both projects will be located within the proposed residential building.		
Name of Applicant/Sponsor: Opus Development Company, L.L.C. (Ben Angelo)		Telephone:
		E-Mail: ben.angelo@opus-group.com
Address: 9700 Higgins Road Suite 900		
City/PO: Rosemont	State: IL	Zip Code: 60018
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Gary Brandeis, Scholar Syracuse, LLC		Telephone: 610.247.7055
		E-Mail: gbrandeis@recapmngmt.com
Address: 30 Ardmore Avenue, Suite 381		
City/PO: Armore	State: PA	Zip Code: 19003

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Commission	October 31, 2022
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
Office District, Class B

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? City of Syracuse _____

b. What police or other public protection forces serve the project site?
City of Syracuse Police Department; Onondaga County Sheriff; NYS Police _____

c. Which fire protection and emergency medical services serve the project site?
City of Syracuse Fire Department; various emergency medical service response units _____

d. What parks serve the project site?
City of Syracuse Parks; closest park is Forman Park _____

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Multi-Family Residential _____

b. a. Total acreage of the site of the proposed action? _____ 2.03 acres
b. Total acreage to be physically disturbed? _____ 2.18 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 2.69 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Residential _____

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ 18 months

ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	145
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	145

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,
 i. Total number of structures _____
 ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
 iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,
 i. Purpose of the impoundment: Underground stormwater detention
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:
 i. What is the purpose of the excavation or dredging? Below grade parking structure, below grade water retention and treatment
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): 45,000 cubic yards
 • Over what duration of time? 3 months
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.
Earthen materials comprised of primarily urban cut/fill lands will be excavated and spoils will be hauled to an off-site disposal location TBD.
 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. Dewatering of the excavation area by standard methods will be necessary. No processing of excavated materials will occur on site. Spoils from excavation will be disposed off site.
 v. What is the total area to be dredged or excavated? _____ 1.15 acres
 vi. What is the maximum area to be worked at any one time? _____ 1.15 acres
 vii. What would be the maximum depth of excavation or dredging? _____ approx 10 feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____
Not applicable

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 42,460 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: City of Syracuse Water Department
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 42,460 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: OCDWEP Metro
- Name of district: City of Syracuse
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

The project will coordinate with City and OCDWEP officials to determine "offset" volumes needed to be removed from the City's combined sewer to accept projected sanitary flows

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):
 Not applicable _____

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
 Not applicable _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ 0 acres (impervious surface)
 _____ Square feet or _____ 2.5 acres (parcel size)
- Describe types of new point sources. Stormwater runoff will primarily be sheet flow and shallow concentrated flow from asphalt driveways and concrete sidewalks. Building roof drainage will be collected in new storm infrastructure (manholes, pipes) _____
- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
 Stormwater will be collected on-site in catch basins and manholes and a surface bioretention area. Stormwater will be piped to on-site stormwater storage vaults for peak flow attenuation and to meet City of Syracuse requirements for discharge rate to the combined sewer. _____

- If to surface waters, identify receiving water bodies or wetlands: _____
 N/A
- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____
- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____
- Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ 160 _____ Proposed _____ 216 _____ Net increase/decrease _____ +56
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
 Removal of one curb cut on Madison Street
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: As allowed by City Ordinance
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____
 ii. During Operations:
 • Monday - Friday: N/A
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration: <u>During construction a temporary increase in noise levels will be experienced during work hours, generally 7am to 5pm</u></p>
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: <u>Signage lighting, exterior amenities lighting. Locations and fixture specifications TBD</u></p>
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p>
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p>
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s): _____ _____ _____</p>
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:
 Existing parking lot adjacent to Hotel

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.88	1.48	-0.40
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Landscape islands/plantings/lawn</u>	0.15	0.55	+0.40

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
Internal Medicine Office, University Gastroenterology, Medical Offices, University buildings, Grace Episcopal Church

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >50 feet

b. Are there bedrock outcroppings on the project site? Yes No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Cazenovia silt loam	_____	92.0 %
Palmyra gravelly loam	_____	2.7 %
Urban land	_____	5.3 %

d. What is the average depth to the water table on the project site? Average: _____ 26 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	2.7 % of site
<input checked="" type="checkbox"/> Moderately Well Drained:	_____	92.0 % of site
<input checked="" type="checkbox"/> Poorly Drained	_____	5.3 % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	100 % of site
<input type="checkbox"/> 10-15%:	_____	_____ % of site
<input type="checkbox"/> 15% or greater:	_____	_____ % of site

g. Are there any unique geologic features on the project site? Yes No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
If Yes:
i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ squirrels, song birds, etc. _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____</p>	
<p>ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres </p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Species and listing (endangered or threatened): _____ _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Species and listing: _____ _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: <u>Grace Episcopal Church - USN # 06740.000972</u>	
<i>iii.</i> Brief description of attributes on which listing is based:	
<u>Church</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Ben Angelo Date 10/13/22

Signature  Title Vice President