

Agenda  
City of Syracuse Board of Zoning Appeals  
Thursday, December 7th, 2023  
1:00 p.m.  
Common Council Chambers

I. Call Meeting to Order

II. Adoption of the September 14th, 2023, Minutes (SK, RJ, MC, KG)

III. Adoption of the September 14<sup>th</sup>, 2023, Resolutions (SK, RJ, MC, KG)

1) V-23-12

**An Area Variance - request to waive side setback on property to build a garage.**

123 Wood Avenue

Patricia Jones-Rowser (Owner/Applicant)

Zone District, R3.

IV. Public Hearings

1) V-23-15

**An Area Variance - to modify ReZone Article 2, Section 2.18 A. (1)a, Article 2, Section 2.18 A. (2)a.1, and Article 2 Section 2.18 A (2) a.2, to allow for the construction of a 29-unit apartment building.**

304-326 Delaware Street

Elisa Morales (Owner/Applicant)

Zone District, R5.

2) V-23-16

**An Area Variance - to modify ReZone Article 2, Section 2.18 A. (1) a, and Article 2, Section 2.18 A. (1)a.1, to allow for the construction of a 6-unit apartment building.**

222-26 Delaware Street

Elisa Morales (Owner/Applicant)

Zone District, R5.

3) V-23-17

**An Area Variance - to modify ReZone Article 2, Section 2.18 A. (1) a, to allow for the construction of a 7-unit apartment building.**

406-12 Delaware Street

Elisa Morales (Owner/Applicant)

Zone District, R5.

V. Adjourn

Minutes  
City of Syracuse  
Board of Zoning Appeals  
Thursday, September 14, 2023  
1:00 p.m.  
Common Council Chamber

I. Meeting called to order at 1:11 p.m.

Members Present

Mr. Stewart Koenig, Chairman	Yes
Mr. Michael Stanton	No
Mr. Michael Cheslik	Yes
Ms. Honora Spillane	No
Ms. Karen Gillette	Yes
Mr. Ronald O. Jennings	Yes

Staff Present

Mr. Jake Dishaw	Yes
Mrs. Meira Hertzberg	Yes
Mr. Cristian Toellner	Yes
Mr. Patrick Voorheis	Yes
Mr. Zhitong Wu	Yes
Mr. Nate Pan	Yes

II. Approval of Minutes

A motion to approve the August 3rd meeting minutes was made by Mr. Michael Cheslik and seconded by Ms. Karen Gillette. The motion carried unanimously.

III. Discussion

1.) V-23-12

An Area Variance - request to waive side setback on property to build a garage.  
123 Wood Avenue  
Ms. Patrona Jones-Rowser (Owner/applicant)  
Zoned R3

The applicant Ms. Patrona Jones-Rowser was present to argue in favor of granting the area variance. No public comments were made in support of granting the variance. No public comments were made in opposition to granting the variance. Discussion was held between the applicant and the board about the option to extend only 2 feet into the side setback rather than the entire 4-foot setback. The applicant indicated they would be able to construct their garage with only 2-foot encroachment. A motion was made by Mr. Ronald O. Jennings to conditionally approve the variance application, on the condition that the applicant encroaches only 2 feet into the required side setback instead of 4 feet. The motion was seconded by Mr. Michael Cheslik. The motion carried unanimously.

IV. Adjourn

A motion to approve was made by Mr. Stewart Koenig and seconded by Mr. Ronald O. Jennings. The motion carried unanimously. Meeting called to adjourn at 1:32 pm.



BOARD OF ZONING APPEALS  
CITY OF SYRACUSE, NEW YORK  
DECISION

Application: V-23-12

123 WOOD AVE

The undersigned hereby certifies that the attached is a true copy of a resolution introduced by Mr. Ronald O. Jennings and seconded by Mr. Michael Cheslik on September 14, 2023, and voted as follows:

AYES: Koenig, Cheslik, Gillette, Jennings  
NAYS: None  
ABSENT: Stanton, Spillane  
ABSTAIN: None

Adopted by the Board on December 7<sup>th</sup>, 2023.

Filed by the Board in the Office of Zoning Administration on September 14, 2023.

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Jake Dishaw, Deputy Commissioner  
City of Syracuse Zoning Administrator

A RESOLUTION GRANTING AN  
AREA VARIANCE  
ON PROPERTY SITUATED AT  
123 WOOD AVENUE

- WHEREAS, an application for an Area Variance was duly filed with the Secretary of the Syracuse Board of Zoning Appeals by the owner Patrona Jones-Rowser; and
- WHEREAS, the application V-23-12 requests a Area Variance from article 2.3(B) and article 3.4 (C)(2)(c), of Syracuse ReZone, as adopted, to allow accessory structures to encroach upon the side setback.
- WHEREAS, after due notice, the Board held a hearing on September 14, 2023, at 1:00 p.m. in the Common Council Chambers, City Hall, Syracuse, New York, to consider the application; and
- WHEREAS, at said hearing, the Board heard all those who desired to be heard and duly recorded their testimony; and
- WHEREAS, per the New York State Environmental Quality Review Act, Title 6 NYCRR Part 617.5(18) (Type II Actions) this area variance request does not exceed the thresholds in section 617.4 (Type I Actions) and is a Type II Action; and
- WHEREAS, the owner wishes to construct a 14'x34'x8' garage that would encroach 4' into the required side setback; and
- WHEREAS, The subject property is regular in shape with approximately 66 feet of frontage on Wood Avenue and a lot depth of approximately 96 feet.; and
- WHEREAS, the Location Survey illustrates a Two and ½ story house that is setback 18.7 feet from Wood Avenue; and
- WHEREAS, the proposal was referred to the Departments Public Works, Sewers, and the Department of Public Works, Traffic Control; and
- WHEREAS, the Board considered all testimony and noted the facts related to the site, the configuration of the subject property, and the surrounding zoning and land uses; and
- WHEREAS, the Board has further considered the following criteria to evaluate the asserted hardship as set forth by General City Law, Sec. 81-B(4):
1. whether an undesirable change will be produced in the character of the neighborhood, or a detriment to nearby properties will be created by the granting of the variance;
  2. whether the benefit sought by the applicant can be achieved by some other method, feasible for the applicant to pursue, other than an area variance;
  3. whether the requested area variance is substantial;
  4. whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
  5. whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance; and

NOW THEREFORE BE IT RESOLVED, by the Syracuse Board of Zoning Appeals, that the application V-23-12 for an Area Variance on property the situated at 123 Wood Avenue, zoned R3, Small Lot Residential, pursuant to article 2.3(B) and article 3.4 (C)(2)(c), of Syracuse ReZone, as adopted, is **GRANTED** subject to the following conditions:

- 1) The applicant may encroach **ONLY** up to two (2) feet into the required four (4) foot side setback. Further encroachment will be subject to Code Enforcement action including removal of the encroaching structure.
- 2) All construction, improvements and additions relating to this proposal, including those activities required in order to comply with the conditions of this approval, shall be completed by the applicant or its agents within twelve (12) months of the date of approval of this resolution by the City of Syracuse or this approval will be considered null and void; administrative extensions to this requirement for up to one year may be obtained from the Zoning Administrator at any time within the first twelve (12) months, after which, any and all extensions require approval from the Board of Zoning Appeals.
- 3) This approval does not relieve the applicant from compliance with any other regulatory or licensing provisions applicable thereto by the properly constituted Federal, State, County or City authorities.

BE IT FURTHER RESOLVED, that the Deputy Commissioner of Code Enforcement & Zoning Administration is hereby authorized to issue the necessary permits and enforce the terms and conditions of this resolution; and

BE IT FURTHER RESOLVED that if the conditions enumerated above are not complied with, this variance shall be subject to revocation.

FOR PUBLICATION SUNDAY November 26th, 2023

PUBLIC NOTICE  
CITY OF SYRACUSE  
BOARD OF ZONING APPEALS

NOTICE IS HEREBY GIVEN that a Public Hearing will be held on **Thursday, December 7<sup>th</sup>, 2023**, at 1:00 P.M. in the Common Council Chambers, City Hall, 233 E. Washington St., to consider in full or in part, the following applications. *Please note this is not necessarily the order in which they will be heard.*

1. **Application V-23-15**, for an Area Variance to modify ReZone Article 2, Section 2.18 A. (1)a, Article 2, Section 2.18 A. (2)a.1, and Article 2 Section 2.18 A (2) a.2, to allow for the construction of a 29-unit apartment building to be situated at 304-326 Delaware Street. Owned by Elisa Morales, Zone District, R5.
2. **Application V-23-16**, for an Area Variance to modify ReZone Article 2, Section 2.18 A. (1) a, and Article 2, Section 2.18 A. (1)a.1, to allow for the construction of a 6-unit apartment building to be situated at 222-26 Delaware St. Owned by Elisa Morales, Zone District, R5.
3. **Application V-23-17**, for an Area Variance to modify ReZone Article 2, Section 2.18 A. (1) a, to allow for the construction of a 7-unit apartment building to be situated at 406-12 Delaware St. Owned by Elisa Morales, Zone District, R5.

The above proposals will be open for inspection 72-hours prior to the public hearing at the Office of Zoning Administration, or on-line at [Board of Zoning Appeals \(BZA\) Meetings – City of Syracuse](#). Persons wishing to comment on an application may do so in person or by attorney at the public hearing. Written comments may be filed at the public hearing, mailed, or emailed to the Office of Zoning Administration at 300 S State Street, Suite 700, Syracuse, NY 13202, or [Zoning@syr.gov](mailto:Zoning@syr.gov).

**Be advised you must attend the hearing to present your project.**



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>V-23-15</i></b>	<b><i>Staff Report – December 7<sup>th</sup>, 2023</i></b>
<b><i>Application Type:</i></b>	Area Variance
<b><i>Summary of Proposed Action:</i></b>	The applicant proposes to construct a new multi-unit apartment building with 28 affordable dwelling-units at 304-26 Delaware Street.
<b><i>Project Address:</i></b>	304-26 Delaware Street, Syracuse New York 13204 (Tax Map IDs: 092.-09-23.0 to 092.09-27.0)
<b><i>Owner/Applicant</i></b>	Elisa Morales (Owner/Applicant)
<b><i>Existing Zone District:</i></b>	High Density Residential, R5 Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the north lie within Low Density Residential, R2 zone district. The Neighboring properties to the south, east and west lie within Low Density Residential, R2 zone district and High Density Residential, R5 zone district.
<b><i>Companion Application(s)</i></b>	R-23-53, A Resubdivision to combine 6 lots located at 304, 310-312, 316, 320, & 322-326 Delaware Street, and 223 Grace Street, approved by the CPC on 10/10/2023. MaSPR-23-05, Major Site Plan Review, to construct a new multi-unit apartment building with 28 affordable units.
<b><i>Scope of Work:</i></b>	New construction on the site includes construction of 28 affordable dwelling units, 15 off-street parking spaces, 1 recreational facility (playground) and site landscaping.
<b><i>Staff Analysis:</i></b>	<u>Pros:</u> The proposed project conforms to the purpose of High Density Residential, R5 zone district. <u>Cons:</u> The proposed use and structure are inconsistent with neighborhood characteristics. Neighboring properties are single-family or two-family dwelling units.
<b><i>Zoning Procedural History:</i></b>	<u>316 Delaware St:</u> (new lot after resubdivision): C-0167   Conditional Use for a funeral home, denied on 4/5/1944 R-23-53   Resubdivision to Merge 6 lots (304, 310-312, 316, 320, 322-326, Delaware St, and 223 Grace St) into one new lot, approved on 9/1/2023 <u>304 Delaware St:</u> no zoning history, vacant lot since 2003 <u>310-12 Delaware St:</u> no zoning history, vacant lot since 2012 <u>316 Delaware St:</u> (old lot before resubdivision): no zoning history, vacant lot, house demolition finished 10/1/2021. There was a denied Conditional Use 4/5/1944 for Undertaking Establishment <u>320 Delaware St:</u> no zoning history, vacant lot since 2003 <u>322-26 Delaware St:</u> no zoning history, vacant lot, demolition completed on 6/24/2022 <u>223 Grace St:</u> no zoning history, vacant lot, demolition of a two-family house completed on 7/21/2022
<b><i>Summary of Zoning History:</i></b>	The subject parcel was combined from six (6) lots. The resubdivision was approved on 10/10/2023. There is no other zoning history except for the denial of the Conditional Use application on 316 Delaware St in 1944.
<b><i>Code Enforcement History:</i></b>	None

<b>Zoning Violations:</b>	Proposed plans will be subject to Board of Zoning Appeals decision on an Area variances to violate the following Zoning provisions: ReZone, Art. 2, Sec. 2.18A(2)a1, to have less transparency on the east elevation facing Grace Street on the first story facade; and ReZone, Art. 2, Sec. 2.18A(2)a2, to have less transparency on the east elevation facing Grace Street on the second story façade; and ReZone, Art. 4, Sec. 4.6D(4)a, to have a greater building length than what is required.
<b>Summary of Changes:</b>	Not a continued application
<b>Property Characteristics:</b>	The subject property is regularly shaped, with 276.61 feet of frontage on Delaware Street, 102.20 feet of frontage on Kellogg Street, and 183.83 feet of frontage on Grace Street.
<b>SEQR Determination:</b>	Pursuant to the New York State Environmental Quality Review Regulations, the proposal is an Unlisted Action.
<b>Onondaga County Planning Board Referral:</b>	The proposal does not meet the referral criteria for Onondaga County Planning Board pursuant to GML §239-1, m and n.

**Applicant Submittals:** The application submitted the following in support of the proposed project:

- Area Variance Application
- Short Environmental Assessment Form Part 1
- EAF Mapper Summary Report; dated: 01/24/2023
- Site Photographs
- Resubdivision Plat for lots 1, 2, 25 & 26 of City Block 325 (Kellog Tract) Into New Lot 1A of City Block 325, (to be known as 316 Delaware Street,) prepared by C.T. Male Associates; dated: 06/26/2023; scaled as noted.
- Overall Plan and Neighborhood Plan (Sheet L1.0), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 9/26/2023; scaled as noted.
- Site Preparation Plan (Sheet L1.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Site Grading, Drainage, and Utilities Plan (Sheet L2.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Site Layout Plan (Sheet L3.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Site Planting Plan (Sheet L4.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Floor Framing Plans (Sheet ST1.1 through ST1.4), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/21/2023; scaled as noted.
- Floor Plans and Roof Plans (Sheet A1.0 through A1.2), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 10/23/2023; scaled as noted.
- Exterior Elevations (Sheet A2.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 10/23/2023; scaled as noted.

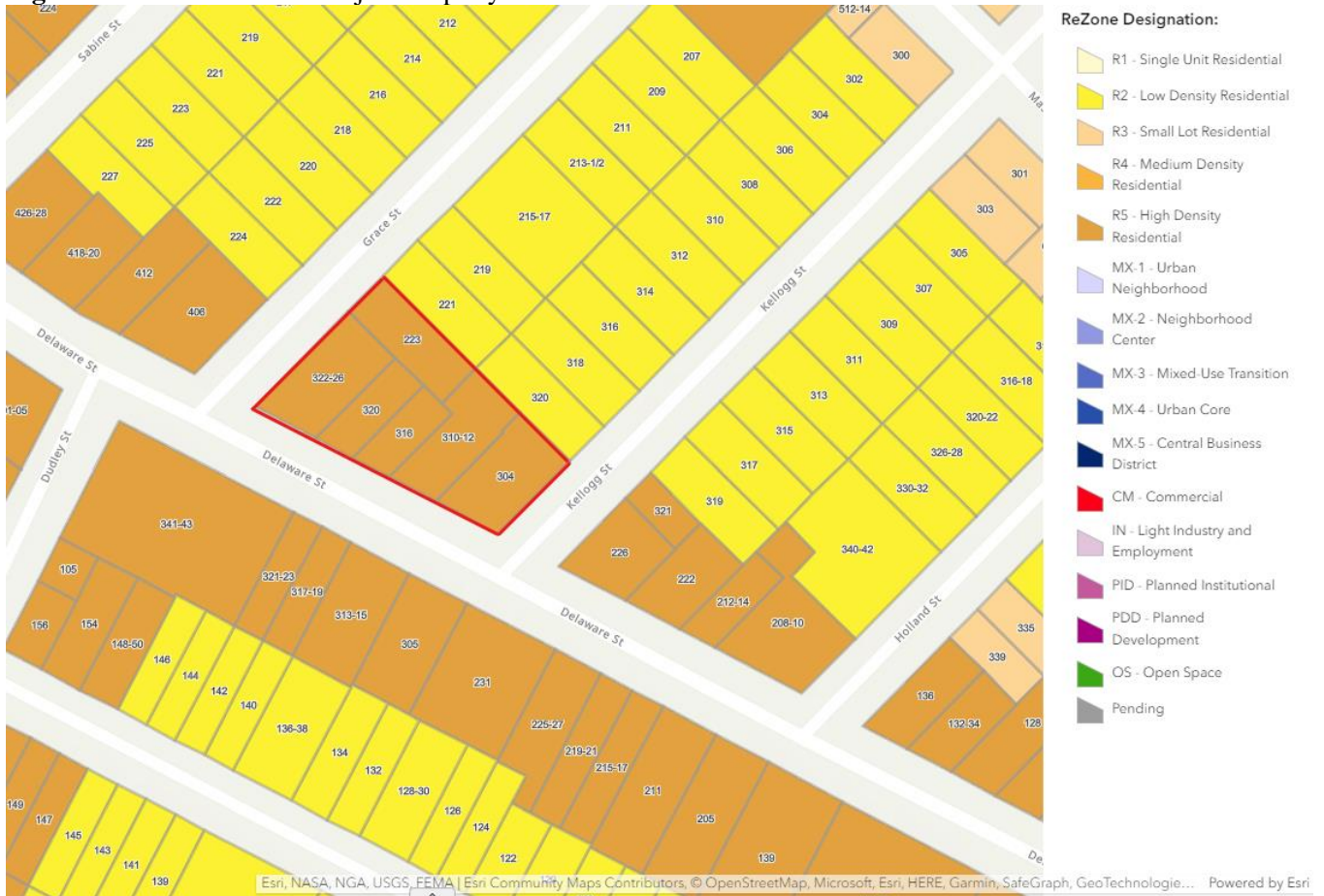
**Attachments:**

Area Variance Application  
 Intent of Lead Agency Letter  
 Applicant Submittals

Short Environmental Assessment Form Part 2 & Part 3  
 Code Enforcement History  
 IPS Comments from City Departments

Context Maps:

Figure 1. Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map



**Figure 2.** Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>



## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syrgov.net

### For Office Use Only

Zoning District: \_\_\_\_\_  
Application Number: V-\_\_\_\_\_ - \_\_\_\_\_  
Date: \_\_\_\_\_

## Variance Application

*This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

### General Project Information

Business/project name: La Liga Westside Village	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 304-26 Delaware Street and 223 Grace Street	
Lot numbers: 092.-09-23.0, -24.0, *- 25.0, - .26.0 abd -.27.0 and 092.-09-1.0 and 27.0	Block number: _____ Lot size (sq. ft.) 37,802
Current use of property: Residential	Proposed: Multi-family residential dwelling.
Current number of dwelling units (if applicable): 0 units. .	Proposed: 29 apartments
Current hours of operation (if applicable):	Proposed:
Current onsite parking (if applicable): None	Proposed: 14 req'd/15provided
Zoning (base and any overlay) of property: R5 – high density	
Companion zoning applications (if applicable, list any related zoning applications):	
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input type="checkbox"/> Site changes	
Variance requested (check one and cite the Article of the Zoning Ordinance that a variance is requested): <input type="checkbox"/> Use variance <input checked="" type="checkbox"/> Area variance	
Nature and extent of variance requested (attach additional pages if necessary):  Modifications to Article 1.18 (1)-(a): Building orientation. The project site is a full city block encompassing all the parcels between Grace and Kellogg Streets. corner lot, and we are parallel to Delaware and Grace Streets. We are not able to provide the required 60% of the secondary façade to be constructed parallel to the side street (Kellogg Street).  Modifications to Article 2.18 (2)-(A0 (1): The ground floor of each façade facing a public street or area shall provide a minimum of 30% windows, doorways, or openings. We meet the requirement for the facades facing Delaware and Grace Streets. We are non-compliant on the east elevation facing Kellogg Street. We are unable to provide additional openings as the only remaining space is allocated to bedrooms and bulk storage rooms. The first floor requires 191 sf for compliance. We can provide 52 sf.  Modifications to Article 2.18 (2)-(A) (2): The upper floors of each façade facing a public street or area shall provide a minimum of 15% windows, doorways, or openings. We meet the requirement for the facades	

Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
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facing Delaware and Grace Streets. We are non-compliant on the east elevation facing Kellogg Street. The upper floors require 193 sf for compliance. We can provide 96 sf. We are unable to provide additional openings as the only remaining space is allocated to bedrooms and bulk storage rooms, Modifications to Article 4.6 D(4)(a): The maximum length of multi-unit building structure is 180 feet. The proposed building is 236 feet long. The proposed design exceeds the limit by 56 feet.

**Owner/Owner's Agent Certification**

*By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.*

Print owner name: Elisa Morales

Signature: *Elisa Morales* Date: 10/30/2023

Mailing address: 700 Oswego Street, Syracuse, NY 13204

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.



## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syrgov.net

### Area Variance Test

*An Area Variance is permission to build in a portion of the property that is otherwise restricted by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that the potential benefit of an Area Variance will outweigh any burden to community health, safety, and welfare through a five-part balancing test (see [https://www.dos.ny.gov/lg/publications/Zoning Board of Appeals.pdf](https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf) for more information).*

*Briefly describe below how an Area Variance would affect the community using the following five tests and attach all supporting materials.*

#### 1. Neighborhood Character

Describe whether an undesirable change will be produced in the character of the neighborhood, or a detriment to nearby properties will be created by the granting of the area variance.

Article 1.18 (1)-(a): Building orientation We do not believe will create an undesirable change or an appearance that is detrimental to nearby properties. We have limited the building length as much as possible to contain all the required spaces for the building. To limit the appearance of the non-parallel face, we have recessed ½ of the elevation to increase the amount of space between the front most (Delaware) façade and the ROW at Kellogg Street. This allows ½ of the elevation to be hidden by the remaining half fronting Kellogg. This design will reduce the total amount of the building visible while looking towards the intersection from Kellogg Street and work to reduce the perceived size of the façade.

Article 2.18 (2)-(A) (2): (ground floor 30% transparency and Article 2.18 (2)-(A) (2) upper floor 15% transparency): The east elevation has included elements to provide relief from a single imposing elevation. Breaking the elevation and recessing ½ of the building, use of a water table and cornice features to alleviate the scale of the building, and use of varied materials work to further breakdown the perception of the elevation. While these elements do not increase the transparency, the used of light toned panels and a darker brick provide a contrast within the overall wall and the breaks the wall down to smaller understandable elements that mask the overall solidity of the elevation from its neighbors.

Article 4.6 D(4)(a): The maximum length allowed is 180 feet. The proposed design is 236 feet. We explored options to provide a shorter but taller building. The building design included projecting and recessed sections that provide an undulating exterior that allows the eye to break the building down into smaller components. The width of the bay system of brick and fiber cement panels at the projecting/recessed areas is based on the bay system of the church on the opposite side of the street that further breaks down the building from appearing as a single flat wall. The Delaware Street elevation also utilizes the use of large storefront windows at the Grace Street end of the building within the gathering spaces of the building (first floor community room and second floor fitness room) in contrast to smaller window types within the residential dwelling spaces. This division of windows is intended to minimize the perceived length of the building by providing visual breaks in the façade.

#### 2. Feasibility of Alternatives

Describe whether the benefit sought by the applicant can be achieved by some other method that will be feasible for the applicant to pursue, other than an area variance.

Article 1.18 (1)-(a): Due to the angled (non-perpendicular) approach of Kellogg Street at the Delaware Street, altering the plan to provide a compliant elevation will increase the building footprint, increasing the construction costs, and exceeding the allowable square footage allowed by square footage designations listed in the NYS Homes and Community Renewal design guidelines. This will be one of the main funding sources and without this funding, the project funding application will be rejected. We believe the proposed design minimizes the effect of the non-parallel façade to the greatest extent possible while maintaining the feasibility and requirements of the project's largest funding source.

Article 2.18 (2)-(A) (2): (ground floor 30% transparency and Article 2.18 (2)-(A) (2) upper floor 15% transparency): The east elevation suggests we could include additional windows to meet the requirements for the ground and upper floors. We are not allowed to provide windows in the bulk storage areas as it reduces the amount of usable storage space, and if used, creates a safety concern with the potential of broken glass. Additional windows would also infringe on the Energy Code requirements for the building. More larger/windows will exceed the maximum limits of the code. We have enlarged the windows from the original design to provide additional opening space to improve compliance. The first floor requires 191 sf for compliance. Changing the window size has increased the square footage from 40 sf to 52 sf. The upper floors require 193 sf for compliance. Changing the window size has increased the square footage from 64 sf to 96 sf.



## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
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Phone: (315) 448-8640  
Email: zoning@syr.gov.net

Article 4.6 D(4)(a): The maximum length allowed is 180 feet. The proposed design is 236 feet. We explored options to provide a shorter but taller building. While possible to meet the requirement, the design would require 4 floors. At that height, our building would tower over the existing residential buildings that average range from 2 to 2.5 stories. This includes the proposed new structures at 406 Delaware and 222-26 Delaware on either side of this building site. The taller structure would also surpass the height of the Delaware Baptist Church designed by Archimedes Russell that is located directly across the street from the project site. We submitted the proposed design drawings to SHPO per the requirements of the New York State Preservation Act of 1980/section 1409 of the NY Parks and Recreation Law. They determined in their response letter dated June 9, 2023, that the proposed design will have No Adverse Impact on the historic building. We do not believe they would have accepted a taller design directly adjacent to a historic structure when a shorter, but longer building could be provided. We also reviewed the option to provide two smaller buildings on the same site. This scheme doubled the amount of security required to provide a safe living environment. All 29 of the units in this building have received funding from ESSHI for providing emergency apartments for survivors of domestic violence. Providing two buildings increases the risk of their abusers entering the building. It also would require two elevators, double the number of emergency egress stairs to evacuate upper floors and double the number of trash/recycling rooms and the associated trash compactors required which adds to the construction costs and decreases the chances for project funding as the cost per square foot would increase beyond the threshold amount for HCR funding.

### 3. Substantiality

Describe whether the requested area variance is substantial.

We do not believe the requested area variance is substantial and have actively sought methods to reduce the amount of non-compliance following discussions with representatives of the zoning office to minimize the impact of the non-compliant items.

### 4. Adverse Effect

Describe whether the proposed area variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

We do not believe the proposed area variance will have an adverse effect or impact on the existing conditions within the project area. Windows and doors are sized to meet code requirements for emergency egress, daylighting, and ventilation, and are comparable to the window and door sizes of adjacent properties. The building has also been located on the site to maintain the existing street setbacks of its neighbors to continue the pedestrian experience along both streets. .

### 5. Self-Created Difficulty

Describe whether an alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

We believe the difficulty in achieving the requirements for openings is due to the lot size and location. The building is sized to provide a combination of comfortable one, two and three-bedroom apartments within the square footage designations listed in the NYS Homes and Community Renewal design guidelines for square. The site layout provides the required off-street parking spaces and includes street front setbacks that respect the existing built conditions of the neighboring buildings and their distance from the street. The unit count is appropriate for the desired high-density zoning district and the building's height replicates that of its neighbors. We believe the difficulty lies in the pre-existing street conditions in which Kellogg Street intersects Delaware Street at a 73-degree angle. We also believe we have provided a design that respects the neighborhood and strives to provide compliance to the best of its abilities due to the existing conditions created by non-perpendicular street layouts.



November 3rd, 2023

City of Syracuse Planning Commission (CPC)  
One Park Place  
300 South State Street – Suite 700  
Syracuse, NY 13202

City of Syracuse Board of Zoning Appeals (BZA) One Park Place  
300 South State Street – Suite 700  
Syracuse, NY 13202

New York State Department of Environmental Conservation, Region 7  
615 Erie Boulevard West  
Syracuse, NY 13204

New York State Homes & Community Renewal  
Heather Spitzberg, Director  
38-40 State Street, Hampton Plaza  
Albany, NY 12207

Onondaga County Department of Planning  
Dan Kwasnowski, AICP  
335 Montgomery Street, 1<sup>st</sup> Floor  
Syracuse, NY 13202

Greater Syracuse Land Bank  
Katelyn E. Wright, Executive Director  
431 E. Fayette Street, Suite 375  
Syracuse, NY 13202

The City of Syracuse  
Attn: Cristian Toellner – Plans Examiner II

RE: City of Syracuse City Planning Commission - La Liga Westside Village  
“La Liga” / Spanish Action League of Onondaga, Inc. & Acacia (Applicant)  
Greater Syracuse Property Development Corporation (Owner)  
State Environmental Quality Review Act (SEQRA)

To Whom It May Concern,

The City of Syracuse Planning Commission (CPC) received the above referenced site plan submission package, which requests authorization for the construction and operation of housing across six sites. The Project involves new construction of 68 apartments and 2451 sq. ft. of non-residential space across 5 buildings on 5 sites located on the west side of the City of Syracuse, and also includes a 6<sup>th</sup> site for an outdoor community garden space for residents only. The total gross square footage is 25,270 sq. ft., including 14,955 gross sq. ft. of residential space and 10,315 gross sq. ft. of non-residential space, across 5 buildings as follows:

- i. 112-128 Delaware Street, 7,663 sq. ft., 3 stories, 8 units, no elevator
- ii. 222-226 Delaware Street, 6,089 sq. ft., 3 stories, 6 units, no elevator
- iii. 304 Delaware Street, 36,163 sq. ft., 3 stories, 29 units, with an elevator
- iv. 406 Delaware Street, 7,949 sq. ft., 3 stories, 7 units, no elevator
- v. 601 Geddes Street, 25,897 sq. ft. plus 2451 non-residential sq. ft., 4 stories, 18 units, with an elevator that serves residential space only

The site plan applications, EAFs, and supporting materials have been supplied to the City of Syracuse. (3) of the site plans are being reviewed as major site plan, while the other (3) are minor site plans.

This letter is to inform you that the CPC intends to assume lead agency status for a State Environmental Quality Review Act (SEQRA) review of the site plan applications. It is anticipated that the project will be an Unlisted Action pursuant to SEQRA and its implementing regulations (6 NYCRR 617).

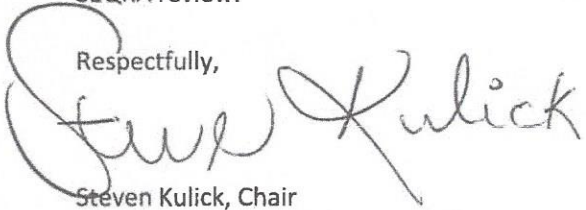
To Whom It May Concern,

Your agency has been identified as a potentially involved or interested agency for this project. To undertake a coordinated review, a lead agency must be designated. The City of Syracuse Planning Commission (CPC) intends to seek lead agency status for purposes of SEQRA review because the proposed action will take place within the border of the City, and the site plan application approval is within the authority of the City.

We respectfully request that you consent to the CPC acting as lead agency by signing this letter and sending it to our offices within 30 days from the date of this transmittal at One Park Place, 300 South State Street – Suite 700 Syracuse NY, 13202.


Should you have direct jurisdiction over activities associated with this proposed project and wish to be lead agency, a dispute may be brought before the Commissioner of Environmental Conservation in accordance with SEQRA rules and regulations (Title 6 of the Official Compilation of Codes, Rules and Regulations (6 NYCRR) § 617.6). Otherwise, you may be an involved agency as that term is defined in 6 NYCRR § 617.2(s). If no response from you is received within thirty (30) days, it will be assumed that you agree that the Town shall act as lead agency. Your participation as an involved agency is encouraged, and any comments received will be considered and addressed in the Town's SEQRA review.

Respectfully,



Steven Kulick, Chair  
City of Syracuse Planning Commission  
One Park Place  
300 South State Street – Suite 700  
Syracuse, NY 13202

The undersigned agency consents to the City of Syracuse Planning Commission acting as Lead Agency in accordance with § 617.6 of the Regulations.

 Chair, Syracuse Board of Zoning Appeals

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(Signature and Title)



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

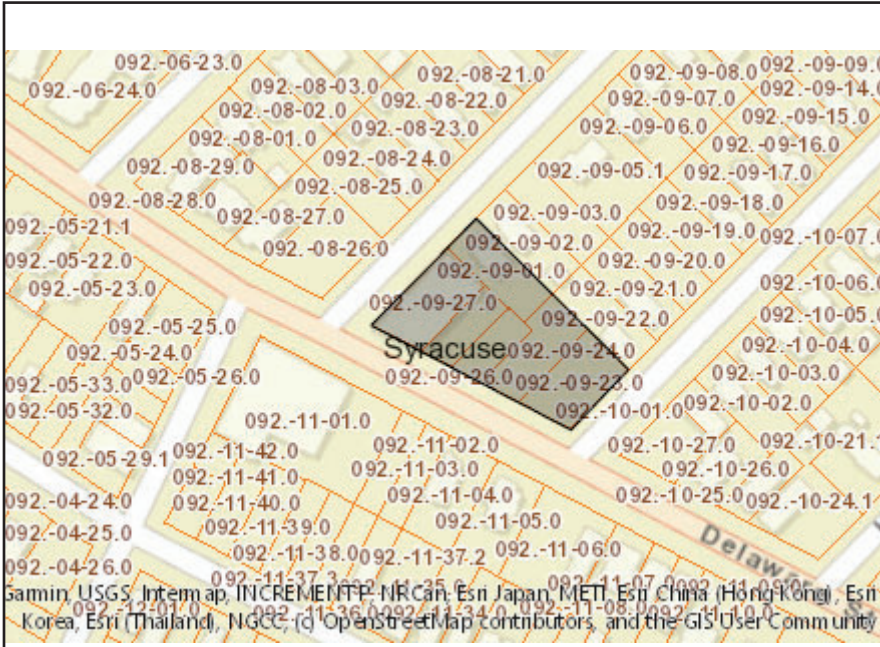
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: La Liga Westside Village			
Project Location (describe, and attach a location map): Scattered sites: 112-128 Delaware Ave, 222-226 Delaware Ave, 304-326 Delaware Ave, 406-412 Delaware Ave, 411 Delaware Ave, 601 Geddes St			
Brief Description of Proposed Action: 112-128 Delaware Ave: 4,400 sf 3-story Townhouse, 8 units with 5 parking spaces - Major Site Plan Approvals track 222-226 Delaware Ave and 321 Kellogg St: 3,500 sf 3-story Townhouse, 6 units with 3 parking spaces - Minor Site Plan Approvals track 304-326 Delaware Ave and 223 Grace St: 13,580 sf 3-story programmed apartment building, 29 units with 15 parking spaces, playground - Major Site Plan Approvals track 406 and 412 Delaware Ave: 3,800 sf 3-story Townhouse, 7 units with 4 parking spaces - Minor Site Plan Approvals track 401-11 Delaware Ave & 100-102 Dudley St: Community garden for residents of project with small gazebo and fencing - Minor Site Plan Approvals track 601-21 Geddes St: 8,000 sf 4-story mixed use building, 18 units with 4 parking spaces - Major Site Plan Approvals track			
Name of Applicant or Sponsor: Spanish Action League of Onondaga County, Inc.		Telephone: 716-856-7110 E-Mail: DaRodriguez@hubwny.com	
Address: 700 Oswego Street			
City/PO: Syracuse		State: NY	Zip Code: 13204
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		2.96 acres	
b. Total acreage to be physically disturbed?		2.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2.96 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? 601 Geddes is adjacent to buffer area b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ According to the Environmental Resource Mapper, 601-21 Geddes St site is across the street from an underground water course. Proposed project will not impact this feature. _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	







**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



## Site Photographs

304-326 Delaware Street



Photo 1: 304-326 Delaware Street – Looking North



Photo 2: 304-326 Delaware Street – Looking Northeast





Photo 3: 304-326 Delaware Street – Looking South at 317-41 Delaware



Photo 4: 304-326 Delaware Street – Looking South at 321 Delaware, 305 Delaware





Photo 5: 304-326 Delaware Street – Looking West – 418-20 Delaware (grey) and 222 Grace Street (blue)2



Photo 6: 304-326 Delaware Street – Looking East





Photo 7: 304-326 Delaware Street – Front



Photo 8: 304-326 Delaware Street – Northwest/Rear





Photo 9: Delaware Baptist Church ca. 1889 at 341 Delaware Street by Archimedes Russell



Photo 10: Delaware Baptist Church ca. 1889 at 317-41 Delaware Street by Archimedes Russell and later additions







# SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE

304-326 DELAWARE STREET, SYRACUSE NEW YORK  
SITE THREE OF SIX

HKK PROJECT #22071



**OWNER/DEVELOPER**  
ACACIA NETWORK

300 E. 175TH STREET  
BRONX, NY 10457  
PHONE: (718) 299-1100  
WEBSITE: www.acaianetwork.org



**CONSULTING SERVICES**  
OXFORD CONSULTING, INC.

505 ELLICOTT STREET, SUITE A208  
BUFFALO, NY 14203  
PHONE: (716) 725 3123  
WEBSITE: www.oxfordconsulting.com



**LANDSCAPE ARCHITECT**  
KEPLINGER FREEMAN ASSOCIATES PLLC

6320 FLY ROAD, SUITE 109  
EAST SYRACUSE, NY 13057  
PHONE: (315) 445-7980  
FAX: (315) 445-7981  
WEBSITE: www.keplingerfreeman.com

**STRUCTURAL ENGINEER**  
ST. GERMAIN & AUPPERLE  
CONSULTING ENGINEERS, PLLC

5711 WEST GENESEE STREET  
CAMILLETTUS, NY 13021  
PHONE: (315) 488-3550  
FAX: (315) 488-3505  
WEBSITE: www.sa-engineers.com

**ARCHITECT:**  
HOLMES • KING • KALLQUIST  
& ASSOCIATES, ARCHITECTS, LLP

575 NORTH SALINA STREET  
SYRACUSE, NY 13208  
PHONE: (315) 476-8371  
FAX: (315) 476-5420  
WEBSITE: www.hkkarchitects.com

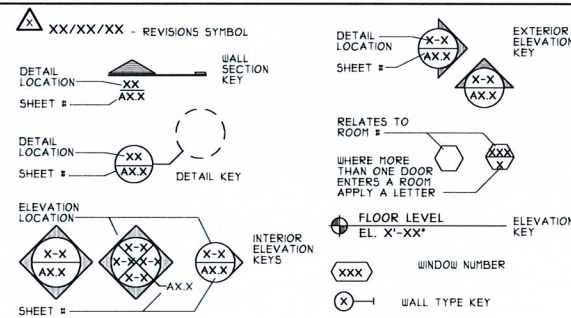
**MECHANICAL ENGINEER**  
IPD ENGINEERING

ONE WEBSTER'S LANDING  
SYRACUSE, NY 13202  
PHONE: (315) 423-0185  
FAX: (315) 471-6222  
WEBSITE: www.ipdengineering.com

**ABBREVIATIONS :**

ACP/APC	ACOUSTIC CEILING PANEL	EQ	EQUAL	LLH	LONG LEG HORIZONTAL	REV	REVISED/REVISION
ACT/ATC	ACOUSTIC CEILING TILE	EST	ESTIMATE	LLV	LONG LEG VERTICAL	RM	ROOM
ADJ	ADJACENT	EQUIP	EQUIPMENT	LOC	LOCATION	RO	ROUGH OPENING
AFB	ABOVE FINISHED FLOOR	ESC	ELECTRIC WATER COOLER	LTG	LIGHTING	ROB	RIGHT OF WAY
AIA	AMERICAN INSTITUTE OF ARCHITECTS	EXH	EXHAUST	LTL	LINTEL	RUB	RUBBER
ALLOW	ALLOWANCE	EX or EXIST	EXISTING	LVL	LAMINATED VENEER LUMBER	SCHED	SCHEDULE
ALT	ALTERNATE	EXT	EXTERIOR	LVP	LUXURY VINYL PLANK	SEC	SECTION
ALUM	ALUMINUM	FD	FLOOR DRAIN	LVT	LUXURY VINYL TILE	SEALANT	SEALANT
ANOD	ANODIZED	FDN	FOUNDATION	LVR	LOUVER	SEALER	SEALER
APPROX	APPROXIMATELY	FE	FIRE EXTINGUISHER	LVT	LUXURY VINYL TILE	SLT	SLATE
ARCH	ARCHITECT (URAL)	FEC	FIRE EXTINGUISHER CABINET	HAR	MARBLE	SQ	SQUARE FOOT
AVG	AVERAGE	F/F	FACE OF FINISH	MAT	MASONRY	SF	SHEET
ABC	ACOUSTICAL WALL COVERING	FG	FIBERGLASS	MAX	MAXIMUM	SHT	SHEET
ABF	ACOUSTICAL WALL PANELING	FIN	FINISH	MDF	MEDIUM DENSITY FIBERBOARD	SHT	SHEET
B/F	BOTTOM OF FOOTING	FM FLR	FINISHED FLOOR	MDO	MEDIUM DENSITY OVERLAY	SPR	SPRINKLER
BIT	BITUMINOUS	FX	FIXTURE	MECH	MECHANICAL	SQ	SQUARE
BLDG	BUILDING	FLR	FLOOR	MEZZ	MEZZANINE	SS	STAINLESS STEEL
BLKG	BLOCKING	FR	FACTORY MUTUAL	MFR	MANUFACTURER	SSM	SOLID SURFACE MATERIAL
BH	BEAH/BENCHMARK	F/O	FACE OF	MIN	MINIMUM	STC	SOUND TRANSMISSION CLASS
B/O	BOTTOM OF	FP	FIRE PROOFING	MIS	MISCELLANEOUS	STD	STANDARD
BND	BOARD	FR	FIRE RESISTIVE	MS	MASONRY OPENING	STL	STEEL
BRK	BRICK	FRM	FRAMING	MTL	METAL	STN	STAIN
BSHT	BASEMENT	FRP	FIBERGLASS REINFORCED PLASTIC	NA	NOT APPLICABLE	STRUCT	STRUCTURAL
BTKN	BETWEEN	FT	FOOT/FEET OR FIRE TREATED	NIC	NOT IN CONTRACT	SURF	SURFACE
BUR	BUILT-UP ROOF	FTG	FOOTING	NO. OR #	NUMBER	SUSP	SUSPENDED
CABT	CABINET	FTRTD	FIRE TREATED	NOH	NOMINAL	SY	SQUARE YARD
CEH	CERENT/CEMENTIOUS	FUR	FURRING	NTS	NOT TO SCALE	SYH	SYMMETRICAL
CF	CUBIC FOOT/FEET	FURN	FURNITURE	OA	ON CENTER	T	TREAD
CJ	CONTROL JOINT	GA	GAUGE	OC	ON CENTER	TEL	TELEPHONE
CL	CENTERLINE	GAL	GALLON	OD	OUTSIDE DIAMETER	TEMP	TEMPORARY
CLG	CEILING	GALV	GALVANIZED	ONT	OVERHEAD	TERR	TERRAZZO
CLO	CLOSET	GC	GENERAL CONTRACTOR	OPNG	OPENING	THK	THICK
CLR	CLEAR	GEN	GENERAL	OPP	OPPOSITE	THRESH	THRESHOLD
CNU	CONCRETE MASONRY UNIT	GL	GLASS/GLAZING	OPPH	OPPOSITE HAND	TIG	TONGUE & GROOVE
COL	COLUMN/COLOR	GR	GRANITE	OSB	ORIENTED STRAND BOARD	TOP OF	TOP OF
COHP	COMPOSITE	GR	GRADE	OZ	OUNCE	TOL	TOILET
CONC	CONCRETE	GRD	GROUND	PART	PARTITION	T/S	TOP OF STEEL
CONST	CONSTRUCTION	G3	GLAZED TILE	PBRD	PARTICLE BOARD	TTL	TOTAL
CONT	CONTINUOUS	GWB	GYP/SUM WALLBOARD	PC	COMPUTER	TV	TELEVISION
CONTR	CONTRACTOR	GYP	GYP/SUM	PED	PEDINAT	TYP	TYPICAL
COORD	COORDINATE	H	HIGH	PERF	PERFORATED	UL	UNDERWRITER'S LABORATORY
CORR	CORROD	H/C	HANDICAPPED ACCESSIBLE	PLT	PLATE	UNO	UNLESS NOTED OTHERWISE
CORRUG	CORRUGATED	HDBD	HARDWOOD	PLAM	PLASTIC LAMINATE	UR	URINAL
CPT	CARPET	HDR	HARDWARE	PLAS	PLASTER	VAR	VARIABLE
CPT. T.	CARPET TILE	HGT	HIGHT	PLBG	PLUMBING	VARSH	VARIATION
CRS	COURSE(S)	HM	HOLLOW METAL	PLYD	PLYWOOD	VB	VAPOR BARRIER
CT	CERAMIC TILE	HORIZ	HORIZONTAL	PNL	PANEL	VCT	VINYL COMPOSITION TILE
D	CUBIC YARD	HPC	HIGH PRESSURE LAMINATE	PNT	PANT	VERT	VERTICAL
DF	DIAPHRAGM	HOUR	HOUR	PREFAB	PREFABRICATED	VET	VINYL ENHANCED TILE
DIAG	DIAGONAL	HVAC	HEATING, VENTILATING & AIR CONDITIONING	PREFIN	PRE-FINISHED	VEST	VESTIBULE
DIH	DIAMETER	ID	INSIDE DIAMETER	PSF	POUNDS PER SQUARE FOOT	VIF	VERIFY IN FIELD
DL	DEAD LOAD	IN	INCH	PSI	POUNDS PER SQUARE INCH	VNR	VENEER
DN	DOWN	INCL	INCLUDED, INCLUDING	PTD	PAINTED	VTR	VENT THROUGH ROOF
DO	DITTO	INSUL	INSULATION	PT	PRESSURE TREATED	VUC	VINYL WALL COVERING
DR	DOOR	INT	INTERIOR	NT	NOT	W	WIDE
DTL	DETAIL	INV	INVERT	PVHT	PAVEMENT	W	WITH
DWG	DRAWING	JAN	JANITOR	QT	QUARRY TILE	WC	WATER CLOSET/WALL COVERING
EA	EACH	JT	JOINT	QTY	QUANTITY	WD	WOOD
EPS	EXTERIOR INSULATION FINISH SYSTEM	L	LENGTH	R	RISER/RADIUS	WD PNL	WOOD PANELING
EJ	EXPANSION JOINT	LAM	LAMINATE(D)	RC	RESILIENT CHANNEL	WF	WIDE FLANGE
EL	ELEVATION	LAV	LAVATORY	RD	ROUND	WN	WINDOW
ELEC	ELECTRIC (IAL)	LB	LINEAR FEET	RECT	RECTANGULAR	W/O	WITHOUT
ELEV	ELEVATOR/ELEVATION	LG	LIGHT GAUGE	REF	REFERENCE	WR	WATER RESISTANT
ENT	ENTRANCE RIA	LGN	LIGHT GAUGE METAL FRAMING	REG	REGULAR	WT	WEIGHT
ENTR	ENTRANCE	LIN. MTL	LINEAR METAL CEILING	REIN	REINFORCE (D) (MENT)	WUF	WEDED WIRE FABRIC
EPS	EXPANDED POLYSTYRENE	LNO	LINOLEUM	REOD	REQUIRED		
		LL	LIVE LOAD	RES	RESILIENT FLOORING		

**SYMBOLS :**

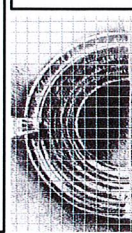


**LIST OF DRAWINGS :**

T1.1	TITLE SHEET	ARCHITECTURAL
-	RESUBDIVISION SURVEY	
<b>CIVIL</b>		
L1.1	SITE PREPARATION PLAN - 304-326	
L2.1	SITE GRADING, DRAINAGE AND UTILITIES UTILITIES PLAN - 304-326	
L3.1	SITE PLAN LAYOUT PLAN - 304-326	
L4.1	SITE PLANTING PLAN - 304-326	
L5.1	SITE DETAILS	
L5.2	SITE DETAILS	
		<b>ARCHITECTURAL</b>
A1.0	FLOOR PLANS	
A1.1	FLOOR PLANS	
A1.2	ROOF PLAN	
A2.1	EXTERIOR ELEVATIONS	

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
304-326 DELAWARE STREET  
SYRACUSE, NEW YORK

**HOLMES • KING • KALLQUIST**  
& Associates, Architects, LLP  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
www.hkkarchitects.com



TITLE SHEET  
**T1.1**  
SITE THREE OF SIX

I, THE UNDERSIGNED ARCHITECT, CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS ADOPTED BY NEW YORK STATE AND THE INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY NEW YORK STATE

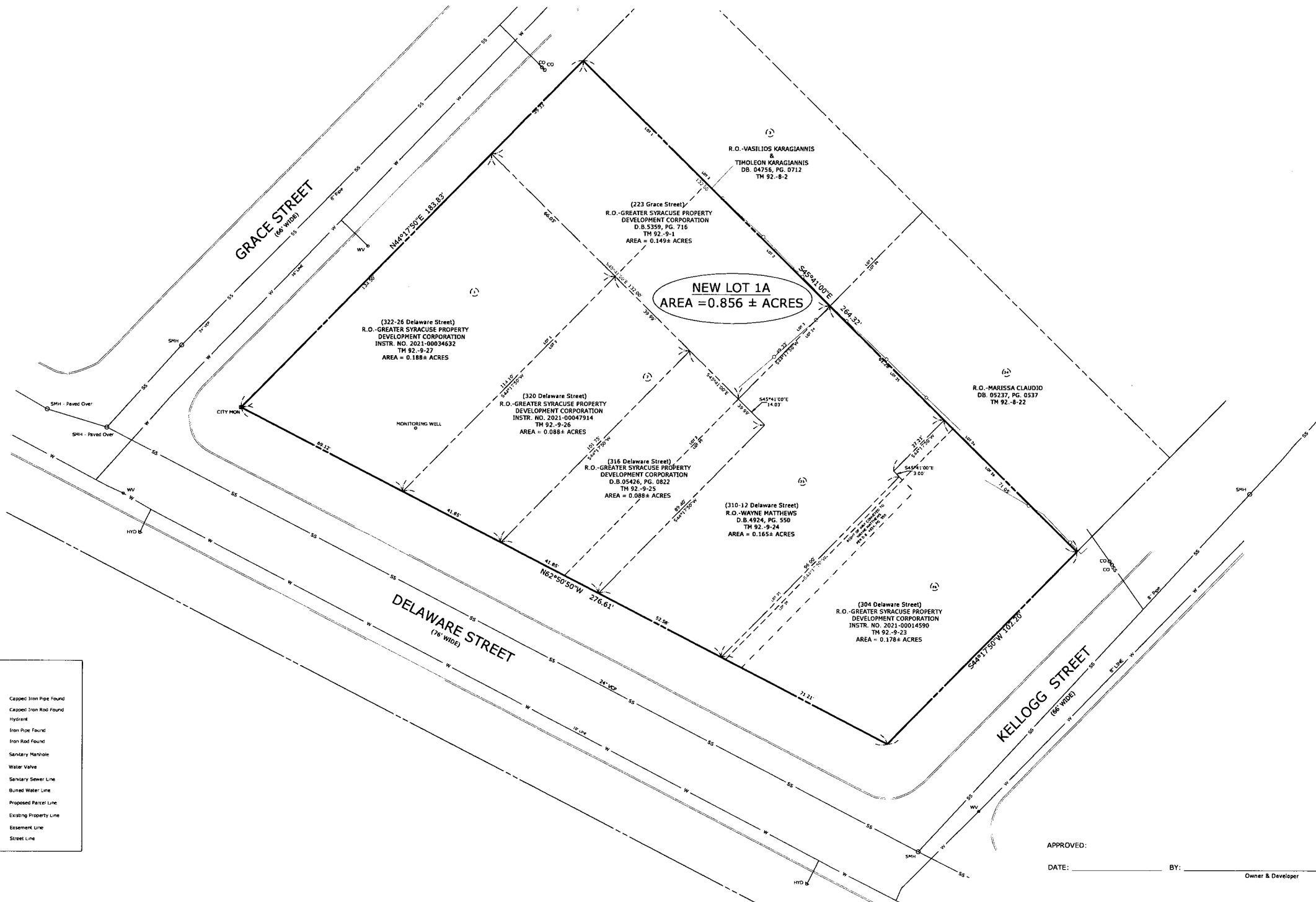
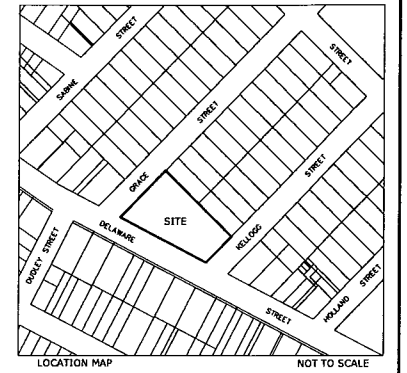
ISSUE DATE: XX/XX/XXXX  
BID SET No.:

REV	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT, AND SHALL BE USED ONLY ON THE JOB DESIGNATED. COPYRIGHT (C) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO: 22071  
DATE: 10/23/23  
DRAWN BY: MCM  
SCALE: AS NOTED





**LEGEND**

○ CIPF	Capped Iron Pipe Found
○ CIPR	Capped Iron Rod Found
○ HYD	Hydrant
○ IPR	Iron Pipe Found
○ IRF	Iron Rod Found
○ SMH	Sanitary Manhole
○ WV	Water Valve
— SS	Sanitary Sewer Line
— W	Buried Water Line
—	Proposed Parcel Line
—	Existing Property Line
—	Easement Line
—	Street Line

- MAP NOTES**
- 1.) NORTH ORIENTATION BASED ON THE CITY OF SYRACUSE RIGHT OF WAY PLATES.
  - 2.) FIELD WORK PERFORMED BETWEEN JANUARY 15-31, 2023.
  - 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
  - 4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY). THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.

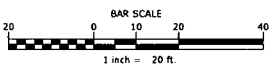
- MAP REFERENCES**
- 1.) MAP OF THE KELLOGG TRACT AND THE DAVIS & WHITE TRACT - FILED MAP #177

I HEREBY CERTIFY THAT THIS IS AN ACCURATE SUBDIVISION PLAT PREPARED BY US ON JUNE 26, 2023. THIS SUBDIVISION PLAT MEETS THE CURRENT STANDARDS STATED IN THE NYSAPLS CODE OF PRACTICE FOR LAND SURVEYS PERTAINING TO BOUNDARY SURVEYS. THE SUBDIVISION BOUNDARY CLOSURE IS GREATER 1:10,000. THIS MAP IS NOT VALID WITHOUT THE ORIGINAL SEAL OF THE SURVEYOR.

DAVID M. SLISKI PLS # 50105 DATE

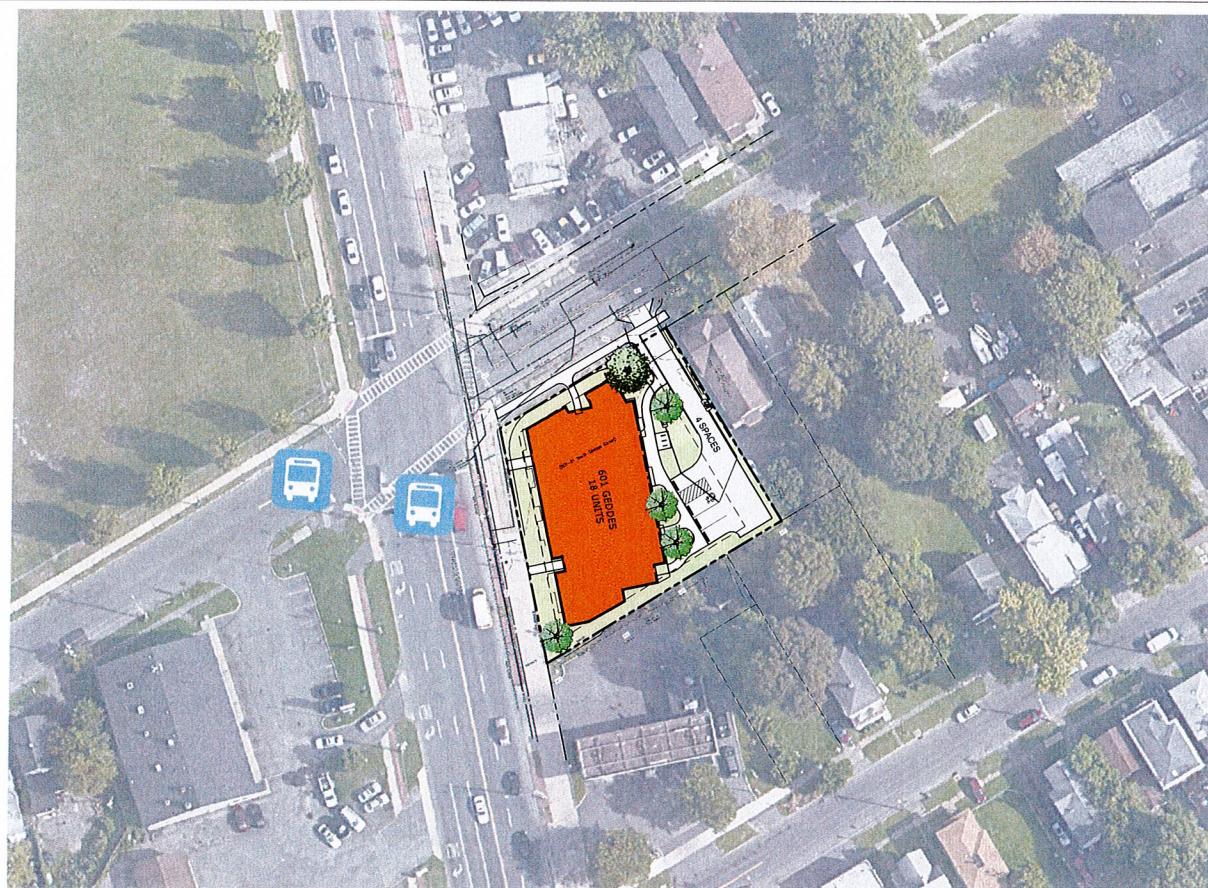
APPROVED: \_\_\_\_\_ BY: \_\_\_\_\_  
DATE: \_\_\_\_\_ OWNER & DEVELOPER

CITY OF SYRACUSE DEPT. OF ENGINEERING	CITY OF SYRACUSE PLANNING COMMISSION	ONONDAGA COUNTY HEALTH DEPT.



DAVID M. SLISKI P.L.S. NO. 050105	DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.	<p align="center"><b>RESUBDIVISION PLAT</b></p> <p align="center">FOR LOTS 1,2,25 &amp; 26 OF CITY BLOCK 325 (KELLOGG TRACT) INTO <b>NEW LOT 1A OF CITY BLOCK 325</b> (TO BE KNOWN AS 316 DELAWARE STREET)</p> <p align="center">304, 310-12, 316, 320 &amp; 322-26 DELAWARE STREET &amp; 223 GRACE STREET</p> <p align="center">CITY OF SYRACUSE ONONDAGA COUNTY, NEW YORK</p>
	07/26/23	ADD PROPOSED ADDRESS	DMS	DMS	DMS	<p align="center">© 2023 C.T. MALE ASSOCIATES</p> <p>APPROVED:</p> <p>DRAFTED : TOL</p> <p>CHECKED : DMS</p> <p>PROJ. NO : 23.3374</p> <p>SCALE : 1" = 20 FT.</p> <p>DATE : JUNE 26, 2023</p>	
<p align="center">I HEREBY CERTIFY THAT THIS IS AN ACCURATE SUBDIVISION PLAT PREPARED BY US ON JUNE 26, 2023. THIS SUBDIVISION PLAT MEETS THE CURRENT STANDARDS STATED IN THE NYSAPLS CODE OF PRACTICE FOR LAND SURVEYS PERTAINING TO BOUNDARY SURVEYS. THE SUBDIVISION BOUNDARY CLOSURE IS GREATER 1:10,000. THIS MAP IS NOT VALID WITHOUT THE ORIGINAL SEAL OF THE SURVEYOR.</p> <p align="center">JULY 26, 2023</p> <p align="center">DAVID M. SLISKI PLS # 50105 DATE</p>						<p align="center"><b>C.T. MALE ASSOCIATES</b></p> <p align="center">Engineering, Surveying, Architecture, Landscape Architecture &amp; Geology, D.P.C.</p> <p align="center">50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400</p> <p align="center">COLESKILL, NY - GLENS FALLS, NY - Poughkeepsie, NY</p> <p align="center">JOHNSTOWN, NY - RED HOOK, NY - SYRACUSE, NY</p> <p align="center">www.ctmale.com</p>	<p align="center">SHEET 1 OF 1</p> <p align="center">DWG. NO: 23-0412</p>





**ZONING CHART - 601 GEDDES**

601 GEDDES  
8200 SF 4-STORY MIXED USE BUILDING  
18 UNITS RESIDENTIAL, 2300 SF COMMERCIAL

092-09-26.0 601-21 DELAWARE

TOTAL COMBINED PARCEL AREA: 18,168 SF / .411 ACRES  
ZONE: LOCAL BUSINESS ZONE A - PER MAP #2, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	SEE BELOW	8'
CORNER LOT SIDE YARD**	SEE BELOW	8'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*SIDEYARD IS 4' PLUS 2' PER FLOOR OVER 2 STORIES, SO 4' + 4' FOR 2 FLOORS = 8' REQUIRED.  
\*\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD OF SIDE STREET IS 8'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	33'
MAX. STRUCTURAL	N/A AS MIXED USE	44%
MAX. PARKING	N/A AS MIXED USE	18%
MIN. LOT SF PER UNIT	1000	1009

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	8	4**
1 SPACE / 300 SF RETAIL	0	4**

\*\*PARKING PROVIDED SHALL BE FOR COMMERCIAL TENANT AND 1 RESERVED SPACE FOR RENTING SERVICES

**ACCESS**  
BUS STOPS ON 5Y 74, 5Y 92L BY 966, AND AUB 38 ARE LOCATED ON THE CORNER OF SEYHOOR STREET AND GEDDES STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 304 DELAWARE**

304 DELAWARE  
14300 SF 4-STORY APARTMENT BUILDING - 20 UNITS

092-09-23.0 304 DELAWARE ST  
092-09-24.0 310-312 DELAWARE ST  
092-09-25.0 316 DELAWARE ST  
092-09-26.0 320 DELAWARE ST  
092-09-27.0 322-26 DELAWARE ST  
092-09-10 223 GRACE ST

TOTAL COMBINED PARCEL AREA: 31,802 SF / .726 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #2, ZONING ATLAS - ALL PARCELS EXCEPT 223 GRACE ST IS RESIDENTIAL BUSINESS CLASS AA

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	SEE BELOW	20' / 10'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	22'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD IS 20' ON BOTH SIDE STREETS.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	26-41'
MAX. STRUCTURAL	40%	35%
MAX. PARKING	40%	17%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	28	20**

\*\*PARKING DEFICIT (8 SPACES) AT THIS DEVELOPMENT IS OFFSET AT DUDLEY PARCEL

**ACCESS**  
BUS STOPS ON 5Y 64, 5Y 81A, 5Y 92L, 5Y 93L, 5Y 926, 5Y 966, AND 5Y 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE. BUS STOPS ON KELLOGG STREET AND DELAWARE STREET, ALSO ADJACENT TO THE SITE, INCLUDE 5Y 92L, 5Y 966, 5Y 912, 5Y 914, AND 5Y 926.

**ZONING CHART - DUDLEY**

DUDLEY  
COMMUNITY GARDEN AND PLAYGROUND  
13 PARKING SPACES

092-09-25.0 401-5 DELAWARE ST  
092-09-24.0 41 DELAWARE ST  
092-09-26.0 100 DUDLEY ST  
092-09-21.0 102 DUDLEY ST

TOTAL COMBINED PARCEL AREA: 16,455 SF / .378 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #2, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER LOT SIDE YARD*	SEE BELOW	15'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	24'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. FRONT LOT WIDTH IS APPROX. 100'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	83'
MAX. STRUCTURAL	40%	5%
MAX. PARKING	40%	21%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	0	13**

\*\*DUDLEY PARCEL LOT OFFSETS PARKING DEFICIT AT 304 DELAWARE PARCEL (8 SPACES) / 226 DELAWARE PARCEL (3 SPACES)

**ACCESS**  
BUS STOPS ON 5Y 926, 5Y 966, 5Y 912, 5Y 914, 5Y 64, 5Y 81A, 5Y 93L, AND 5Y 942 ARE LOCATED ON THE CORNER OF DUDLEY STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 226 DELAWARE**

226 DELAWARE  
3500 SF 3 STORY TOWNHOUSE - 6 UNITS

092-10-26.0 222 DELAWARE ST  
092-10-21.0 226 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 14,109 SF / 0.321 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #2, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER SIDE YARD*	SEE BELOW	4'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD IS 14'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	132'
MAX. STRUCTURAL	40%	25%
MAX. PARKING	40%	0%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	6	3**

\*\*PARKING DEFICIT (3 SPACES) AT THIS DEVELOPMENT IS OFFSET AT DUDLEY PARCEL

**ACCESS**  
BUS STOPS ON KELLOGG STREET AND DELAWARE STREET ARE LOCATED DIRECTLY ADJACENT TO THE SITE, INCLUDE 5Y 92L, 5Y 966, 5Y 912, 5Y 914, AND 5Y 926.

**ZONING CHART - 406 DELAWARE**

406 DELAWARE  
4300 SF 3-STORY TOWNHOUSE - 7 UNITS

092-09-26.0 406 DELAWARE ST  
092-09-21.0 412 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 16,431 SF / .371 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #2, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER SIDE YARD*	SEE BELOW	15'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD IS 15'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	-
MAX. STRUCTURAL	40%	-
MAX. PARKING	40%	-

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	7	8

**ACCESS**  
BUS STOPS ON 5Y 64, 5Y 81A, 5Y 92L, 5Y 93L, 5Y 926, 5Y 966, AND 5Y 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 112 DELAWARE**

112 DELAWARE  
4400 SF 3 STORY TOWNHOUSE - 8 UNITS

093-01-21.0 112 DELAWARE ST  
093-01-26.0 116-118 DELAWARE ST  
093-01-23.0 122-24 DELAWARE ST  
093-01-30.0 118 DELAWARE ST

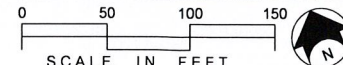
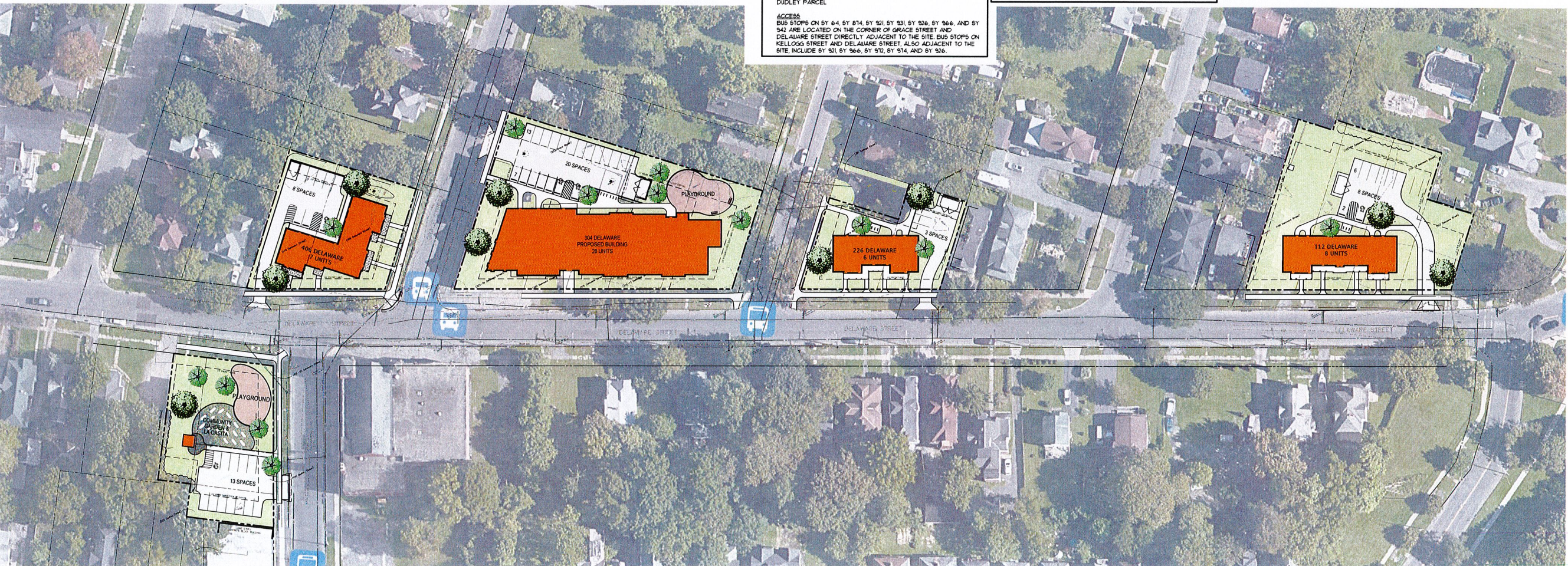
TOTAL COMBINED PARCEL AREA: 20,951 SF / .471 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #3, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	154'
MAX. STRUCTURAL	40%	16%
MAX. PARKING	40%	14%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	8	8

**ACCESS**  
BUS STOPS ON 5Y 92L BY 966, AND 5Y 914 ARE LOCATED WITHIN 150' OF THE SITE. ADJACENT STOPS ARE LOCATED WITHIN 150', AT THE CORNER OF DELAWARE AND WEST ONONDAGA STREET.



**KEPLINGER  
F R E E M A N  
ASSOCIATES**  
LANDSCAPE ARCHITECTURE & LAND PLANNING  
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CONSTRUCTION**

REV	DATE	DRAWN BY	DESCRIPTION
1	4/20/22	CRF	SCHEMATIC

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JOB NO:	42134
DATE:	20 APRIL 2023
DRAWN BY:	CRF
REVIEW BY:	EGK
SCALE:	AS SHOWN

**LA LIGA WEST SIDE HOUSING**  
601 SOUTH GEDDES STREET

**HOLMES - KING - KALLQUIST  
& Associates, Architects, LLP**  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
www.hkkaarchitects.com



OVERALL PLAN

**L1.0**

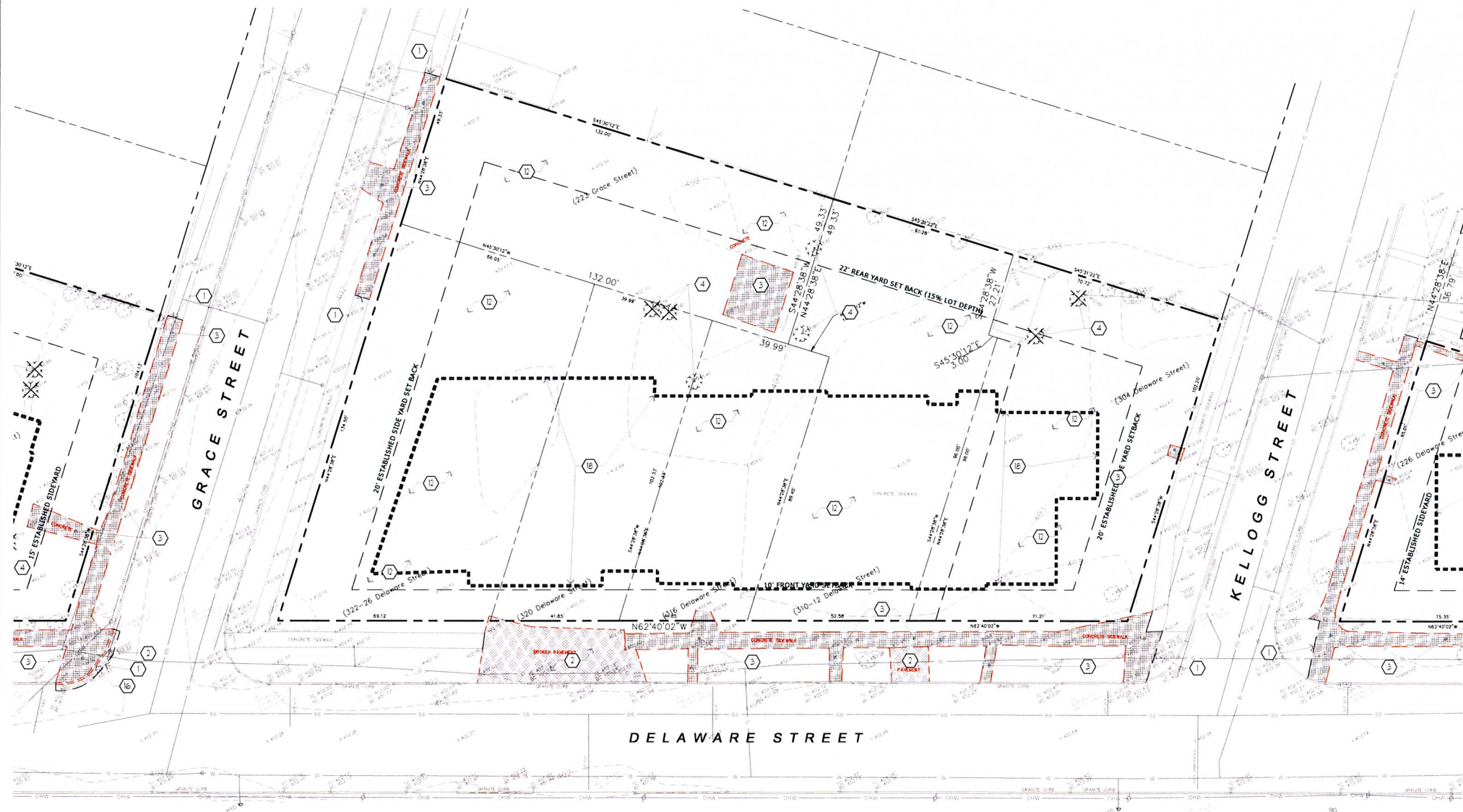


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JOB NO 22071  
DATE: 07/25/23  
DRAWN BY: CRF  
SCALE: AS NOTED



**EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES**

- 1 SAUCUT ASPHALT OR CONCRETE PAVEMENT. SAUCUT ASPHALT IN NEAT STRAIGHT LINE AND SAUCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
- 2 REMOVE ASPHALT PAVEMENT AND DISPOSE OF MATERIALS OFF SITE. NYS DOT ITEM No. 203.02.
- 3 REMOVE EXISTING CONCRETE IN ITS ENTIRETY, LEGALLY DISPOSE OF OFF SITE. AT CONTRACTOR OPTION, EXISTING CONCRETE MAY BE CRUSHED TO MEET THE SPECIFICATION FOR OVERSIZE SUBBASE COURSE MATERIAL (3 INCH MINUS) AND USE IN LOWER LIFTS OF THE PARKING LOT FILL.
- 4 REMOVE EXISTING TREES AND VEGETATION INCLUDING STUMPS AND ROOTS. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE. COORDINATE STOCKPILE LOCATIONS WITH CONSTRUCTION MANAGER. ALL CLEARING OF POTENTIAL SUMMER ROOSTING TREES 4-INCH DIAMETER OR GREATER MUST OCCUR FROM OCTOBER 31ST THROUGH MARCH 31ST. CLEARING OF VEGETATION AT ANY OTHER TIME OF THE YEAR MUST BE REVIEWED AND AUTHORIZED BY THE NEW YORK FIELD OFFICE OF THE U.S. FISH AND WILDLIFE SERVICE IN CORTLAND, NY. ALL CLEARING AND GRUBBING WITHIN NYS DOT RIGHT-OF-WAY TO BE PAID FOR UNDER ITEM No. 201.0100000.
- 5 APPROXIMATE LOCATION OF PROPOSED BUILDING.
- 6 LARGE TREES SHALL BE PROTECTED WHERE LAND REMAINS UNDISTURBED BY CONSTRUCTION ACTIVITY.
- 7 CONTRACTOR TO COMPLETE AND SUBMIT PERM 33 AND SHALL OBTAIN HIGHWAY WORK PERMIT FROM NYS DOT PRIOR TO ANY WORK WITHIN THE HIGHWAY RIGHT-OF-WAY.
- 8 SANITARY WORK WITHIN RIGHT-OF-WAY MUST BE PERMITTED BY NYS DOT REGIONAL UTILITY COORDINATOR JEREMY LAUTON # (315) 428-4388 (jeremylauton@dot.ny.gov). COORDINATE CONNECTION TO EXISTING SANITARY SEWER WITH VILLAGE OF CANTILLUS ENGINEER. EXISTING SANITARY MANHOLE TO REMAIN. PROTECT. CORE DRILL OPENING INTO EXISTING MANHOLE AND PROVIDE WATERTIGHT SEAL.
- 9 REMOVE EXISTING GRAVEL SURFACING IN ITS ENTIRETY TO PROPERTY LINE AND DISPOSE OF OFF SITE. RESTORE WITH TOPSOIL AND ESTABLISH LAWN.
- 10 REMOVE EXISTING FENCE IN ITS ENTIRETY, INCLUDING FABRIC, FOOTINGS, POSTS AND GATES, AND DISPOSE OF OFF SITE.
- 11 EXISTING GRANITE CURB TO REMAIN, PROTECT.
- 12 STRIP EXISTING TOPSOIL AND STOCKPILE FOR REUSE.
- 13 ALL WORK IN CITY RIGHT OF WAY MUST HAVE A WORK PERMIT FROM THE CITY. ANY ROAD AND PEDESTRIAN CLOSURES SHALL HAVE CORRECT SIGNAGE IN PLACE PER MUTCD.
- 14 REMOVE EXISTING BUILDING REFER TO SPECIFICATIONS FOR ANY SPECIAL INSTRUCTIONS REGARDING BUILDING DEMOLITION COMPLETELY REMOVE ALL BUILDING FOUNDATIONS AND SLABS IN THEIR ENTIRETY WHERE FOUNDATION WALLS AND SLABS ARE LOCATED WITHIN THE PROPOSED BUILDING FOOTPRINT TO 5 FEET OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO SPECIFICATIONS FOR ANY SPECIAL INSTRUCTIONS REGARDING BACKFILLING OF VOIDS WITHIN THE BUILDING FOOTPRINT AREA.
- 15 EXISTING UTILITY POLE REMAINS, PROTECT.
- 16 REMOVE EXISTING GRANITE CURB, DISPOSE OF OFF SITE.
- 17 REMOVE EXISTING CONCRETE BLOCKS AND DISPOSE OF OFF SITE.
- 18 APPROXIMATE LOCATION OF PROPOSED BUILDING.

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
**304 - 326 DELAWARE STREET**  
SYRACUSE, NEW YORK

**HOLMES - KING - KALLQUIST  
& Associates, Architects, LLP**  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
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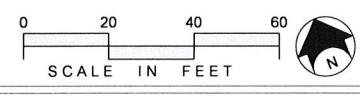
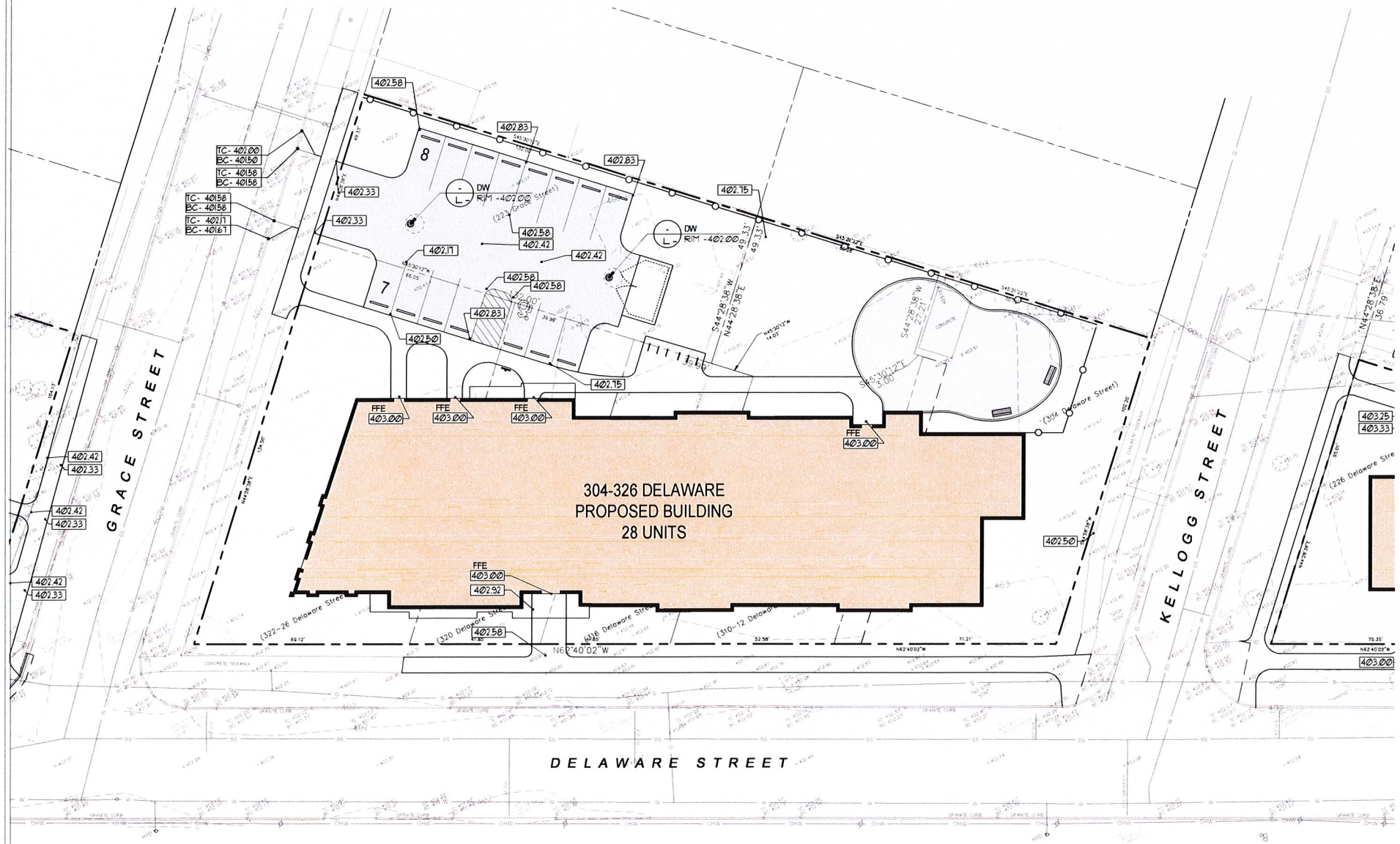
ANY PART OF THIS PLAN OR ANY PART THEREOF IS UNLAWFUL TO REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY SUCH REPRODUCTION OR TRANSMISSION SHALL BE NOTED, SKALED, AND SIGNED BY THE ARCHITECT. UNLESS OTHERWISE NOTED, THE REQUIREMENTS OF PART 69.09.

**SITE PREPARATION  
PLAN - 304-326**

SITE THREE OF SIX  
**L1.1**



@PLTDATE @DWGFULLNAMEEXT



### GRADING, DRAINAGE & UTILITY GENERAL NOTES

1. ANY/ALL FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
2. WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
3. ALL CONCRETE PAVING AT ALL EXISTING AND NEW DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOULED TO FOUNDATION WALL PER DETAILS.
4. A GEOTECHNICAL EVALUATION REPORT WAS PREPARED BY KENNEY GEOTECHNICAL SERVICES DATED 8-22-2018 FOR THIS PROJECT SITE. IT IS ASSUMED THAT THE CONTRACTOR WILL REVIEW THIS REPORT AND ADHERE TO THE RECOMMENDATIONS AND CONCLUSIONS PROVIDED. COPIES OF THE REPORT CAN BE PROVIDED UPON REQUEST.
5. MINIMUM 6" CLEAR INSPECTION SPACE TO BE PROVIDED BETWEEN THE SURFACE OF THE PLANNED LANDSCAPE GRADE AND NON-MASONRY SIDING.
6. DISCHARGE FROM DOWNSPOUTS/FLASH PADS TO EXTEND A MINIMUM OF 24" FROM THE BUILDINGS.

### GRADING, DRAINAGE & UTILITY NOTES

- NOTES REFER TO SHEETS L2.1 & L3.1
- ① MEET EXISTING LINE AND GRADE.
  - ② INSTALL 6" PVC SANITARY LATERAL @ 1% MINIMUM SLOPE.
  - ③ INSTALL SANITARY CLEANOUT AT 15 FT MAXIMUM SPACING PER DETAIL 11/L14.
  - ④ INSTALL STONE LINED SWALE PER DETAIL 9/L12.
  - ⑤ INSTALL OUTLET PROTECTION PER DETAIL 11/L12.
  - ⑥ INSTALL JUTE MESH SWALE PER DETAIL 14/L12.
  - ⑦ APPROXIMATE LOCATION OF ROOF DRAIN REFER TO ARCHITECTURAL PLANS. INSTALL ROOF DRAIN SPLASH PAD PER DETAIL 15/L12, TYPICAL.
  - ⑧ 74" HDPE PIPE TO BE PAID FOR UNDER NYS DOT ITEM No. 603.94000601.
  - ⑨ INFILTRATION BASIN UNDERDRAIN PER DETAIL 16/L12.
  - ⑩ RPZ DRAINAGE PIPE TO DISCHARGE A MINIMUM OF 12" ABOVE DRAINAGE SWALE OVERFLOW ELEVATION.
  - ⑪ INSTALL UNDERDRAIN PER DETAIL 6/L12.



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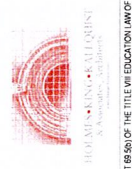
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JOB NO: 22071  
DATE: 07/25/23  
DRAWN BY: CRF  
SCALE: AS NOTED

SCHMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
**304 - 326 DELAWARE STREET**  
SYRACUSE, NEW YORK

**HOLMES - KING - KALLQUIST**  
& Associates, Architects, LLP  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
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www.hkkarchitects.com



SITE GRADING, DRAINAGE,  
AND UTILITIES PLAN -  
304-326

SITE THREE OF SIX  
**L2.1**



**ZONING CHART - DUDLEY**

**DUDLEY**  
COMMUNITY GARDEN AND PLAYGROUND  
13 PARKING SPACES

092-05-25.0 401-5 DELAWARE ST  
092-05-24.0 411 DELAWARE ST  
092-05-26.0 100 DUDLEY ST  
092-05-27.0 102 DUDLEY ST

TOTAL COMBINED PARCEL AREA: 16,455 SF / 378 ACRES  
ZONE: R5 HIGH DENSITY RESIDENTIAL - REZONE SYRACUSE 3/23

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER LOT SIDE YARD*	SEE BELOW	15'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD SHOULD NOT BE LESS THAN 15% OF TOTAL WIDTH (NARROWER FRONTAGE) OF THE LOT, BUT NEED NOT EXCEED ESTABLISHED FRONT SETBACK LINE FOR SIDE STREET.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	50'	83'
MAX. STRUCTURAL	40%	1%
MAX. PARKING	40%	0%

**ACCESS**  
BUS STOPS ON SY 926, SY 966, SY 972, SY 974, SY 64, SY 874, SY 931, AND SY 942 ARE LOCATED ON THE CORNER OF DUDLEY STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 406 DELAWARE**

**406 DELAWARE**  
3,800 SF 3-STORY TOWNHOUSE - 1 UNITS

092-09-26.0 406 DELAWARE ST  
092-08-27.0 412 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 16,431 SF / 371 ACRES  
ZONE: R5 HIGH DENSITY RESIDENTIAL - REZONE SYRACUSE 3/23

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER SIDE YARD*	SEE BELOW	15'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD SHOULD NOT BE LESS THAN 15% OF TOTAL WIDTH (NARROWER FRONTAGE) OF THE LOT, BUT NEED NOT EXCEED ESTABLISHED FRONT SETBACK LINE FOR SIDE STREET.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	50'	132'
MAX. STRUCTURAL	40%	21%
MAX. PARKING	40%	17%

**PARKING**  
5 SPACE / DU  
REQUIRED: 35  
PROVIDED: 4

**ACCESS**  
BUS STOPS ON SY 64, SY 874, SY 921, SY 931, SY 926, SY 966, AND SY 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 304 DELAWARE**

**304 DELAWARE**  
14,800 SF 3-STORY APARTMENT BUILDING - 28 UNITS

092-09-23.0 304 DELAWARE ST  
092-09-24.0 310-312 DELAWARE ST  
092-09-25.0 316 DELAWARE ST  
092-09-26.0 320 DELAWARE ST  
092-09-27.0 322-26 DELAWARE ST  
092-09-10 223 GRACE ST

TOTAL COMBINED PARCEL AREA: 37,802 SF / 867 ACRES  
ZONE: R5 HIGH DENSITY RESIDENTIAL - REZONE SYRACUSE 3/23

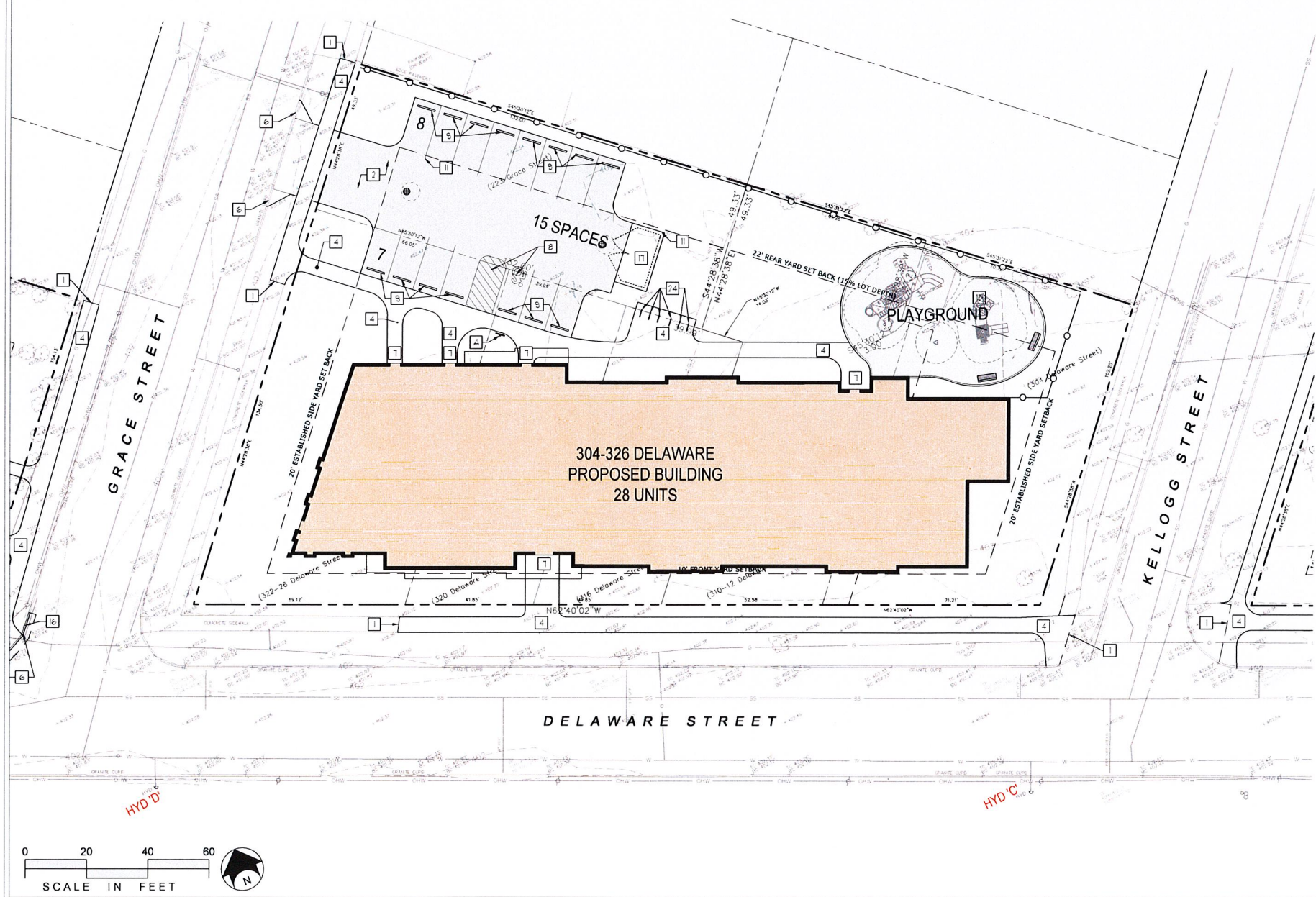
YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDEYARD SETBACK	4'	21'
CORNER SIDE YARDS*	SEE BELOW	20' / 120'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	22'

\*CORNER LOT SIDEYARD SHOULD NOT BE LESS THAN 15% OF TOTAL WIDTH (NARROWER FRONTAGE) OF THE LOT, BUT NEED NOT EXCEED ESTABLISHED FRONT SETBACK LINE FOR SIDE STREET.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	50'	264'
MAX. STRUCTURAL	40%	39%
MAX. PARKING	40%	17%

**PARKING**  
5 SPACE / DU  
REQUIRED: 14  
PROVIDED: 15

**ACCESS**  
BUS STOPS ON SY 64, SY 874, SY 921, SY 931, SY 926, SY 966, AND SY 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE. BUS STOPS ON KELLOGG STREET AND DELAWARE STREET, ALSO ADJACENT TO THE SITE, INCLUDE SY 921, SY 966, SY 972, SY 974, AND SY 926.



**PROGRESS SET  
NOT FOR  
CONSTRUCTION**

REV. NO.	DATE	DRAWN BY	DESCRIPTION

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JOB NO. 22071  
DATE: 07/25/23  
DRAWN BY: CRF  
SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
**304 - 326 DELAWARE STREET**  
SYRACUSE, NEW YORK

**HOLMES - KING - KALLQUIST & Associates, Architects, LLP**  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
www.hkarchitects.com

SITE LAYOUT PLAN -  
304-326

SITE THREE OF SIX  
**L3.1**

@PLTDATE: @DWGFULLNAME.EXT



**304-326 DELAWARE PLANTING**

- EVERGREEN SHRUB SCREENING AT WASTE ENCLOSURE
- (8) FOUNDATION PLANTINGS AT DOORWAYS
- (2) STREETSCAPE PLANTINGS AT WALK JUNCTIONS
- (5) FLOWERING TREES
- (2) STREET TREES



**PROGRESS SET  
NOT FOR  
CONSTRUCTION**

REV. NO.	DATE	DRAWN BY	DESCRIPTION

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JOB NO. 22071  
DATE: 07/25/23  
DRAWN BY: CRF  
SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
**304 - 326 DELAWARE STREET**  
SYRACUSE, NEW YORK

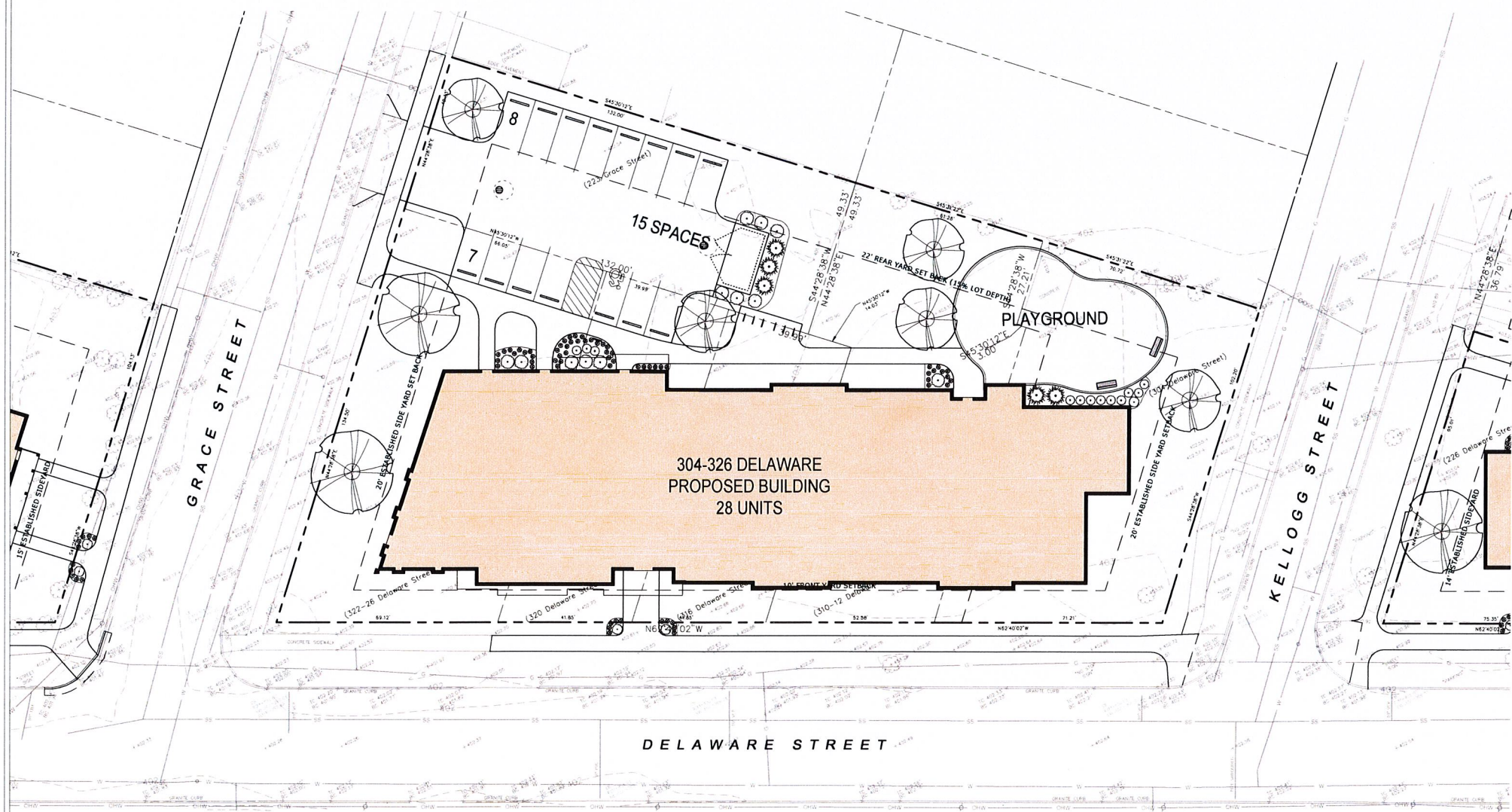
**HOLMES - KING - KALLOQUIST & Associates, Architects, LLP**  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
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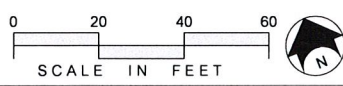
ANY PART OF THE TITLE OR DESCRIPTION OF ANY WORK, PROJECT OR ANIMAL, IS SUBJECT TO THE CHANGES OR DISCRETION BY ANY PERSON, AND SHALL BE USED AS THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 68.9(b).

**SITE PLANTING  
PLAN - 304-326**

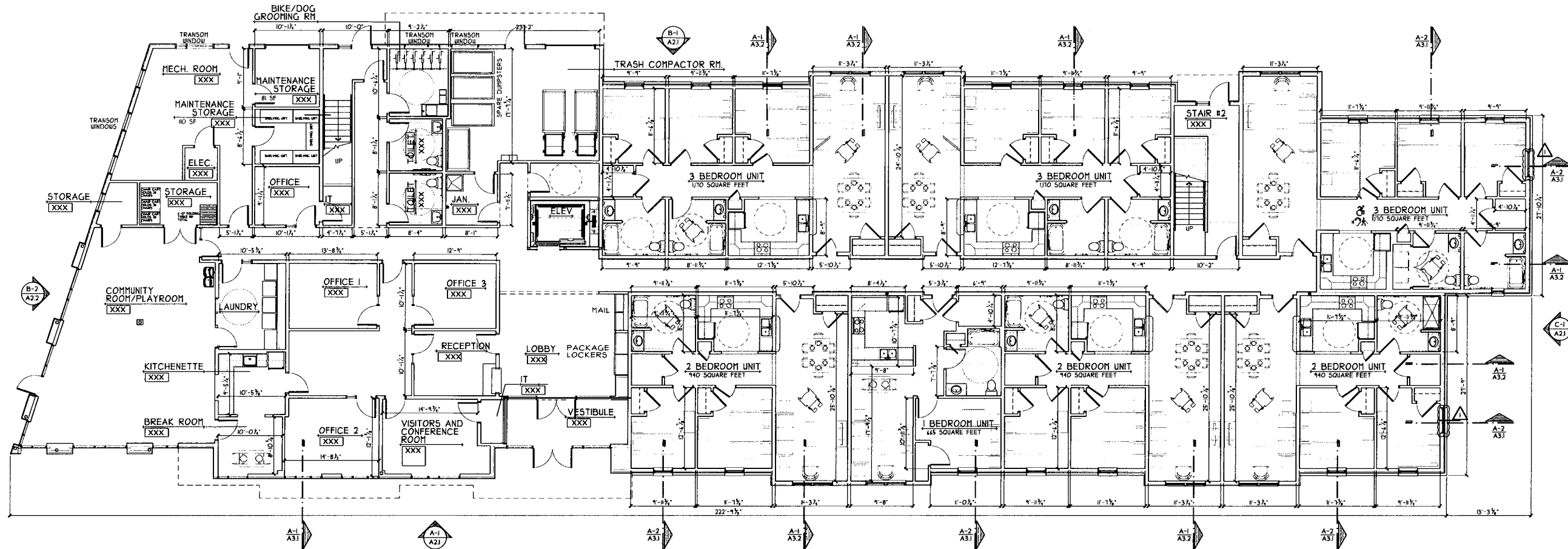
SITE THREE OF SIX  
**L4.1**



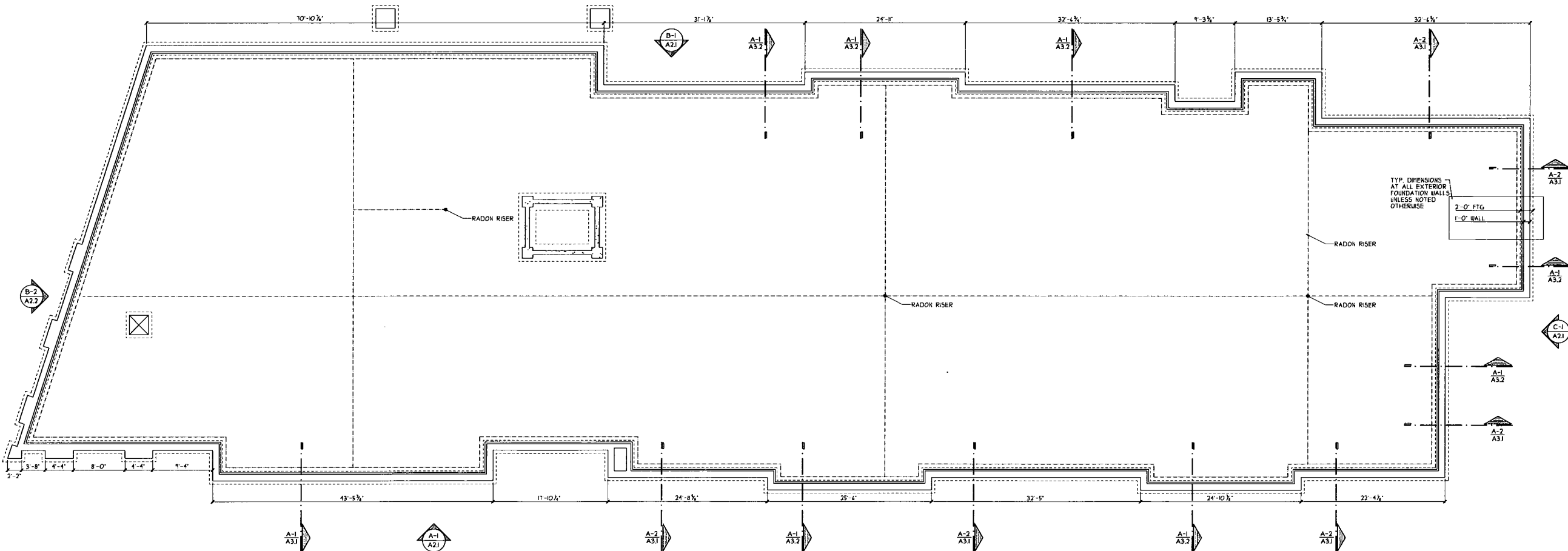
@PLTDATE @DWGFULLNAMEEXT



10/30/2023 5:00B NUMBER: 2023\22071 La Liga Westside Village\_Schem\304-326 Delaware Village\A1.0\_304\_Plans.scc



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"

REV	DATE	DRAWN BY	DESCRIPTION
1	10/23/23	MCM	REVISIONS

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JOB NO: 22071  
DATE: 10/23/23  
DRAWN BY: MCM  
SCALE: AS NOTED

**SCHMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE**  
**304-326 DELAWARE STREET**  
SYRACUSE, NEW YORK

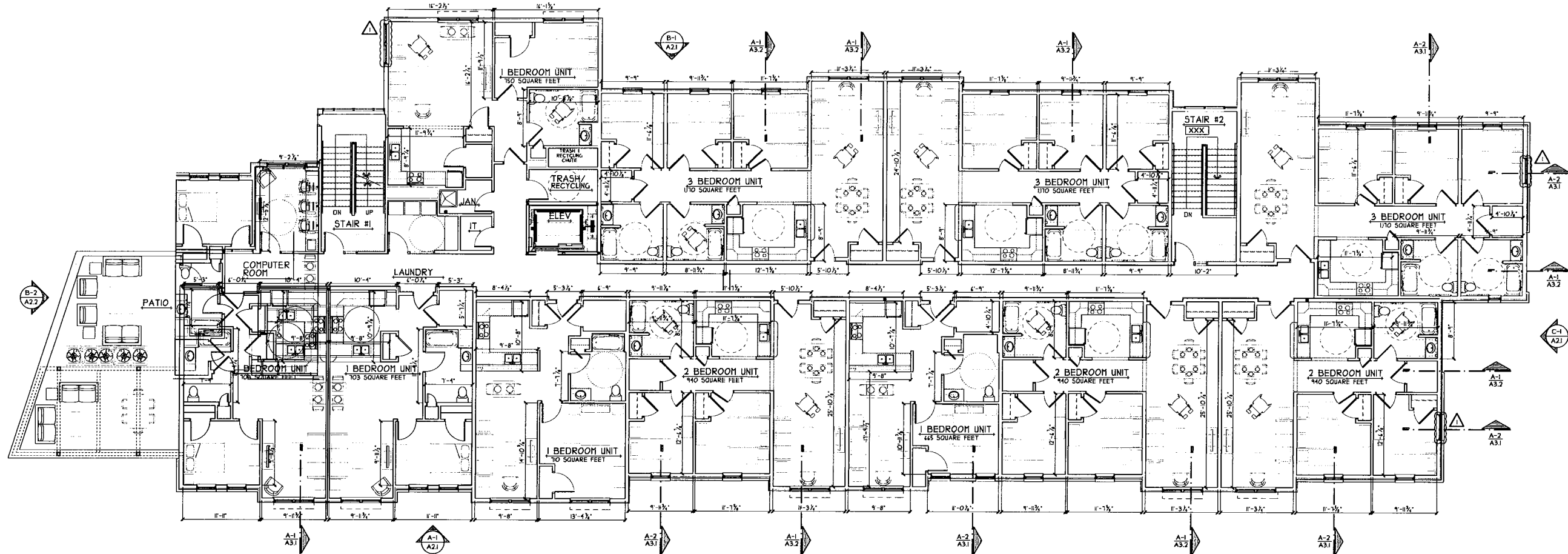
**HOLMES - KING - KALLQUIST & Associates, Architects, LLP**  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
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FLOOR PLANS

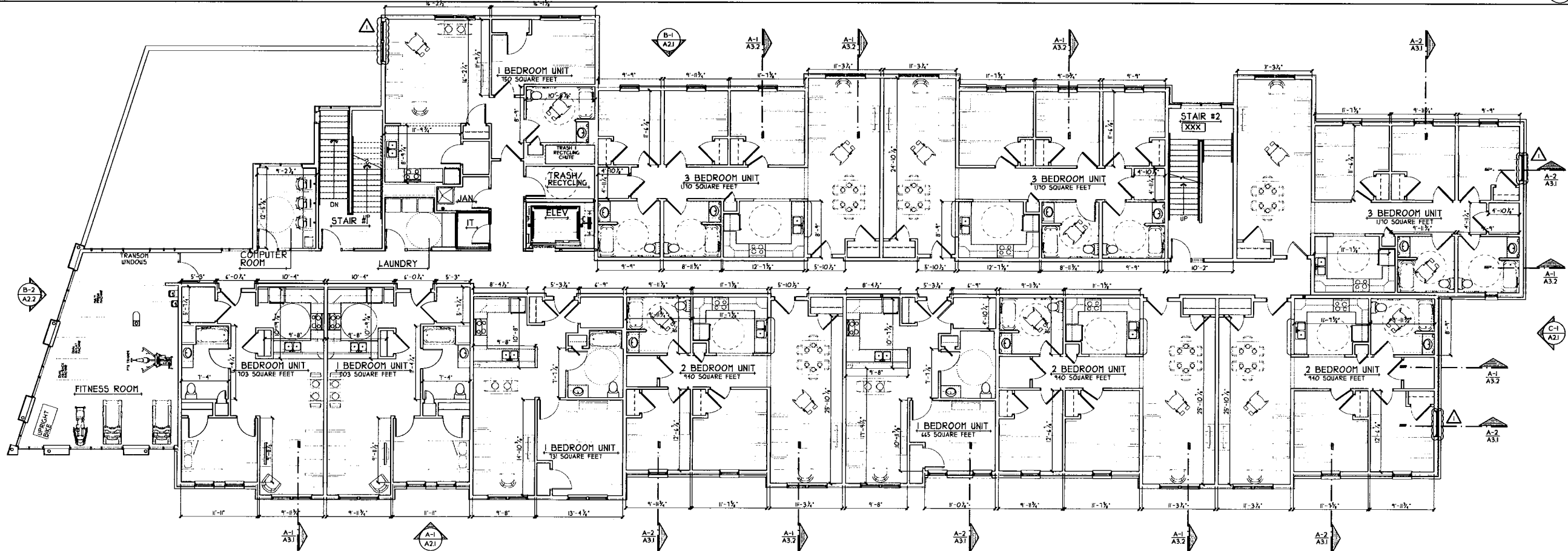
**A1.0**  
SITE THREE OF SIX



10/10/2023 5:03 NUMBER: 2023.22071 La Liga Westside Village Section\_304\_326 Delaware Plaza A1.1\_304 Plans set



THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

REV	DATE	DRAWN BY	DESCRIPTION
1	10/23/23	MCM	REVISIONS

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JOB NO. 22071  
DATE: 10/23/23  
DRAWN BY: MCM  
SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
304-326 DELAWARE STREET  
SYRACUSE, NEW YORK

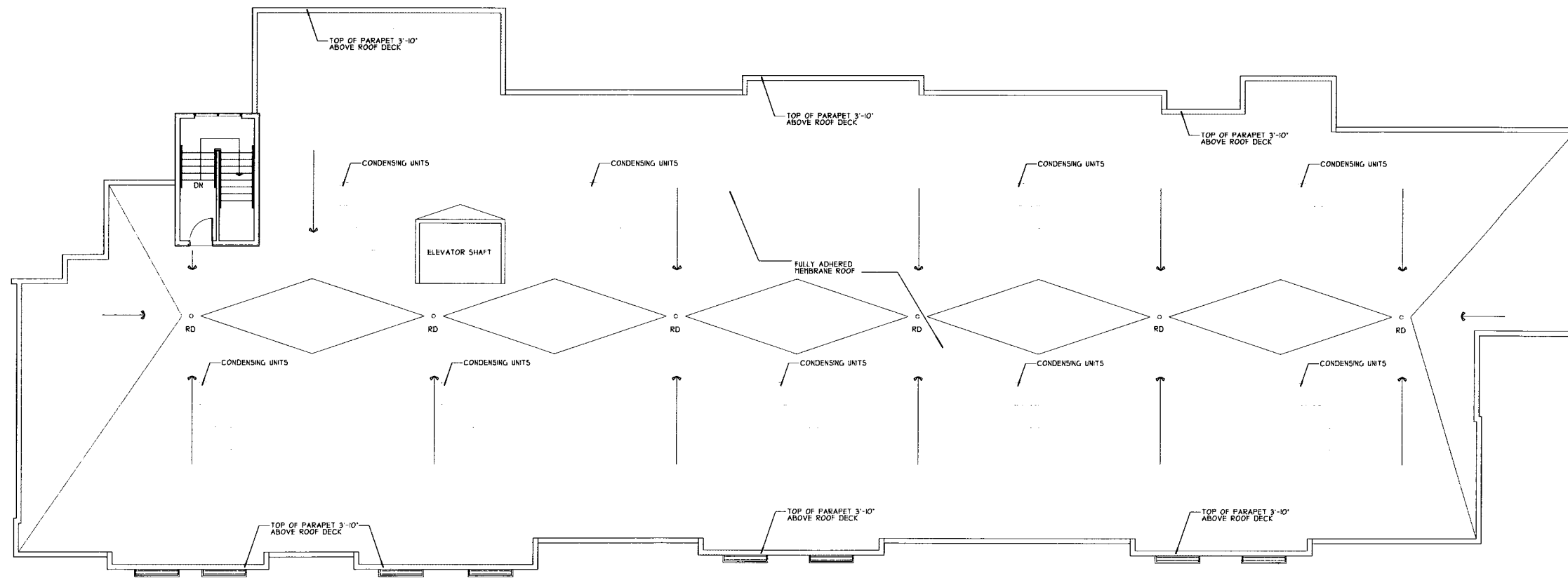
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FLOOR PLANS

A1.1  
SITE THREE OF SIX

10/30/2023 S:\JOB NUMBER\2023\22071 1a\lga Westside Village Schem\304-326 Delaware\Plat\A1.2\_304 Roof\ans.dwg



NOT USED  
SCALE: 1/8" = 1'-0" A-2

ROOF PLAN  
SCALE: 1/8" = 1'-0" A-1

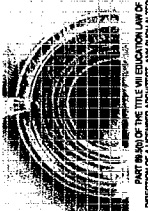
REV	DATE	DRAWN BY	DESCRIPTION

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JOB NO: 22071  
DATE: 10/23/23  
DRAWN BY: XX  
SCALE: AS NOTED

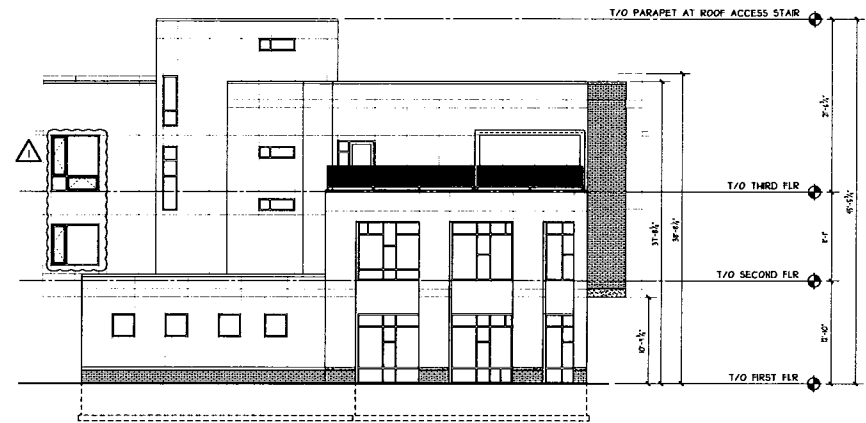
SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
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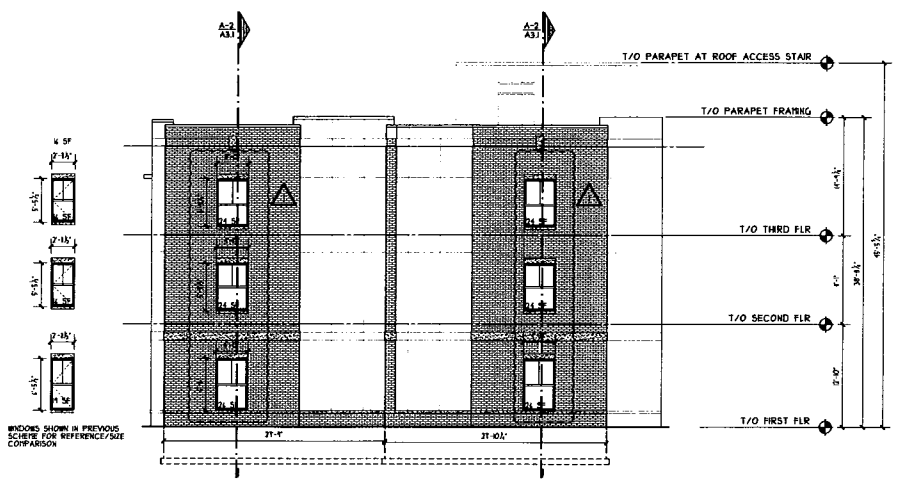


ROOF PLAN

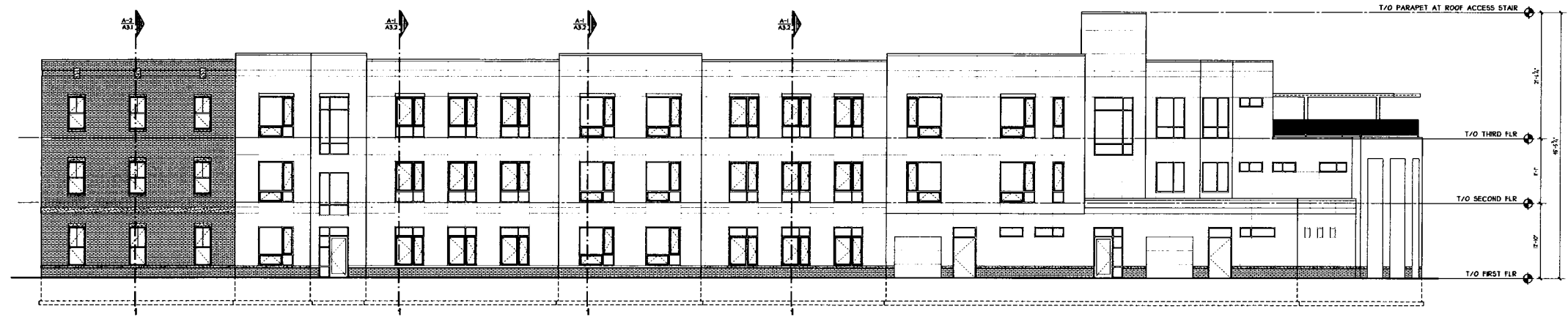
**A1.2**  
SITE THREE OF SIX



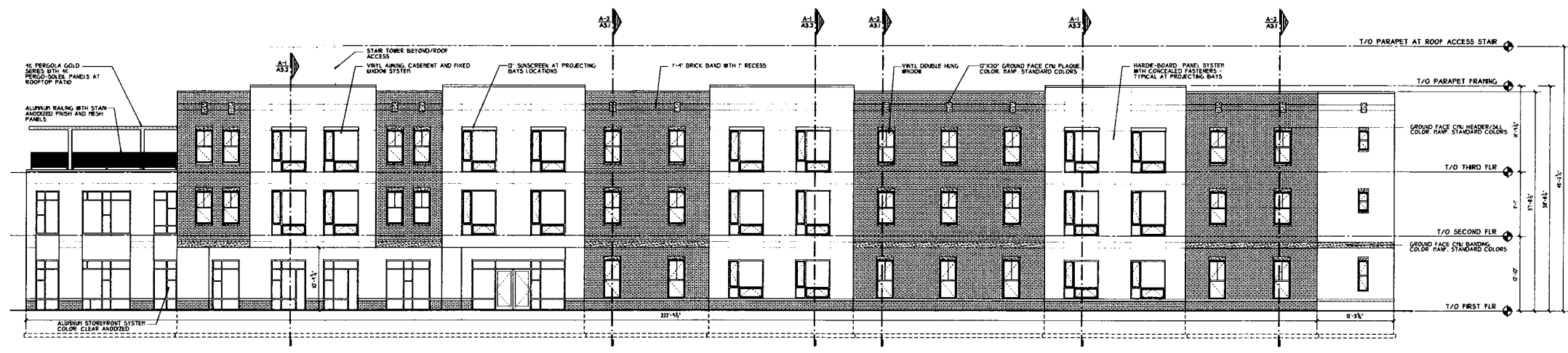
SIDE ELEVATION: (D-1)  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION: (C-1)  
SCALE: 1/8" = 1'-0"



REAR ELEVATION (B-1)  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION (A-1)  
SCALE: 1/8" = 1'-0"

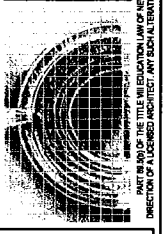
REV	DATE	DRAWN BY	DESCRIPTION
1	10/23/23	MCM	REVISIONS

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JOB NO: 22071  
DATE: 10/23/23  
DRAWN BY: XX  
SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
 304-326 DELAWARE STREET  
 SYRACUSE, NEW YORK

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EXTERIOR ELEVATIONS

**A2.1**  
SITE THREE OF SIX

10/10/2023 5:43:03 N:\MHP\2023\22071 - La Liga Westside Village\Scheme\304-326 Delaware Street\A2.1.dwg Elevations.rvt

**Agency Use Only [If applicable]**

<b>Project:</b>	V-23-15
<b>Date:</b>	12/7/2023

***Short Environmental Assessment Form  
Part 2 - Impact Assessment***

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Agency Use Only [If applicable]**

Project: V-23-15

Date: 12/7/2023

***Short Environmental Assessment Form  
Part 3 Determination of Significance***

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Syracuse City Planning Commission	12/7/2023
Name of Lead Agency	Date
Steven Kulick	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**

City of Syracuse

**Parcel History**

01/01/1900 - 12/01/2023

Tax Map #: 092.-09-01.0

Owners: GSPDC, TAMMY GLASGOW/TEMPO PROPERTIES, LLC

Zoning: RAA

Address	Date	Transaction	Transaction Type	Status	Description
223 Grace St	07/02/15	Completed Complaint	Sewer Back Up	Completed	2015-19120   back up jose 925-8062
223 Grace St	07/10/15	Completed Complaint	Property Maintenance-Int	Completed	2015-18414   Second flr apt: ceiling has fallen in
223 Grace St	07/10/15	Inspection	Complaint Inspection	N/A	
223 Grace St	04/02/16	Completed Complaint	Illegal Trash Set Out	Completed	2016-07350   code violation
223 Grace St	04/13/16	Inspection	Complaint Inspection	Fail	
223 Grace St	04/13/16	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
223 Grace St	04/22/16	Inspection	Complaint Re-Inspection	No Progress	
223 Grace St	05/20/16	Inspection	Complaint Re-Inspection	No Progress	
223 Grace St	06/17/16	Inspection	Complaint Re-Inspection	No Progress	
223 Grace St	07/15/16	Inspection	Complaint Re-Inspection	Fail	
223 Grace St	08/17/16	Completed Complaint	Trash/Debris-Private, Occ	Completed	2016-08855
223 Grace St	08/17/16	Inspection	Complaint Re-Inspection	Pass	
223 Grace St	12/11/20	Completed Complaint	Catch Basin: Clean	Completed	2020-26037   CLEAN C/B BAD ODOR
223 Grace St	01/31/22	Permit Application	Demolition	Issued	45797   Demolition
223 Grace St	01/31/22	Inspection	Initial Inspection	In Progress	
223 Grace St	07/21/22	Inspection	Final Inspection	Pass	
223 Grace St	07/21/22	Completed Permit	Demolition	Certificate Issued	45797   Demolition   Certificate of Completion #45797
223 Grace St	09/01/23	Project	Resubdivision	Approved	R-23-53F   Merge 6 lots (304.310-312,316, 320, 322-326, Delaware St, and 223 Grace St) into one new lot for the construction of 28-units building. Companion site plan review project--La Liga Westside  Area:0.856 Acres (37287.36 sqft)



## Parcel History

01/01/1900 - 12/01/2023

Tax Map #: 092.-09-24.0

Owners: GSPDC

Zoning: RB

Address	Date	Transaction	Transaction Type	Status	Description
310-12 Delaware St	09/01/23	Project	Resubdivision	Approved	R-23-53B   Merge 6 lots (304.310-312,316, 320, 322-326, Delaware St, and 223 Grace St) into one new lot for the construction of 28-units building. Companion site plan review project--La Liga Westside  Area:0.856 Acres (37287.36 sqft)

## Parcel History

01/01/1900 - 12/01/2023

Tax Map #: 092.-09-25.0

Owners: GSPDC

Zoning: RB

Address	Date	Transaction	Transaction Type	Status	Description
316 Delaware St	04/05/44	Project	Conditional Use	Denied	C-0167   Cond. use to operate a funeral home in a Res. B zone.
316 Delaware St	08/23/19	Complaint	Demolition	Referred to	D2019-0137
316 Delaware St	10/01/21	Complaint	Demolition	Closed-	D2021-0102
316 Delaware St	09/01/23	Project	Resubdivision	Approved	R-23-53C   Merge 6 lots (304.310-312,316, 320, 322-326, Delaware St, and 223 Grace St) into one new lot for the construction of 28-units building. Companion site plan review project--La Liga Westside  Area:0.856 Acres (37287.36 sqft)

## Parcel History

01/01/1900 - 12/01/2023

Tax Map #: 092.-09-26.0

Owners: GSPDC

Zoning: RB

Address	Date	Transaction	Transaction Type	Status	Description
320 Delaware St	09/01/23	Project	Resubdivision	Approved	R-23-53D   Merge 6 lots (304.310-312,316, 320, 322-326, Delaware St, and 223 Grace St) into one new lot for the construction of 28-units building. Companion site plan review project--La Liga Westside  Area:0.856 Acres (37287.36 sqft)

City of Syracuse  
**Parcel History**  
 01/01/1900 - 12/01/2023  
 Tax Map #: 092.-09-27.0  
 Owners: GSPDC  
 Zoning: RB

Address	Date	Transaction	Transaction Type	Status	Description
322-26 Delaware St & Grace St	03/21/14	Inspection	Complaint Inspection	Fail	
322-26 Delaware St & Grace St	03/21/14	Violation	SPCC - Section 27-32 (d) Protective coating for wood surfaces	Closed	
322-26 Delaware St & Grace St	03/24/14	Violation	SPCC - Section 27-31 (c) Structural members	Closed	
322-26 Delaware St & Grace St	09/16/14	Inspection	Complaint Inspection	Fail	
322-26 Delaware St & Grace St	09/16/14	Violation	SPCC - Section 27-73 (b) - Graffiti	Closed	
322-26 Delaware St & Grace St	09/22/14	Inspection	Complaint Re-Inspection	No Progress	
322-26 Delaware St & Grace St	10/07/14	Inspection	Complaint Re-Inspection	Pass	
322-26 Delaware St & Grace St	10/08/14	Completed Complaint	Graffiti: PrivateProperty	Completed	2014-25560   Graffiti
322-26 Delaware St & Grace St	06/15/15	Inspection	Complaint Inspection	Fail	
322-26 Delaware St & Grace St	06/15/15	Violation	SPCC - Section 27-73 (b) - Graffiti	Closed	
322-26 Delaware St & Grace St	06/22/15	Completed Complaint	Property Maintenance- Ext	Completed	2015-15993
322-26 Delaware St & Grace St	06/22/15	Inspection	Complaint Re-Inspection	Pass	
322-26 Delaware St & Grace St	10/05/15	Completed Complaint	Demolition	Completed	2015-09770   roof collapsing. Do Not Enter at fire. Requires structural evaluation. see attached
322-26 Delaware St & Grace St	05/18/16	Inspection	Complaint Inspection	Fail	
322-26 Delaware St & Grace St	11/23/16	Inspection	Complaint Re-Inspection	Fail	
322-26 Delaware St & Grace St	04/05/18	Inspection	Complaint Inspection	Vacant & Secured	
322-26 Delaware St & Grace St	12/14/18	Complaint	Illegal TV Set Out	Needs Review	2018-35667   illegal tv setout
322-26 Delaware St & Grace St	03/05/19	Inspection	Vacant Property - Routine Inspection	No Progress	
322-26 Delaware St & Grace St	06/05/19	Completed Complaint	Sidewalk Condition	Completed	2019-14960   sidewalk in disrepair per Mayor's Office
322-26 Delaware St & Grace St	08/22/19	Inspection	Complaint Inspection	In Progress	
322-26 Delaware St & Grace St	08/30/19	Inspection	Complaint Re-Inspection	<None>	



City of Syracuse  
**Parcel History**

<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
322-26 Delaware St & Grace St	02/20/20	Inspection	Complaint Inspection	Fail	
322-26 Delaware St & Grace St	02/20/20	Violation	2015 IMPC - 304.7 - Roofs and Drainage	Closed	
322-26 Delaware St & Grace St	02/20/20	Violation	2015 IMPC - 304.1.1 - Unsafe Conditions	Closed	
322-26 Delaware St & Grace St	02/20/20	Violation	2015 IMPC - 304.4 - Structural Members	Closed	
322-26 Delaware St & Grace St	02/20/20	Violation	2015 IMPC - 304.6 - Exterior Walls	Closed	
322-26 Delaware St & Grace St	02/20/20	Violation	2015 IMPC - 306.1 - General	Closed	
322-26 Delaware St & Grace St	02/20/20	Violation	2015 IMPC - 306.1.1 - Unsafe Conditions	Closed	
322-26 Delaware St & Grace St	04/09/20	Inspection	Vacant Property - Routine Inspection	No Progress	
322-26 Delaware St & Grace St	04/23/20	Inspection	Complaint Inspection	Fail	
322-26 Delaware St & Grace St	05/07/20	Inspection	Complaint Inspection	Fail	
322-26 Delaware St & Grace St	05/07/20	Inspection	Vacant Property - Routine Inspection	No Progress	
322-26 Delaware St & Grace St	05/21/20	Inspection	Complaint Re-Inspection	Fail	
322-26 Delaware St & Grace St	06/12/20	Inspection	Complaint Re-Inspection	No Progress	
322-26 Delaware St & Grace St	06/12/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
322-26 Delaware St & Grace St	07/29/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
322-26 Delaware St & Grace St	07/29/20	Inspection	Complaint Re-Inspection	Vacant & Secured	
322-26 Delaware St & Grace St	08/26/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
322-26 Delaware St & Grace St	08/26/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
322-26 Delaware St & Grace St	09/23/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
322-26 Delaware St & Grace St	09/23/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
322-26 Delaware St & Grace St	10/06/20	Completed Complaint	Property Maintenance-Ext	Completed	2019-23200   The police called in this complaint. Eyesore, broken windows, parts of the roof hanging off, oil leakage from the back, some of the boards on the windows are coming off/safety issue
322-26 Delaware St & Grace St	10/21/20	Completed Complaint	Property Maintenance-Ext	Completed	2020-03049   Vacant structure
322-26 Delaware St & Grace St	10/21/20	Completed Complaint	Property Maintenance-Ext	Completed	2014-05401
322-26 Delaware St & Grace St	10/21/20	Inspection	Vacant Property - Routine Inspection	Pass	
322-26 Delaware St & Grace St	10/21/20	Inspection	Vacant Property - Routine Inspection	Pass	
322-26 Delaware St & Grace St	11/16/20	Complaint	Illegal Trash Set Out	Needs Review	2020-23364   Bag of trash
322-26 Delaware St & Grace St	11/16/20	Violation	SGOC - Section 14-18 - Early or late set out of trash	Open	
322-26 Delaware St & Grace St	05/06/21	Inspection	Complaint Inspection	Fail	
322-26 Delaware St & Grace St	05/06/21	Violation	SPCC - Section 27-72 (f) - Overgrowth	Closed	
322-26 Delaware St & Grace St	06/10/21	Inspection	Complaint Re-Inspection	No Progress	
322-26 Delaware St & Grace St	07/07/21	Inspection	Complaint Re-Inspection	Pass	
322-26 Delaware St & Grace St	07/22/21	Inspection	Complaint Re-Inspection	In Progress	
322-26 Delaware St & Grace St	08/05/21	Inspection	Complaint Re-Inspection	Fail	
322-26 Delaware St & Grace St	08/05/21	Inspection	Complaint Re-Inspection	Fail	
322-26 Delaware St & Grace St	08/16/21	Inspection	Complaint Re-Inspection	N/A	
322-26 Delaware St & Grace St	09/14/21	Inspection	Complaint Re-Inspection	N/A	
322-26 Delaware St & Grace St	10/05/21	Inspection	Complaint Re-Inspection	N/A	
322-26 Delaware St & Grace St	10/20/21	Inspection	Complaint Re-Inspection	N/A	
322-26 Delaware St & Grace St	11/19/21	Completed Complaint	Vacant House	Seasonal	2021-12337   Overgrowth
322-26 Delaware St & Grace St	11/19/21	Inspection	Complaint Re-Inspection	N/A	
322-26 Delaware St & Grace St	12/07/21	Permit Application	Demolition	Issued	45585   demo 3-unit
322-26 Delaware St & Grace St	12/13/21	Inspection	Inspector Notification	In Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
322-26 Delaware St & Grace St	12/14/21	Permit Application	Demolition	Issued	45563   demo comm bldg
322-26 Delaware St & Grace St	01/31/22	Permit	Demolition	Open	45563   demo comm bldg   Expires 01/31/2023
322-26 Delaware St & Grace St	01/31/22	Inspection	Inspector Notification	<None>	
322-26 Delaware St & Grace St	04/22/22	Inspection	Complaint Re-Inspection	N/A	
322-26 Delaware St & Grace St	06/24/22	Inspection	Final Inspection	Pass	
322-26 Delaware St & Grace St	06/24/22	Completed Permit	Demolition	Certificate Issued	45585   demo 3-unit   Certificate of Completion #45585
322-26 Delaware St & Grace St	09/01/23	Project	Resubdivision	Approved	R-23-53E   Merge 6 lots (304.310-312,316, 320, 322-326, Delaware St, and 223 Grace St) into one new lot for the construction of 28-units building. Companion site plan review project--La Liga Westside  Area:0.856 Acres (37287.36 sqft)



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: GSPDC

From: Pat Voorheis, Zoning Planner

Date: 12/01/2023

Re: Variance (Area) V-23-15  
304 Delaware St & Kellogg St, Syracuse, 13204

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

These comments will also be forwarded to the BZA for their consideration. Please modify the proposal and/or provide written comments as maybe necessary to address the comments and submit to Pat Voorheis Syracuse Zoning Office, Room 500, City Hall Commons, Syracuse, NY 13202, or [Zoning@syrgov.net](mailto:Zoning@syrgov.net) as soon as possible.

Please contact the Pat Voorheis, Syracuse Zoning Office at (315) 448-8640 or [Zoning@syrgov.net](mailto:Zoning@syrgov.net) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Board of Zoning Appeals	Pending	11/01/2023		
Zoning Planner	Pending	11/01/2023		
Zoning Administrator	Pending	11/01/2023		
DPW Street Repair - Zoning	Pending	11/01/2023		
DPW Commissioner - Zoning	Pending	11/01/2023		
DPW Sewers - Zoning	Internal Review Complete	11/01/2023	Vinny Esposito	A SWPPP must be provided and approved for each site prior to construction.
DPW Sidewalks - Zoning	Pending	11/01/2023		
DPW Traffic Control- Zoning	Internal Review Complete	11/13/2023	Charles Gafrancesco	11.1.23 Pending based on contractor submitting and following an MUTCD approved WZTP if vehicular or pedestrian traffic is affected in any way. 11.8.23 - Applicant must update traffic control plan to include both vehicular and pedestrian traffic. Plans must be site specific. NYS Standard Sheets are not acceptable. - Ped detour/diversion must incorporate advance notice with R9-11 directional signage (sidewalk closed ahead, cross here) at closest controlled or marked crossings, and R9-9 (sidewalk closed) at either sidewalk approach at the edge of work areas. Peds are not to be directed into the roadway at

uncontrolled areas, or directed to cross where ADA corners are not present unless suitable accommodations are made by the contractor and approved by City.

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**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>V-23-16</i></b>	<b><i>Staff Report – December 7<sup>th</sup>, 2023</i></b>
<b><i>Application Type:</i></b>	Area Variance
<b><i>Summary of Proposed Action:</i></b>	The applicant proposes to construct a new multi-unit apartment building with 6 dwelling-units at 216-24 Delaware Street.
<b><i>Project Address:</i></b>	216-24 Delaware Street, Syracuse New York 13204
<b><i>Owner/Applicant</i></b>	Elisa Morales (Owner/Applicant)
<b><i>Existing Zone District:</i></b>	High Density Residential, R5 Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the North, South, East, and West lie within High Density Residential, R5 zone district. If you move North up Kellog Street there are many Low Density Residential, R2 zone district, parcels.
<b><i>Companion Application(s)</i></b>	R-23-52, A Resubdivision to combine 2 lots located at 222 & 226 Delaware Street, approved by the CPC on 10/10/2023. MiSPR-23-09, Minor Site Plan Review, to construct a new multi-unit apartment building with 6 dwelling units.
<b><i>Scope of Work:</i></b>	New construction on the site includes construction of 6 dwelling units, 3 off-street parking spaces, and site landscaping.
<b><i>Staff Analysis:</i></b>	<u>Pros:</u> The proposed project conforms to the purpose of High Density Residential, R5 zone district. <u>Cons:</u> The proposed use and structure are inconsistent with neighborhood characteristics. Neighboring properties are single-family or two-family dwelling units.
<b><i>Zoning Procedural History:</i></b>	<u>216-24 Delaware St:</u> (new lot after resubdivision): R-23-52, A Resubdivision to combine 2 lots located at 222 & 226 Delaware Street, approved by the CPC on 10/10/2023. <u>222 Delaware St:</u> No zoning history, vacant two-family home since 2018. <u>226 Delaware St:</u> No zoning history, vacant lot since 2012.
<b><i>Summary of Zoning History:</i></b>	The subject parcel was combined from two (2) lots. The resubdivision was approved on 10/10/2023. There is no other zoning history on the parcel.
<b><i>Code Enforcement History:</i></b>	None
<b><i>Zoning Violations:</i></b>	Proposed plans will be subject to Board of Zoning Appeals decision on an Area variances to violate the following Zoning provisions: ReZone, Art. 2, Sec. 2.18A(1)a, to have less than 60% of the secondary façade be parallel with the secondary street (Kellog St.); and ReZone, Art. 2, Sec. 2.18A(2)a1, to have less transparency on the south and east elevations facing Delaware Street and Kellog Street on the first story façade.
<b><i>Summary of Changes:</i></b>	Not a continued application
<b><i>Property Characteristics:</i></b>	The subject property is irregular in shape, with 95.01 feet of frontage on Kellog Street, 138.14 feet of frontage on Delaware Street and a lot depth of 91.07 feet.
<b><i>SEQR Determination:</i></b>	Pursuant to the New York State Environmental Quality Review Regulations, the proposal is an Unlisted Action.

**Onondaga County  
Planning Board  
Referral:**

The proposal does not meet the referral criteria for Onondaga County Planning Board pursuant to GML §239-1, m and n.

**Applicant Submittals:** The application submitted the following in support of the proposed project:

- Area Variance Application
- Short Environmental Assessment Form Part 1
- EAF Mapper Summary Report; dated: 01/24/2023
- Site Photographs
- Schematic Drawings for La Liga Westside Village 222-226 Delaware Street, Syracuse New York. Title Sheet, T1.1. Prepared by Holmes-King Kallquist & Associates, Architects, LLP; dated:10/23/23; scaled as noted.
- Resubdivision Plat for lots 1, and 2 of City Block 328 (Kellog Tract) Into New Lot 1A of City Block 328 (to be known as 216-224 Delaware Street,) prepared by C.T. Male Associates; dated: 06/26/2023; scaled as noted.
- Overall Plan and Neighborhood Plan (Sheet L1.0), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 9/26/2023; scaled as noted.
- Site Preparation Plan (Sheet L1.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 04/20/2023; scaled as noted.
- Site Grading, Drainage, and Utilities Plan (Sheet L2.1), prepared by Holmes-King Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Site Layout Plan (Sheet L3.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Site Planting Plan (Sheet L4.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Floor Framing Plans (Sheet ST1.1 through ST1.4), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/21/2023; scaled as noted.
- Floor Plans and Roof Plans (Sheet A1.0 through A1.2), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 10/23/2023; scaled as noted.
- Exterior Elevations (Sheet A2.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 10/23/2023; scaled as noted.

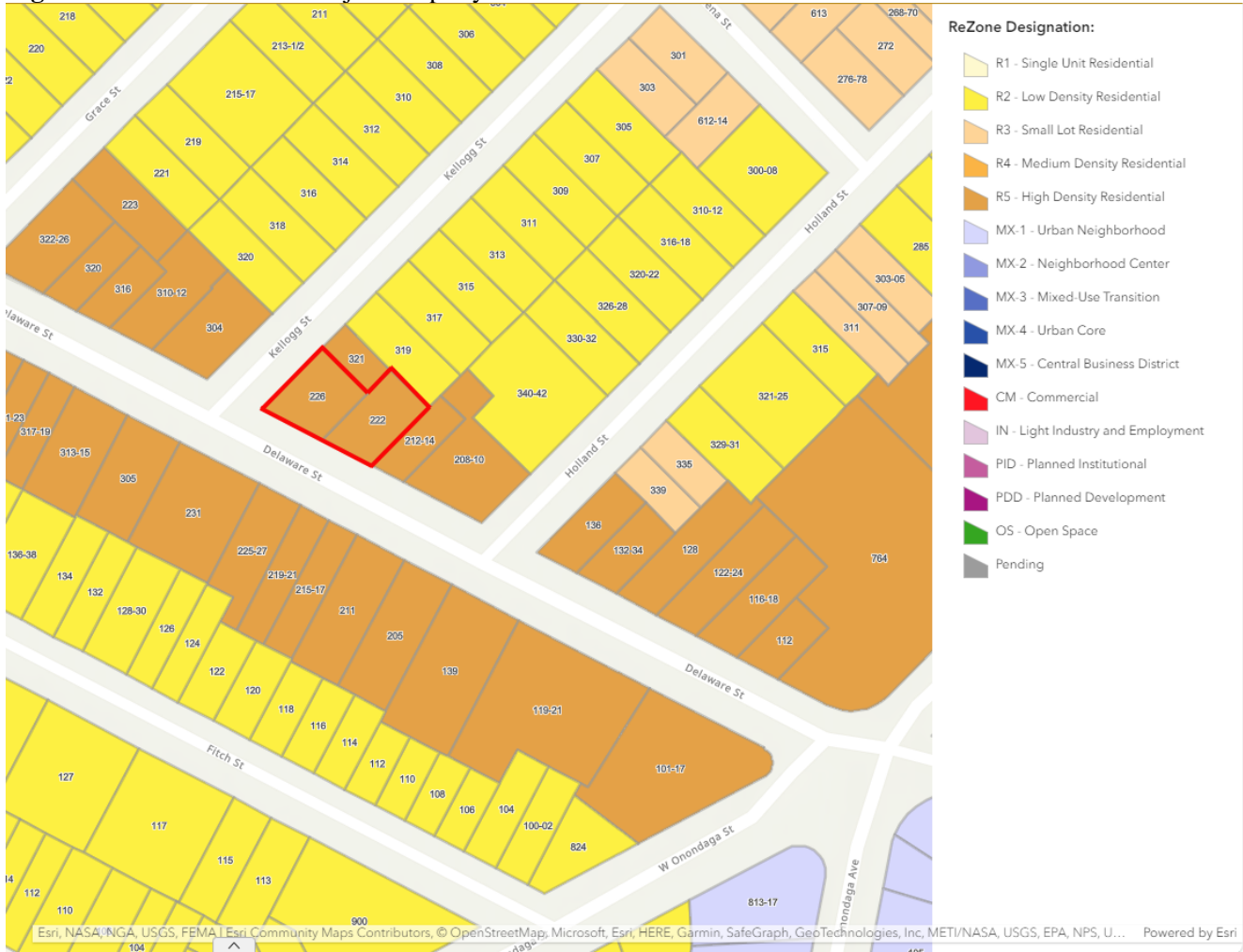
**Attachments:**

Area Variance Application  
Intent of Lead Agency Letter  
Applicant Submittals

Short Environmental Assessment Form Part 2 & Part 3  
Code Enforcement History  
IPS Comments from City Departments

Context Maps:

Figure 1. Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

**Figure 2.** Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>



## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

### For Office Use Only

Zoning District: \_\_\_\_\_  
Application Number: V-\_\_\_\_\_-\_\_\_\_\_  
Date: \_\_\_\_\_

## Variance Application

*This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

### General Project Information

Business/project name: La Liga Westside Village		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 222-226 Delaware Street		
Lot numbers: 092.-10-26.0 and 27.0	Block number:	Lot size (sq. ft.) 12,061
Current use of property: Residential		Proposed: Multi-family residential dwelling.
Current number of dwelling units (if applicable): 0 units.		Proposed: 6 apartments
Current hours of operation (if applicable):		Proposed:
Current onsite parking (if applicable): None		Proposed: 3 req'd/3provided
Zoning (base and any overlay) of property: R5 – high density		
Companion zoning applications (if applicable, list any related zoning applications):		
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input type="checkbox"/> Site changes		
Variance requested (check one and cite the section of the Zoning Ordinance that a variance is requested): <input type="checkbox"/> Use variance <input checked="" type="checkbox"/> Area variance		
Nature and extent of variance requested (attach additional pages if necessary):  Modifications to Article 1.18 (A)(1)(a): Building orientation. The project site is a corner lot, and we are not able to provide the required 60% of the secondary façade to be constructed parallel to the side street (Kellogg Street). We are 458 sf short for compliance. Following zoning review comments, we have revised the floor plan to provide a wrap-around porch to provide 120 sf (12.5%) of the facade that will run parallel to Kellogg but are able to provide the 578 sf required to be compliant.  Modifications to Article 2.18 (2)(a)(1): The ground floor of each façade facing a public street or area shall provide a minimum of 30% windows, doorways, or openings. Following zoning review comments, the elevations and plans have been revised to locate additional windows to the Kellogg Street façade. 101.4 sf of windows/doors are required. We have revised the design to increase the total from 31 sf. to 62 sf. (60% of the required opening area). We are unable to provide additional openings as the only remaining space is allocated to a kitchen, and additional openings are not possible due to requirements for appliances and cabinets. Rearranging the kitchen layout will only make the Major/Delaware Street façade non-compliant or provide a non-functional kitchen.		

### Owner/Owner's Agent Certification



## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov

*By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.*

Print owner name: Elisa Morales

Signature: *Elisa Morales*

Date: 10/30/2023

Mailing address: 700 Oswego Street, Syracuse, NY 13204

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

### Area Variance Test

*An Area Variance is permission to build in a portion of the property that is otherwise restricted by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that the potential benefit of an Area Variance will outweigh any burden to community health, safety, and welfare through a five-part balancing test (see [https://www.dos.ny.gov/lg/publications/Zoning Board of Appeals.pdf](https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf) for more information).*

*Briefly describe below how an Area Variance would affect the community using the following five tests and attach all supporting materials.*

#### 1. Neighborhood Character

Describe whether an undesirable change will be produced in the character of the neighborhood, or a detriment to nearby properties will be created by the granting of the area variance.

We do not believe will create an undesirable change or an appearance that is detrimental to nearby properties. We have revised the drawings from the initial application to reallocate windows from other facades to increase the amount of transparency on the Kellogg Street façade. We have also expanded the front porch to provide a wrap-around porch that provides a façade feature that runs parallel to Kellogg Street. We believe the use of brackets and trim, clapboard and shingle panel siding and the porch element provide a visually appealing façade that is not out of character with the surrounding existing buildings.

#### 2. Feasibility of Alternatives

Describe whether the benefit sought by the applicant can be achieved by some other method that will be feasible for the applicant to pursue, other than an area variance.

Modifications to Article 2.18 (2)(a)(1); The ground floor of each façade facing a public street or area shall provide a minimum of 30% windows, doorways, or openings: The elevation suggests more windows could be added to the elevation to increase transparency. However, the location would be within the kitchen of the apartment. Revising the kitchen layout would create a non-functional kitchen or remove a window opening from the primary elevation (Delaware Street) and create a non-compliant transparency condition on that façade.

Modifications to Article 1.18 (A)(1)(a); Building orientation: Due to the angled (non-perpendicular) approach of Kellogg Street at the Delaware Street intersection, providing a residence that meets the parallel requirements for both streets is not feasible due to increased construction costs and the outcome would be an out-of-place building that is detrimental to the adjacent properties. We performed a diagrammatic study to construct a porch that runs the full length of the Kellogg Street façade, but due to the angle of Kellogg Street (73 degrees) the porch would extend beyond the exterior corners of the building, and beyond the face of the porch facing Delaware. Its appearance would be out of scale to the structure, create ROW issues/encroachments, and be out of place with other structures located in a residential corner.

#### 3. Substantiality

Describe whether the requested area variance is substantial.

We do not believe the requested area variance is substantial and have actively sought methods to reduce the amount of non-compliance following discussions with representatives of the zoning office in a manner that is consistent with other corner conditions within the neighborhood.

#### 4. Adverse Effect

Describe whether the proposed area variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

We do not believe the proposed area variance will have an adverse effect or impact on the existing conditions within the project area. We have used features common to other dwellings in the neighborhood – clapboards, shingles, trim work and decorative brackets, usable front porches with railing at the front doors of all dwelling units to maintain the architectural language predominant in the neighborhood. Windows and doors are sized to meet code requirements for emergency egress, daylighting, and ventilation, and are comparable to the window and door sizes of adjacent properties. The building has also been located on the site to maintain the existing street setbacks of its neighbors to continue the pedestrian experience along both streets.

## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

### 5. Self-Created Difficulty

Describe whether an alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals but shall not necessarily preclude the granting of the area variance.

We believe the difficulty in achieving the requirements for openings is due to the lot size and location. The building is sized to provide a combination of comfortable one, two and three-bedroom apartments within the square footage designations listed in the NYS Homes and Community Renewal design guidelines for square. The site layout provides the required off-street parking spaces and includes street front setbacks that respect the existing built conditions of the neighboring buildings and their distance from the street. The unit count is appropriate for the desired high-density zoning district and the building's height replicates that of its neighbors. We believe the difficulty lies in the pre-existing street conditions in which Kellogg Street intersects Delaware Street at a 73-degree angle. We also believe we have provided a design that respects the neighborhood and strives to provide compliance to the best of its abilities due to the existing conditions created by non-perpendicular street layouts.





November 3rd, 2023

City of Syracuse Planning Commission (CPC)  
One Park Place  
300 South State Street – Suite 700  
Syracuse, NY 13202

City of Syracuse Board of Zoning Appeals (BZA) One Park Place  
300 South State Street – Suite 700  
Syracuse, NY 13202

New York State Department of Environmental Conservation, Region 7  
615 Erie Boulevard West  
Syracuse, NY 13204

New York State Homes & Community Renewal  
Heather Spitzberg, Director  
38-40 State Street, Hampton Plaza  
Albany, NY 12207

Onondaga County Department of Planning  
Dan Kwasnowski, AICP  
335 Montgomery Street, 1<sup>st</sup> Floor  
Syracuse, NY 13202

Greater Syracuse Land Bank  
Katelyn E. Wright, Executive Director  
431 E. Fayette Street, Suite 375  
Syracuse, NY 13202

The City of Syracuse  
Attn: Cristian Toellner – Plans Examiner II

RE: City of Syracuse City Planning Commission - La Liga Westside Village  
“La Liga” / Spanish Action League of Onondaga, Inc. & Acacia (Applicant)  
Greater Syracuse Property Development Corporation (Owner)  
State Environmental Quality Review Act (SEQRA)

To Whom It May Concern,

The City of Syracuse Planning Commission (CPC) received the above referenced site plan submission package, which requests authorization for the construction and operation of housing across six sites. The Project involves new construction of 68 apartments and 2451 sq. ft. of non-residential space across 5 buildings on 5 sites located on the west side of the City of Syracuse, and also includes a 6<sup>th</sup> site for an outdoor community garden space for residents only. The total gross square footage is 25,270 sq. ft., including 14,955 gross sq. ft. of residential space and 10,315 gross sq. ft. of non-residential space, across 5 buildings as follows:

- i. 112-128 Delaware Street, 7,663 sq. ft., 3 stories, 8 units, no elevator
- ii. 222-226 Delaware Street, 6,089 sq. ft., 3 stories, 6 units, no elevator
- iii. 304 Delaware Street, 36,163 sq. ft., 3 stories, 29 units, with an elevator
- iv. 406 Delaware Street, 7,949 sq. ft., 3 stories, 7 units, no elevator
- v. 601 Geddes Street, 25,897 sq. ft. plus 2451 non-residential sq. ft., 4 stories, 18 units, with an elevator that serves residential space only

The site plan applications, EAFs, and supporting materials have been supplied to the City of Syracuse. (3) of the site plans are being reviewed as major site plan, while the other (3) are minor site plans.

This letter is to inform you that the CPC intends to assume lead agency status for a State Environmental Quality Review Act (SEQRA) review of the site plan applications. It is anticipated that the project will be an Unlisted Action pursuant to SEQRA and its implementing regulations (6 NYCRR 617).



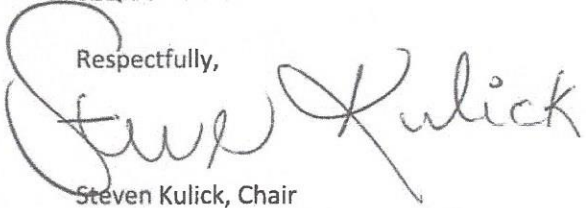
To Whom It May Concern,

Your agency has been identified as a potentially involved or interested agency for this project. To undertake a coordinated review, a lead agency must be designated. The City of Syracuse Planning Commission (CPC) intends to seek lead agency status for purposes of SEQRA review because the proposed action will take place within the border of the City, and the site plan application approval is within the authority of the City.

We respectfully request that you consent to the CPC acting as lead agency by signing this letter and sending it to our offices within 30 days from the date of this transmittal at One Park Place, 300 South State Street – Suite 700 Syracuse NY, 13202.


Should you have direct jurisdiction over activities associated with this proposed project and wish to be lead agency, a dispute may be brought before the Commissioner of Environmental Conservation in accordance with SEQRA rules and regulations (Title 6 of the Official Compilation of Codes, Rules and Regulations (6 NYCRR) § 617.6). Otherwise, you may be an involved agency as that term is defined in 6 NYCRR § 617.2(s). If no response from you is received within thirty (30) days, it will be assumed that you agree that the Town shall act as lead agency. Your participation as an involved agency is encouraged, and any comments received will be considered and addressed in the Town's SEQRA review.

Respectfully,



Steven Kulick, Chair  
City of Syracuse Planning Commission  
One Park Place  
300 South State Street – Suite 700  
Syracuse, NY 13202

The undersigned agency consents to the City of Syracuse Planning Commission acting as Lead Agency in accordance with § 617.6 of the Regulations.

 Chair, Syracuse Board of Zoning Appeals

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(Signature and Title)

# Short Environmental Assessment Form

## Part 1 - Project Information


### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

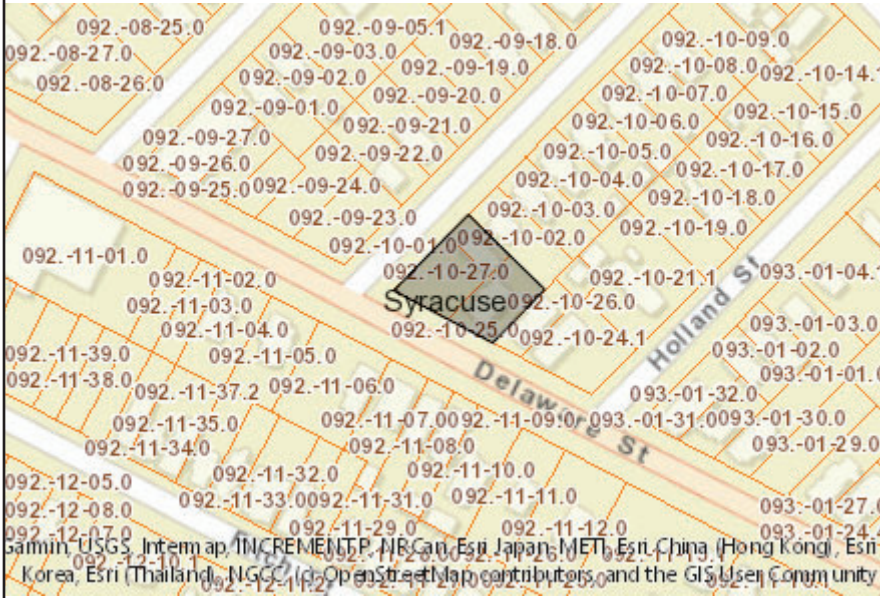
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: La Liga Westside Village			
Project Location (describe, and attach a location map): Scattered sites: 112-128 Delaware Ave, 222-226 Delaware Ave, 304-326 Delaware Ave, 406-412 Delaware Ave, 411 Delaware Ave, 601 Geddes St			
Brief Description of Proposed Action: 112-128 Delaware Ave: 4,400 sf 3-story Townhouse, 8 units with 5 parking spaces - Major Site Plan Approvals track 222-226 Delaware Ave and 321 Kellogg St: 3,500 sf 3-story Townhouse, 6 units with 3 parking spaces - Minor Site Plan Approvals track 304-326 Delaware Ave and 223 Grace St: 13,580 sf 3-story programmed apartment building, 29 units with 15 parking spaces, playground - Major Site Plan Approvals track 406 and 412 Delaware Ave: 3,800 sf 3-story Townhouse, 7 units with 4 parking spaces - Minor Site Plan Approvals track 401-11 Delaware Ave & 100-102 Dudley St: Community garden for residents of project with small gazebo and fencing - Minor Site Plan Approvals track 601-21 Geddes St: 8,000 sf 4-story mixed use building, 18 units with 4 parking spaces - Major Site Plan Approvals track			
Name of Applicant or Sponsor: Spanish Action League of Onondaga County, Inc.		Telephone: 716-856-7110 E-Mail: DaRodriguez@hubwny.com	
Address: 700 Oswego Street			
City/PO: Syracuse		State: NY	Zip Code: 13204
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		2.96 acres	
b. Total acreage to be physically disturbed?		2.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2.96 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? 601 Geddes is adjacent to buffer area b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ According to the Environmental Resource Mapper, 601-21 Geddes St site is across the street from an underground water course. Proposed project will not impact this feature. _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ Storm water will be conveyed into drainage structures including catch basins, drywells, and storm inlets. _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ Soil composition testing has been completed on all sites in project as several adjacent or nearby sites were shown on Remediation Mapper.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Christian Freeman</u> Date: <u>11/8/23</u>  Signature: <u></u> Title: <u>Landscape Architect</u>		



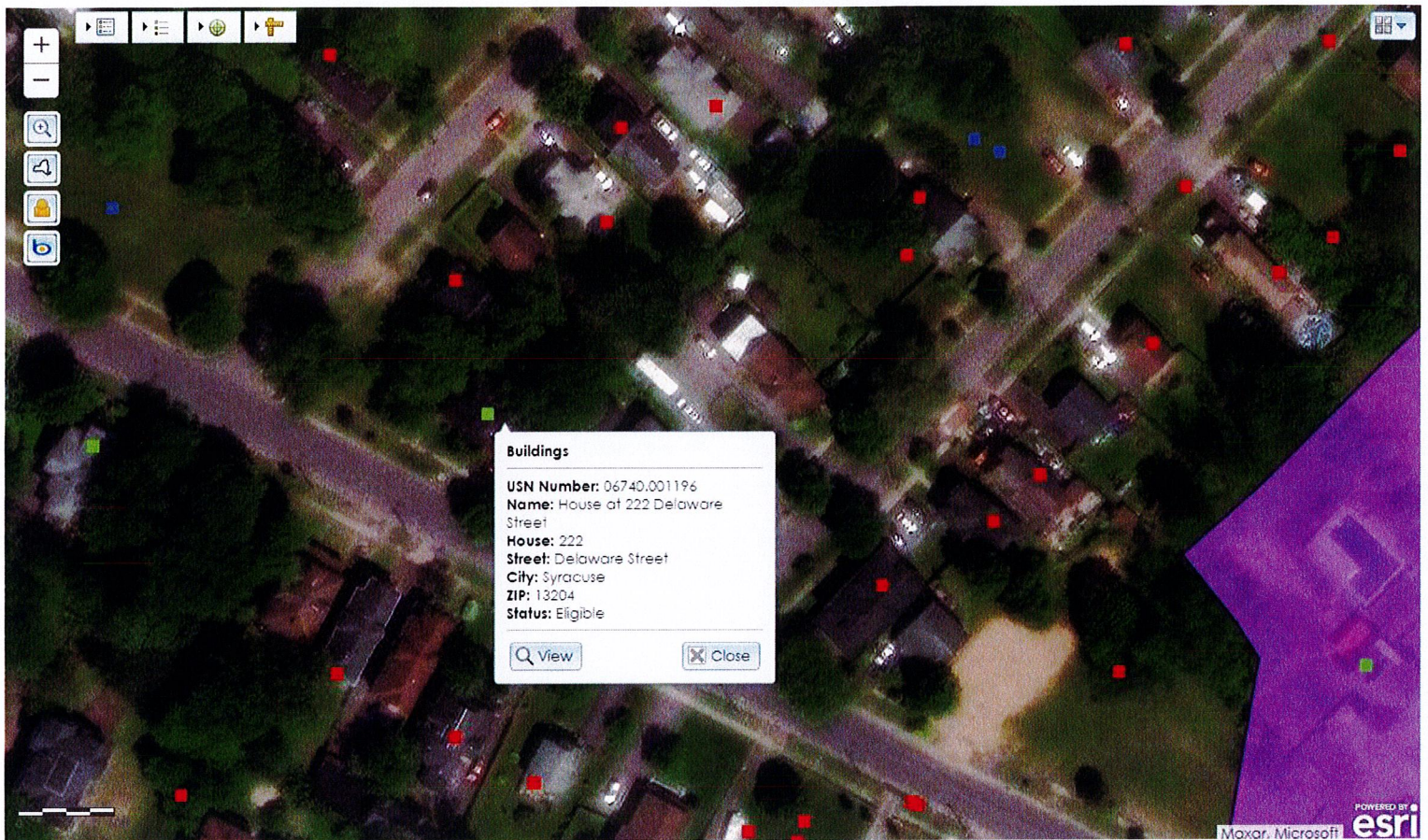


**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes





CRIS Map indicates 222 Delaware Street is Eligible for local and federal preservation.



**Site Photographs**

**222-226 Delaware Street**



Photo 1: 222-226 Delaware Street – Looking North/Up Kellogg Street  
Green house = 321 Kellogg Street



Photo 2: 222-226 Delaware Street – Looking South/across Delaware Street  
Left to right: 215-17 (blue)/219-21 (red)/225-27 (white) Delaware Street





Photo 3: Looking South across street at 305 Delaware



Photo 4: 222-226 Delaware Street – Looking West/Across Kellogg Street  
Left to right: 304 Delaware (vacant) 320 Kellogg Street (gold/red shutters/demolished)





Photo 5: 222-226 Delaware Street – Looking East/at intersection of Delaware/Kellogg Street  
321 Kellogg at left (green house) 222 Delaware at foreground and 226 Delaware behind the trees.



Photo 6: 222-226 Delaware Street – Front  
321 Kellogg (green) 226 Delaware at far right (condemned/to be demolished)



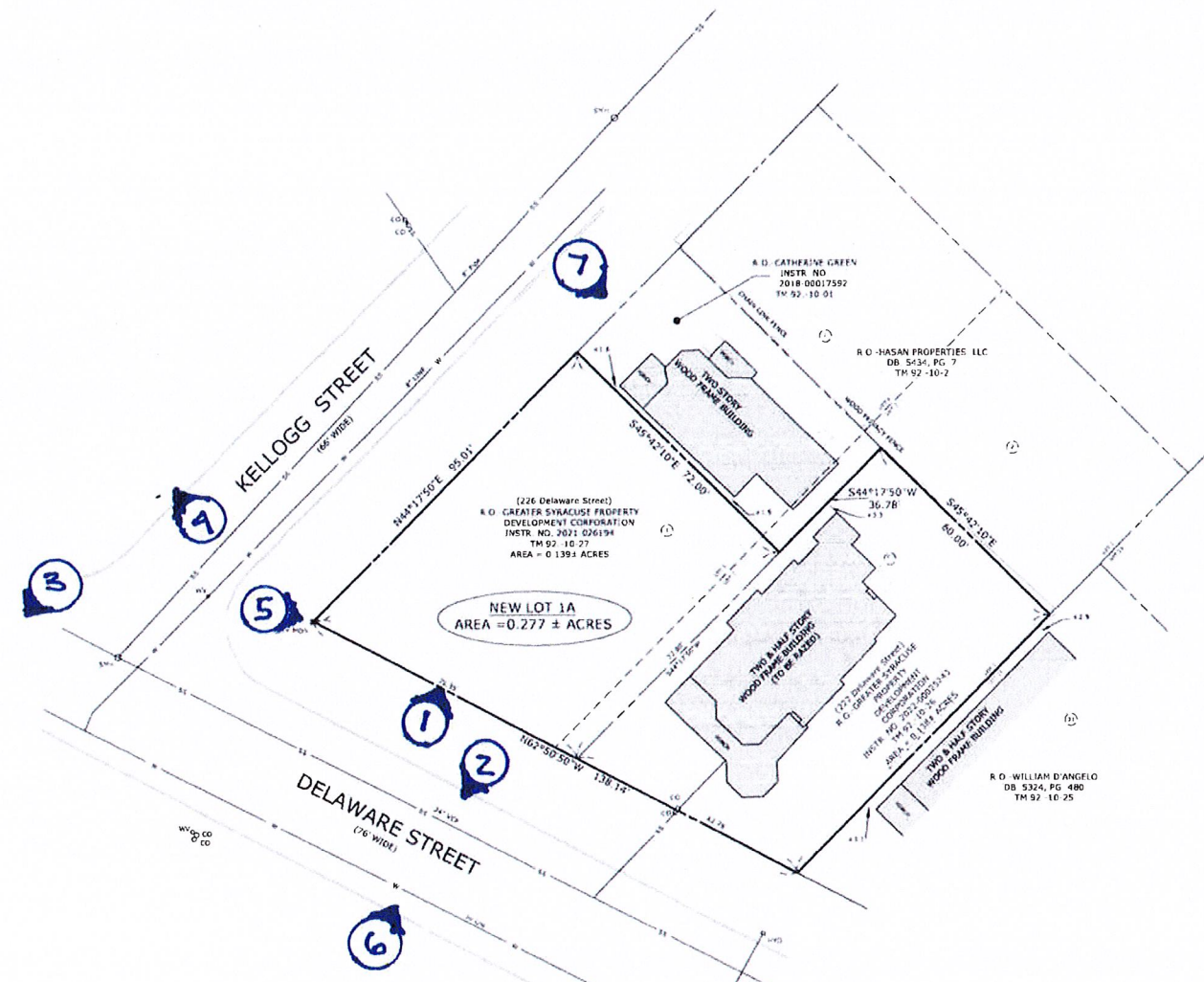
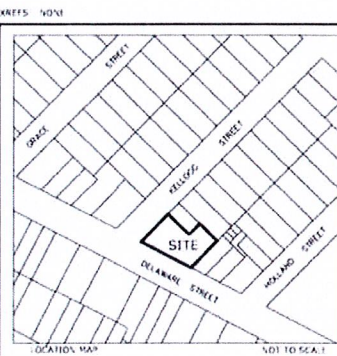


Photo 7: 321 Kellogg Street. 222 Delaware to the right



Photo 8: 119-21 Delaware Street at intersection of W. Onondaga Street and Delaware Street – Includes a wrap around porch at the corner of the building adjacent to the intersection.





**LEGEND**

○ CIPF	Capped Iron Pipe Found
○ CIPR	Capped Iron Rod Found
○ HVD	Hydrant
○ IPF	Iron Pipe Found
○ IRF	Iron Rod Found
○ SM	Sanitary Manhole
○ WV	Water Valve
— SS	Sanitary Sewer Line
— W	Buried Water Line
—	Proposed Parcel Line
—	Existing Property Line
—	Easement Line
—	Street Line

**MAP NOTES**

- 1) NORTH ORIENTATION BASED ON THE CITY OF SYRACUSE RIGHT OF WAY PLATES
- 2) FIELD WORK PERFORMED BETWEEN JANUARY 15-31, 2023
- 3) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE
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**MAP REFERENCES**

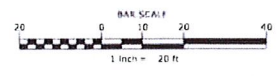
- 1) MAP OF THE KELLOGG TRACT AND THE DAVIS & WHITE TRACT - FILED MAP # 177

HEREBY CERTIFY THAT THIS IS AN ACCURATE SUBDIVISION PLAT PREPARED BY US ON JUNE 26, 2023. THIS SUBDIVISION PLAT MEETS THE CURRENT STANDARDS STATED IN THE NYSPALS CODE OF PRACTICE FOR LAND SURVEYS PERTAINING TO BOUNDARY SURVEYS. THE SUBDIVISION BOUNDARY CLOSURE IS GREATER 1:10,000. THIS MAP IS NOT VALID WITHOUT THE ORIGINAL SEAL OF THE SURVEYOR

DATE: JULY 26, 2023  
DAVID M. SLISKI: PLS # 50105

APPROVED: \_\_\_\_\_  
DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
Owner & Developer

CITY OF SYRACUSE DEPT. OF ENGINEERING	CITY OF SYRACUSE PLANNING COMMISSION	ONONDAGA COUNTY HEALTH DEPT.



DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW
07/26/23	ADD PROPOSED ADDRESS	DMS	DMS	DMS	© 2023 C.T. MALE ASSOCIATES APPROVED: _____ DRAFTED - TOL CHECKED - DMS PROJ. NO - 23 3374 SCALE - 1" = 20 FT DATE - JUNE 26, 2023

**RESUBDIVISION PLAT**

FOR PARTS OF LOTS 1 & 2 OF CITY BLOCK 328 (KELLOGG TRACT) INTO  
**NEW LOT 1A OF CITY BLOCK 328**  
(TO BE KNOWN AS 216-224 DELAWARE STREET)  
222 & 226 DELAWARE STREET  
ONONDAGA COUNTY, NEW YORK

**C.T. MALE ASSOCIATES**  
Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.  
50 CENTURY HILL DRIVE, LATHAM, NY 13210 PH 518 786 7400  
CORSEWILL, NY · GLENS FALLS, NY · FOLIOWESTVILLE, NY  
JOHNSTOWN, NY · RED HOOK, NY · SYRACUSE, NY  
www.ctmale.com

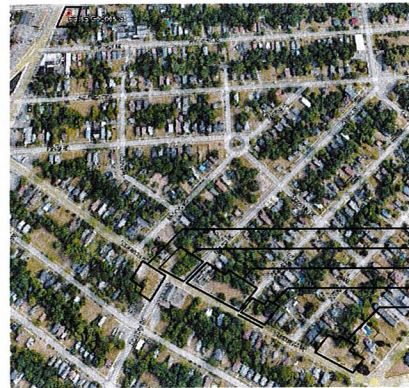
SHEET 1 OF 1  
DWG NO: 23-0412



# SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE

222-226 DELAWARE STREET, SYRACUSE NEW YORK  
SITE TWO OF SIX

HKK PROJECT #22071



**OWNER/DEVELOPER**

ACACIA NETWORK

300 E. 175TH STREET  
BRONX, NY 10457  
PHONE: (718) 299-1100

WEBSITE: [www.acacianetwork.org](http://www.acacianetwork.org)



**CONSULTING SERVICES**

OXFORD CONSULTING, INC.

505 ELLICOTT STREET, SUITE A208  
BUFFALO, NY 14203  
PHONE: (716) 725 3123

WEBSITE: [www.oxfordconsulting.com](http://www.oxfordconsulting.com)



**LANDSCAPE ARCHITECT**

KEPLINGER FREEMAN ASSOCIATES PLLC

6320 FLY ROAD, SUITE 109  
EAST SYRACUSE, NY 13057  
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FAX: (315) 445-7981

WEBSITE: [www.keplingerfreeman.com](http://www.keplingerfreeman.com)

**STRUCTURAL ENGINEER**

ST. GERMAIN & AUPPERLE  
CONSULTING ENGINEERS, PLLC

5711 WEST GENESEE STREET  
CAMILLUS, NY 13031  
PHONE: (315) 488-3550  
FAX: (315) 488-3505

WEBSITE: [www.ss-engineers.com](http://www.ss-engineers.com)

**ARCHITECT:**

HOLMES ■ KING ■ KALLQUIST  
& ASSOCIATES, ARCHITECTS, LLP

575 NORTH SALINA STREET  
SYRACUSE, NY 13208  
PHONE: (315) 476-8371  
FAX: (315) 476-5420

WEBSITE: [www.hkkarchitects.com](http://www.hkkarchitects.com)

**MECHANICAL ENGINEER**

IPD ENGINEERING

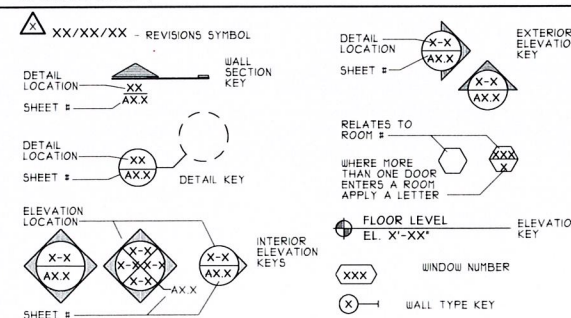
ONE WEBSTER'S LANDING  
SYRACUSE, NY 13202  
PHONE: (315) 423-0185  
FAX: (315) 471-6222

WEBSITE: [www.ipdengineering.com](http://www.ipdengineering.com)

**ABBREVIATIONS :**

ACP/APC	ACOUSTIC CEILING PANEL	EQ	EQUAL	LLH	LONG LEG HORIZONTAL	REV	REVISED/REVISION
ACT/ATC	ACOUSTIC CEILING TILE	EST	ESTIMATE	LLV	LONG LEG VERTICAL	RI	ROUGH OPENING
ADJ	ADJACENT	EQUIP	EQUIPMENT	LOC	LOCATION	RO	RIGHT OF WAY
AFF	ABOVE FINISHED FLOOR	EXH	EXHAUST	LTL	LIGHTING	RUB	RUBBER
AIA	AMERICAN INSTITUTE OF ARCHITECTS	EXH	EXHAUST	LVL	LAMINATED VENEER LUMBER	SCH	SCHEDULE
ALLOW	ALLOWANCE	EX	EXISTING	LVP	LUXURY VINYL PLANK	SEC	SECTION
ALT	ALTERNATE	EX or EXIST	EXISTING	LVR	LUXURY VINYL TILE	SLNT	SEALANT
ALUM	ALUMINUM	EXT	EXTERIOR	LVT	LUXURY VINYL TILE	SLR	SEALER
ANOD	ANODIZED	FD	FLOOR DRAIN	LVT	LUXURY VINYL TILE	SLT	SLOPE
APPROX	APPROXIMATELY	FDN	FOUNDATION	LVT	LUXURY VINYL TILE	SHT	SHEET
ARCH	ARCHITECT (URAL)	FE	FIRE EXTINGUISHER	FIN	FINISH	SHT	SHEET
AVG	AVERAGE	FEC	FIRE EXTINGUISHER CABINET	FIN	FINISH	SHT	SHEET
AVC	ACOUSTICAL WALL COVERING	FGL	FACE OF FINISH	FIN	FINISH	SHT	SHEET
AUP	ACOUSTICAL WALL PANELING	FGL	FIBERGLASS	FIN	FINISH	SHT	SHEET
B/F	BOTTOM OF FOOTING	FIN	FINISHED FLOOR	FIN	FINISH	SHT	SHEET
BIT	BITUMINOUS	FLR	FLOOR	FIN	FINISH	SHT	SHEET
BLDG	BUILDING	FLR	FLOOR	FIN	FINISH	SHT	SHEET
BLKG	BLOCKING	FM	FACTORY MUTUAL	FIN	FINISH	SHT	SHEET
BM	BEAM/BENCHMARK	F/O	FACE OF	FIN	FINISH	SHT	SHEET
B/O	BOTTOM OF	FP	FIRE PROOFING	FIN	FINISH	SHT	SHEET
BRD	BOARD	FR	FIRE RESISTIVE	FIN	FINISH	SHT	SHEET
BRK	BRICK	FRG	FRAMING	FIN	FINISH	SHT	SHEET
BSHT	BASEMENT	FRP	FIBERGLASS REINFORCED PLASTIC	FIN	FINISH	SHT	SHEET
B/TEN	BETWEEN	FUR	FURNISHING	FIN	FINISH	SHT	SHEET
BUR	BUILT-UP ROOF	FTG	FOOTING	FIN	FINISH	SHT	SHEET
CABT	CABINET	FTRTD	FIRE TREATED	FIN	FINISH	SHT	SHEET
CER	CERMENT/CEMENTITIOUS	FUR	FURNISHING	FIN	FINISH	SHT	SHEET
CF	CUBIC FOOT/FEET	FURN	FURNITURE	FIN	FINISH	SHT	SHEET
CJ	CONTROL JOINT	GA	GAUGE	FIN	FINISH	SHT	SHEET
CL	CENTERLINE	GAL	GALLON	FIN	FINISH	SHT	SHEET
CLG	CENTRAL	GALV	GALVANIZED	FIN	FINISH	SHT	SHEET
CLO	CLOSE	GC	GENERAL CONTRACTOR	FIN	FINISH	SHT	SHEET
CLR	CLEAR	GEN	GENERAL	FIN	FINISH	SHT	SHEET
CHU	CONCRETE MASONRY UNIT	GL	GLASS/GLAZING	FIN	FINISH	SHT	SHEET
COL	COLUMN/COLOR	GNT	GRANITE	FIN	FINISH	SHT	SHEET
COHP	COMPOSITE	GR	GRADE	FIN	FINISH	SHT	SHEET
CONC	CONCRETE	GRND	GROUND	FIN	FINISH	SHT	SHEET
CONST	CONSTRUCTION	GT	GLAZED TILE	FIN	FINISH	SHT	SHEET
CONT	CONTINUOUS	GWB	GYP/PLASTER BOARD	FIN	FINISH	SHT	SHEET
CONTR	CONTRACTOR	GYP	GYP/PLASTER	FIN	FINISH	SHT	SHEET
COORD	COORDINATE	H	HANDICAPPED ACCESSIBLE	FIN	FINISH	SHT	SHEET
CORR	CORRIDOR	H/C	HANDICAPPED ACCESSIBLE	FIN	FINISH	SHT	SHEET
CORRUG	CORRUGATED	HQUD	HARDWOOD	FIN	FINISH	SHT	SHEET
CPT	CARPET	HQUR	HARDWARE	FIN	FINISH	SHT	SHEET
CPT T.	CARPET TILE	HGT	HEIGHT	FIN	FINISH	SHT	SHEET
CRS	COURSE(S)	HM	HOLLOW METAL	FIN	FINISH	SHT	SHEET
CT	CERAMIC TILE	HORIZ	HORIZONTAL	FIN	FINISH	SHT	SHEET
CT	CUBIC YARD	HPC	HIGH PRESSURE LAMINATE	FIN	FINISH	SHT	SHEET
D	DEPTH	HR	HOUR	FIN	FINISH	SHT	SHEET
DF	DRINKING FOUNTAIN	HVAC	HEATING, VENTILATING & AIR CONDITIONING	FIN	FINISH	SHT	SHEET
DIA	DIAMETER	ID	INSIDE DIAMETER	FIN	FINISH	SHT	SHEET
DIAG	DIAGONAL	IN	INCH	FIN	FINISH	SHT	SHEET
DIM	DIMENSION	INCL	INCLUDED, INCLUDING	FIN	FINISH	SHT	SHEET
DL	DEAD LOAD	INSUL	INSULATION	FIN	FINISH	SHT	SHEET
DN	DOWN	INT	INTERIOR	FIN	FINISH	SHT	SHEET
DO	DOOR	INT	INTERIOR	FIN	FINISH	SHT	SHEET
DL	DETAIL	INT	INTERIOR	FIN	FINISH	SHT	SHEET
DWG	DRAWING	INT	INTERIOR	FIN	FINISH	SHT	SHEET
EA	EACH	INT	INTERIOR	FIN	FINISH	SHT	SHEET
EPS	EXTERIOR INSULATION FINISH SYSTEM	INT	INTERIOR	FIN	FINISH	SHT	SHEET
EJ	EXPANSION JOINT	INT	INTERIOR	FIN	FINISH	SHT	SHEET
EL	ELEVATION	INT	INTERIOR	FIN	FINISH	SHT	SHEET
ELEC	ELECTRIC (ALS)	INT	INTERIOR	FIN	FINISH	SHT	SHEET
ELEV	ELEVATOR/ELEVATION	INT	INTERIOR	FIN	FINISH	SHT	SHEET
ENT	ENTRANCE MAT	INT	INTERIOR	FIN	FINISH	SHT	SHEET
ENTR	ENTRANCE	INT	INTERIOR	FIN	FINISH	SHT	SHEET
EPS	EXPANDED POLYSTYRENE	INT	INTERIOR	FIN	FINISH	SHT	SHEET

**SYMBOLS :**

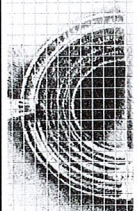


**LIST OF DRAWINGS :**

T1.1	TITLE SHEET	ARCHITECTURAL
-	RESUBDIVISION SURVEY	
		A1.1 FLOOR PLANS REVISED
		A1.2 FLOOR PLANS REVISED
		A2.1 EXTERIOR ELEVATIONS REVISED
<b>CIVIL</b>		
L1.1	SITE PREPARATION PLAN - 222-226	
L2.1	SITE GRADING, DRAINAGE AND UTILITIES PLAN - 222-226	
L3.1	SITE PLAN LAYOUT PLAN - 222-226	
L4.1	SITE PLANTING PLAN - 222-226	
L5.1	SITE DETAILS	
L5.2	SITE DETAILS	

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
222-226 DELAWARE STREET  
SYRACUSE, NEW YORK

HOLMES ■ KING ■ KALLQUIST  
& Associates, Architects, LLP  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
[www.hkkarchitects.com](http://www.hkkarchitects.com)



TITLE SHEET  
**T1.1**

I, THE UNDERSIGNED ARCHITECT, CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS ADOPTED BY NEW YORK STATE AND THE INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY NEW YORK STATE

ISSUE DATE XX/XX/XXXX  
BID SET No.

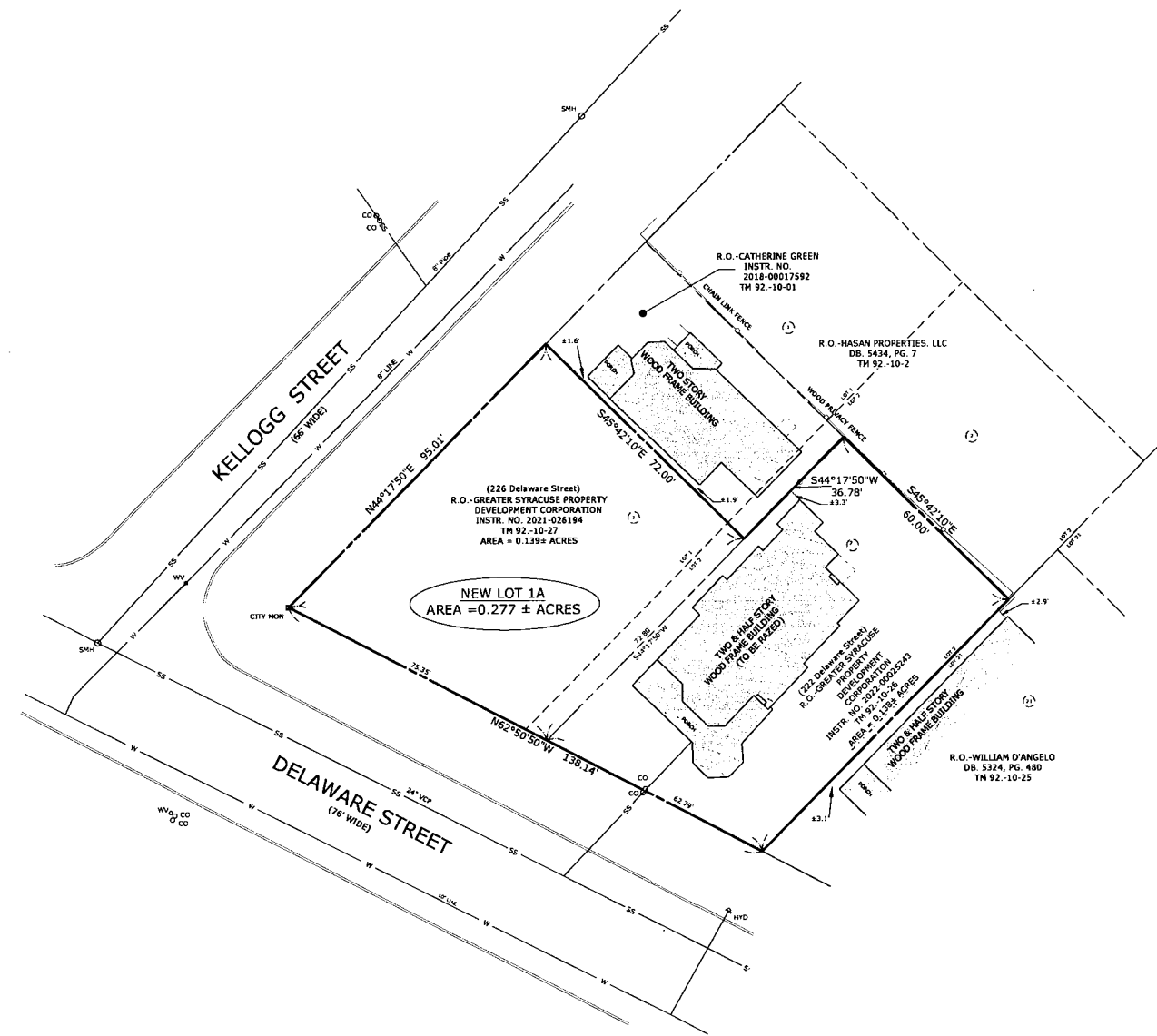
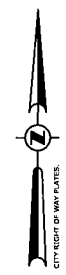
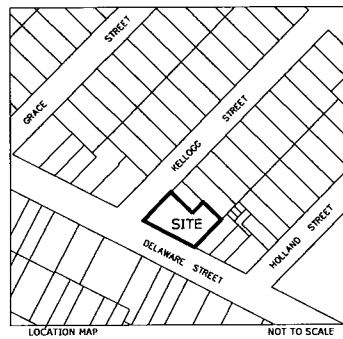
REV.	DATE	DRAWN BY	DESCRIPTION

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JOB NO: 22071  
DATE: 10/23/23  
DRAWN BY: MCM  
SCALE: NONE



XREFS: NONE



LEGEND	
○ CIPF	Capped Iron Pipe Found
○ CIRF	Capped Iron Rod Found
○ HYD	Hydrant
○ IPIF	Iron Pipe Found
○ IRIF	Iron Rod Found
○ SHH	Sanitary Manhole
○ WV	Water Valve
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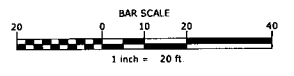
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JULY 26, 2023

DAVID M SLISKI PLS # 50105 DATE

APPROVED: \_\_\_\_\_  
 DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
 Owner & Developer

CITY OF SYRACUSE DEPT. OF ENGINEERING	CITY OF SYRACUSE PLANNING COMMISSION	ONONDAGA COUNTY HEALTH DEPT.



DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.
07/26/23	ADD PROPOSED ADDRESS	DMS	DMS	DMS	© 2023 C.T. MALE ASSOCIATES APPROVED: DRAFTED : TOL CHECKED : DMS PROJ. NO : 23.3374 SCALE : 1" = 20 FT. DATE : JUNE 26, 2023

**RESUBDIVISION PLAT**

FOR PARTS OF LOTS 1 & 2 OF CITY BLOCK 328 (KELLOGG TRACT) INTO

**NEW LOT 1A OF CITY BLOCK 328**

(TO BE KNOWN AS 216-224 DELAWARE STREET)

222 & 226 DELAWARE STREET ONONDAGA COUNTY, NEW YORK

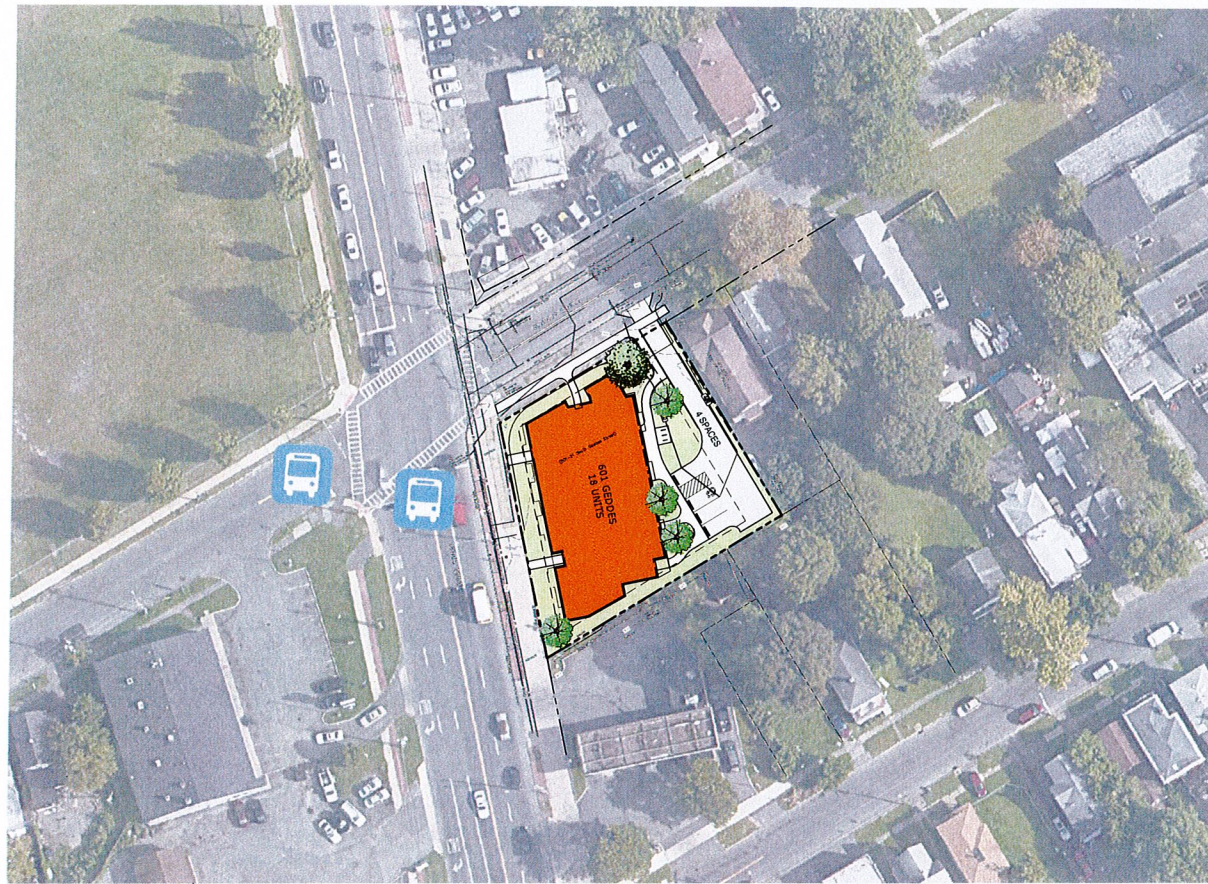
**C.T. MALE ASSOCIATES**  
 Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.  
 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400  
 COBLESKILL, NY - GLENS FALLS, NY - FOGUEKEEPSIE, NY  
 JOHNSTOWN, NY - RED HOOK, NY - SYRACUSE, NY

SHEET 1 OF 1  
 DWG. NO: 23-0412

CAD DWG. FILE NAME: C:\Users\DavidS\Desktop\Delaware St. S184 Resubdivision.dwg

CAD DWG. FILE NAME: Delaware St. S184 Resubdivision





**ZONING CHART - 601 GEDDES**

601 GEDDES  
8,000 SF 4-STORY MIXED USE BUILDING  
18 UNITS RESIDENTIAL, 2,500 SF COMMERCIAL

093-09-26.0 601-21 DELAWARE

TOTAL COMBINED PARCEL AREA: 19,168 SF / 411 ACRES  
ZONE: LOCAL BUSINESS ZONE A - PER MAP 10, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	SEE BELOW	8'
CORNER LOT SIDE YARD	SEE BELOW	8'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*SIDEYARD IS 4' PLUS 2' PER FLOOR OVER 2 STORIES, SO 4' + 4' FOR 2 FLOORS + 8' REQUIRED  
\*\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD OF SIDE STREET IS 8'.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	32'
MAX. STRUCTURAL	N/A AS MIXED USE	44%
MAX. PARKING	N/A AS MIXED USE	38%
MIN. LOT SF PER UNIT	10000	10079

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	0	0
1 SPACE / 3000 SF RETAIL	0	4**

\*\*PARKING PROVIDED SHALL BE FOR COMMERCIAL TENANT AND 1 RESERVED SPACE FOR RENTING SERVICES

**ACCESS**  
BUS STOPS ON SY 14, SY 921 BY 936, AND AUB 38 ARE LOCATED ON THE CORNER OF 96TH STREET AND GEDDES STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - DUDLEY**

DUDLEY  
COMMUNITY GARDEN AND PLAYGROUND  
13 PARKING SPACES

093-09-25.0 401-5 DELAWARE ST  
093-09-24.0 41 DELAWARE ST  
093-09-26.0 100 DUDLEY ST  
093-09-27.0 107 DUDLEY ST

TOTAL COMBINED PARCEL AREA: 16,455 SF / 318 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP 10, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER LOT SIDE YARD	SEE BELOW	15'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	24'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. FRONT LOT WIDTH IS APPROX. 100'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	83'
MAX. STRUCTURAL	40%	9%
MAX. PARKING	40%	21%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	0	13**

\*\*DUDLEY PARCEL LOT OFFSETS PARKING DEFICIT AT 304 DELAWARE PARCEL (8 SPACES) + 226 DELAWARE PARCEL (3 SPACES).

**ACCESS**  
BUS STOPS ON SY 326, SY 966, SY 970, SY 974, SY 64, SY 874, SY 931, AND SY 942 ARE LOCATED ON THE CORNER OF GEDDES STREET AND DUDLEY STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 406 DELAWARE**

406 DELAWARE  
4,500 SF 3-STORY TOWNHOUSE - 1 UNITS

093-09-26.0 406 DELAWARE ST  
093-09-27.0 412 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 16,431 SF / 311 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP 10, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER SIDE YARD	SEE BELOW	20'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD IS 15'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	-
MAX. STRUCTURAL	40%	-
MAX. PARKING	40%	-

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	1	8

**ACCESS**  
BUS STOPS ON SY 64, SY 874, SY 931, SY 931, SY 936, SY 966, AND SY 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 304 DELAWARE**

304 DELAWARE  
14,500 SF 4-STORY APARTMENT BUILDING - 28 UNITS

093-09-23.0 304 DELAWARE ST  
093-09-24.0 310-312 DELAWARE ST  
093-09-25.0 316 DELAWARE ST  
093-09-26.0 320 DELAWARE ST  
093-09-27.0 322-326 DELAWARE ST  
093-09-10 223 GRACE ST

TOTAL COMBINED PARCEL AREA: 31,802 SF / 267 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP 10, ZONING ATLAS  
- ALL PARCELS EXCEPT 223 GRACE ST IS RESIDENTIAL BUSINESS CLASS AA

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
CORNER SIDE YARDS	SEE BELOW	20' 10'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	22'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD IS 10' ON BOTH SIDE STREETS.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	26.4'
MAX. STRUCTURAL	40%	35%
MAX. PARKING	40%	17%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	28	20**

\*\*PARKING DEFICIT (8 SPACES) AT THIS DEVELOPMENT IS OFFSET AT DUDLEY PARCEL.

**ACCESS**  
BUS STOPS ON SY 64, SY 874, SY 931, SY 931, SY 936, SY 966, AND SY 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE. BUS STOPS ON KELLOGG STREET AND DELAWARE STREET, ALSO ADJACENT TO THE SITE, INCLUDE SY 921, SY 966, SY 970, SY 974, AND SY 976.

**ZONING CHART - 226 DELAWARE**

226 DELAWARE  
3,500 SF 3 STORY TOWNHOUSE - 6 UNITS

093-10-26.0 222 DELAWARE ST  
093-10-27.0 226 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 14,709 SF / 204 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP 10, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER SIDE YARD	SEE BELOW	14'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD IS 14'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	37'
MAX. STRUCTURAL	40%	25%
MAX. PARKING	40%	0%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	6	3**

\*\*PARKING DEFICIT (3 SPACES) AT THIS DEVELOPMENT IS OFFSET AT DUDLEY PARCEL.

**ACCESS**  
BUS STOPS ON KELLOGG STREET AND DELAWARE STREET ARE LOCATED DIRECTLY ADJACENT TO THE SITE, INCLUDE SY 921, SY 966, SY 970, SY 974, AND SY 976.

**ZONING CHART - 112 DELAWARE**

112 DELAWARE  
4,400 SF 3 STORY TOWNHOUSE - 8 UNITS

093-01-27.0 112 DELAWARE ST  
093-01-28.0 116-118 DELAWARE ST  
093-01-29.0 122-24 DELAWARE ST  
093-01-30.0 128 DELAWARE ST

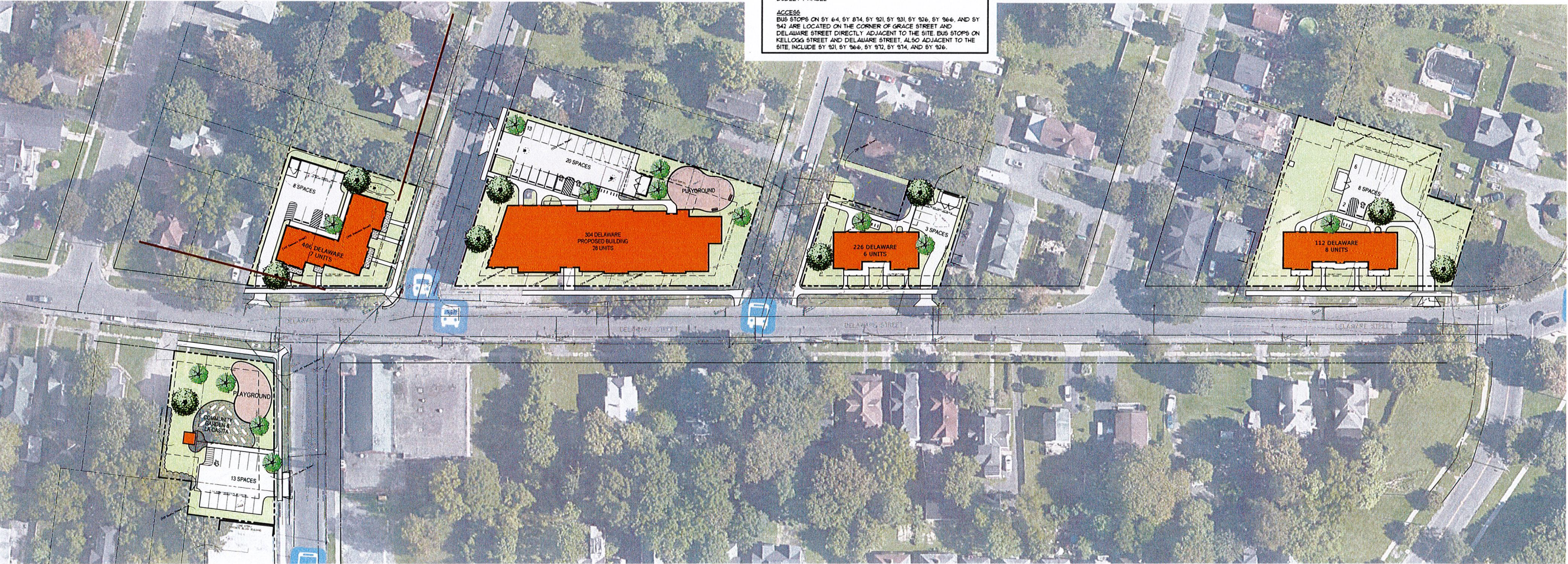
TOTAL COMBINED PARCEL AREA: 20,951 SF / 641 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP 10, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	70'
MAX. STRUCTURAL	40%	16%
MAX. PARKING	40%	14%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	8	8

**ACCESS**  
BUS STOPS ON SY 921, SY 966, AND SY 974 ARE LOCATED WITHIN 150' OF THE SITE. ADDITIONAL STOPS ARE LOCATED WITHIN 150' AT THE CORNER OF DELAWARE AND WEST ONONDAGA STREET.



**KEPLINGER FREEMAN ASSOCIATES**  
LANDSCAPE ARCHITECTURE & LAND PLANNING  
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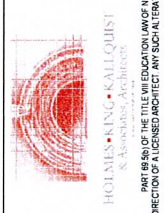
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1	4/29/22	CRF	SCHEMATIC

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JOB NO: 42134  
DATE: 20 APRIL 2023  
DRAWN BY: CRF  
REVIEW BY: ESK  
SCALE: AS SHOWN

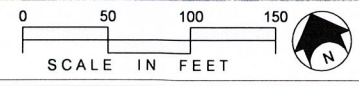
**LA LIGA WEST SIDE HOUSING**  
601 SOUTH GEDDES STREET

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OVERALL PLAN

**L1.0**





**EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES**

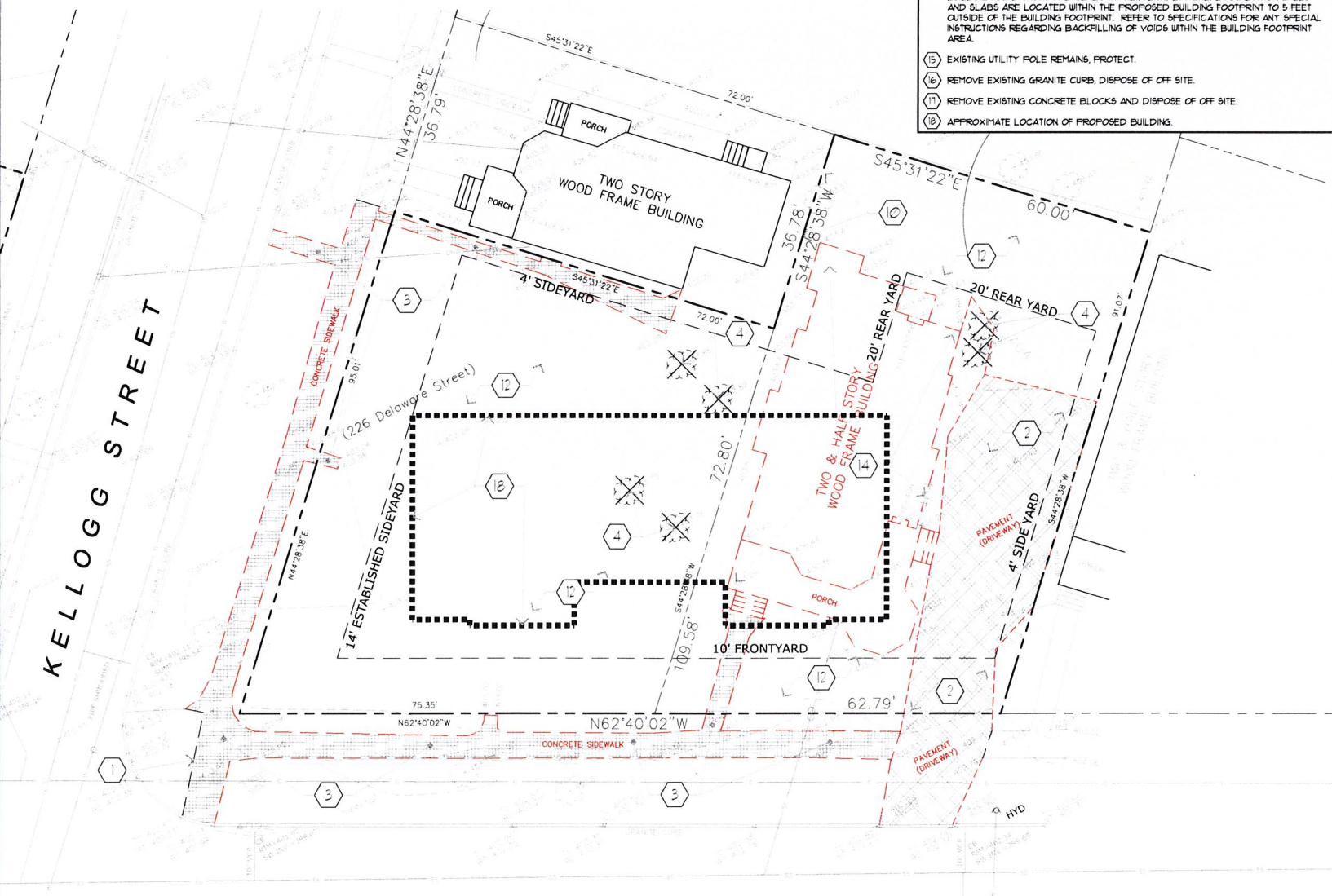
1. SAWCUT ASPHALT OR CONCRETE PAVEMENT. SAWCUT ASPHALT IN NEAR STRAIGHT LINE AND SAWCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
2. REMOVE ASPHALT PAVEMENT AND DISPOSE OF MATERIALS OFF SITE. NYS DOT ITEM No. 203.02.
3. REMOVE EXISTING CONCRETE IN ITS ENTIRETY, LEGALLY DISPOSE OF OFF SITE. AT CONTRACTOR OPTION, EXISTING CONCRETE MAY BE CRUSHED TO MEET THE SPECIFICATION FOR OVERSIZE SUBBASE COURSE MATERIAL (3 INCH MINUS) AND USE IN LOWER LIFTS OF THE PARKING LOT FILL.
4. REMOVE EXISTING TREES AND VEGETATION, INCLUDING STUMPS AND ROOTS. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE. COORDINATE STOCKPILE LOCATIONS WITH CONSTRUCTION MANAGER. ALL CLEARING OF POTENTIAL SUMMER ROOSTING TREES 4-INCH DIAMETER OR GREATER MUST OCCUR FROM OCTOBER 31ST THROUGH MARCH 31ST. CLEARING OF VEGETATION AT ANY OTHER TIME OF THE YEAR MUST BE REVIEWED AND AUTHORIZED BY THE NEW YORK FIELD OFFICE OF THE U.S. FISH AND WILDLIFE SERVICE IN CORTLAND, NY. ALL CLEARING AND GRUBBING WITHIN NYS DOT RIGHT-OF-WAY TO BE PAID FOR UNDER ITEM No. 2012100002B.
5. APPROXIMATE LOCATION OF PROPOSED BUILDING.
6. LARGE TREES SHALL BE PROTECTED WHERE LAND REMAINS UNDISTURBED BY CONSTRUCTION ACTIVITY.
7. CONTRACTOR TO COMPLETE AND SUBMIT PERM 33 AND SHALL OBTAIN HIGHWAY WORK PERMIT FROM NYS DOT PRIOR TO ANY WORK WITHIN THE HIGHWAY RIGHT-OF-WAY.
8. SANITARY WORK WITHIN RIGHT-OF-WAY MUST BE PERMITTED BY NYS DOT REGIONAL UTILITY COORDINATOR JEREMY LAUTON # (315) 428-4388 (Jeremy.Lauton@dol.ny.gov). COORDINATE CONNECTION TO EXISTING SANITARY SEWER WITH VILLAGE OF CANTILLUS ENGINEER. EXISTING SANITARY MANHOLE TO REMAIN. PROTECT. CORE DRILL OPENING INTO EXISTING MANHOLE AND PROVIDE WATERTIGHT SEAL.
9. REMOVE EXISTING GRAVEL SURFACING IN ITS ENTIRETY TO PROPERTY LINE AND DISPOSE OF OFF SITE. RESTORE WITH TOPSOIL AND ESTABLISH LAWN.
10. REMOVE EXISTING FENCE IN ITS ENTIRETY, INCLUDING FABRIC, FOOTINGS, POSTS AND GATES, AND DISPOSE OF OFF SITE.
11. EXISTING GRANITE CURB TO REMAIN, PROTECT.
12. STRIP EXISTING TOPSOIL AND STOCKPILE FOR REUSE.
13. ALL WORK IN CITY RIGHT OF WAY MUST HAVE A WORK PERMIT FROM THE CITY. ANY ROAD AND PEDESTRIAN CLOSURES SHALL HAVE CORRECT SIGNAGE IN PLACE PER MUTCD.
14. REMOVE EXISTING BUILDING. REFER TO SPECIFICATIONS FOR ANY SPECIAL INSTRUCTIONS REGARDING BUILDING DEMOLITION. COMPLETELY REMOVE ALL BUILDING FOUNDATIONS AND SLABS IN THEIR ENTIRETY WHERE FOUNDATION WALLS AND SLABS ARE LOCATED WITHIN THE PROPOSED BUILDING FOOTPRINT TO 5 FEET OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO SPECIFICATIONS FOR ANY SPECIAL INSTRUCTIONS REGARDING BACKFILLING OF VOIDS WITHIN THE BUILDING FOOTPRINT AREA.
15. EXISTING UTILITY POLE REMAINS, PROTECT.
16. REMOVE EXISTING GRANITE CURB, DISPOSE OF OFF SITE.
17. REMOVE EXISTING CONCRETE BLOCKS AND DISPOSE OF OFF SITE.
18. APPROXIMATE LOCATION OF PROPOSED BUILDING.

**GENERAL NOTES**

1. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY LEHR LAND SURVEYORS, D.P.C. LIVERPOOL, NY, DATED MARCH 26, 2021.
- OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.
2. SAW CUT FOR PAVING REMOVALS. EXTEND REMOVAL LINES TO INCLUDE ANY ADJOINING BROKEN OR DETERIORATING PAVING. CAREFULLY REMOVE, STOCKPILE AND PROTECT ANY ITEMS NOTED FOR SALVAGE. ALL DEMOLITION RUBBLE, DEBRIS AND EXCESS SOILS TO BE PROMPTLY REMOVED FROM SITE. STRIP AND STOCKPILE SUFFICIENT EXISTING ORGANIC TOPSOILS FOR REUSE/SPREADING AS REQUIRED ON DISTURBED AND REGRADED AREAS TO BE ESTABLISHED AS LAWN AND FOR REPAIR OF DISTURBED EXISTING LAWNS TO REMAIN. STOCKPILE ALL MATERIALS IN APPROVED LOCATIONS WITHOUT INTERFERING WITH OTHER CONTRACTOR WORK, SCHOOL TRAFFIC OR DRAINAGE.
3. ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.
4. PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.
5. ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.
6. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-7980.
7. ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.
8. ALL NON-PAVED AREAS ARE TO BE LAWN UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE WITHIN THE CONTRACT LIMIT LINE. EXISTING LAWNS SHALL BE MOVED AS MUCH AS PRACTICAL TO KEEP AREA FROM LOOKING UNSIGHTLY. ALL TRASH AND DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY.

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	CONTOUR
+	+	SPOT ELEVATION
CT/CB	CT/CB	CURB TAPER/END
TC/BC	TC/BC	TOP/BOTTOM OF CURB
HP/FP	HP/FP	HIGH / LOW POINT
---	---	GUIDERAIL
---	---	UTILITY POLE
---	---	WATER LINE
---	---	FIRE HYDRANT
ST	ST	STORM PIPE
LD	LD	UNDERDRAIN
SAN	SAN	SANITARY PIPE
---	---	OVERHEAD ELECTRIC
---	---	GAS LINE
---	---	STORM STRUCTURE
---	---	DRYWELL
---	---	INLET
CB	CB	CATCH BASIN/MANHOLE
CO	CO	CLEAN OUT
---	---	SANITARY MANHOLE
---	---	ASPHALT PARKING PAVEMENT
---	---	CONCRETE PAVEMENT
---	---	OUTLET PROTECTION
---	---	TRAFFIC SIGN
---	---	LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
---	---	CURB
---	---	CURB FLUSH (↑ REVEAL UNLESS OTHERWISE NOTED)
SF	SF	SILT FENCE
---	---	TREE
---	---	SHRUB
---	---	PLANT KEY
---	---	TEST PITS SYMBOL
---	---	PERCOLATION TEST SYMBOL
---	---	ANCHOR/TIE SYMBOL
---	---	WATER LINE
G	G	GAS LINE
UE	UE	UNDERGROUND ELECTRIC
CLL	CLL	CONTRACT LIMIT LINE
---	---	SWALE



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JOB NO: 22071  
DATE: 07/25/23  
DRAWN BY: CRF  
SCALE: AS NOTED

SCHMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
**222 - 226 DELAWARE STREET**  
SYRACUSE, NEW YORK

**HOLMES - KING - KALLQUIST**  
& Associates, Architects, LLP  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
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SITE PREPARATION  
PLAN - 222-226

SITE TWO OF SIX  
**L1.1**



**GRADING, DRAINAGE & UTILITY GENERAL NOTES**

1. ANY/ALL FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
2. WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
3. ALL CONCRETE PAVING AT ALL EXISTING AND NEW DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOUELED TO FOUNDATION WALL PER DETAILS.
4. A GEOTECHNICAL EVALUATION REPORT WAS PREPARED BY KENNEY GEOTECHNICAL SERVICES DATED 8-22-2010 FOR THIS PROJECT SITE. IT IS ASSUMED THAT THE CONTRACTOR WILL REVIEW THIS REPORT AND ADHERE TO THE RECOMMENDATIONS AND CONCLUSIONS PROVIDED. COPIES OF THE REPORT CAN BE PROVIDED UPON REQUEST.
5. MINIMUM 6" CLEAR INSPECTION SPACE TO BE PROVIDED BETWEEN THE SURFACE OF THE PLANNED LANDSCAPE GRADE AND NON-MASONRY SIDING.
6. DISCHARGE FROM DOWNSPOUTS/SPLASH PADS TO EXTEND A MINIMUM OF 24" FROM THE BUILDINGS.

**GRADING, DRAINAGE & UTILITY NOTES** NOTES REFER TO SHEETS L2.1 & L3.1

- ① MEET EXISTING LINE AND GRADE.
- ② INSTALL 6" PVC SANITARY LATERAL @ 1% MINIMUM SLOPE.
- ③ INSTALL SANITARY CLEANOUT AT 75 FT MAXIMUM SPACING PER DETAIL 11/L12.
- ④ INSTALL STONE LINED SWALE PER DETAIL 9/L12.
- ⑤ INSTALL OUTLET PROTECTION PER DETAIL 11/L12.
- ⑥ INSTALL JUTE MESH SWALE PER DETAIL 14/L12.
- ⑦ APPROXIMATE LOCATION OF ROOF DRAIN REFER TO ARCHITECTURAL PLANS. INSTALL ROOF DRAIN SPLASH PAD PER DETAIL 15/L12, TYPICAL.
- ⑧ 24" HDPE PIPE TO BE PAID FOR UNDER NYS DOT ITEM No. 603.94000607.
- ⑨ INFILTRATION BASIN UNDERDRAIN PER DETAIL 16/L12.
- ⑩ RPZ DRAINAGE PIPE TO DISCHARGE A MINIMUM OF 12" ABOVE DRAINAGE SWALE OVERFLOW ELEVATION.
- ⑪ INSTALL UNDERDRAIN PER DETAIL 6/L12.

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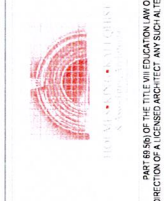
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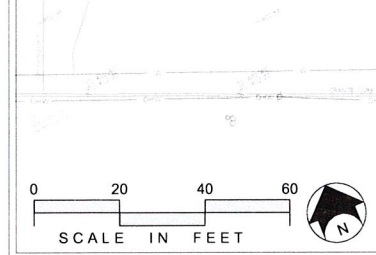
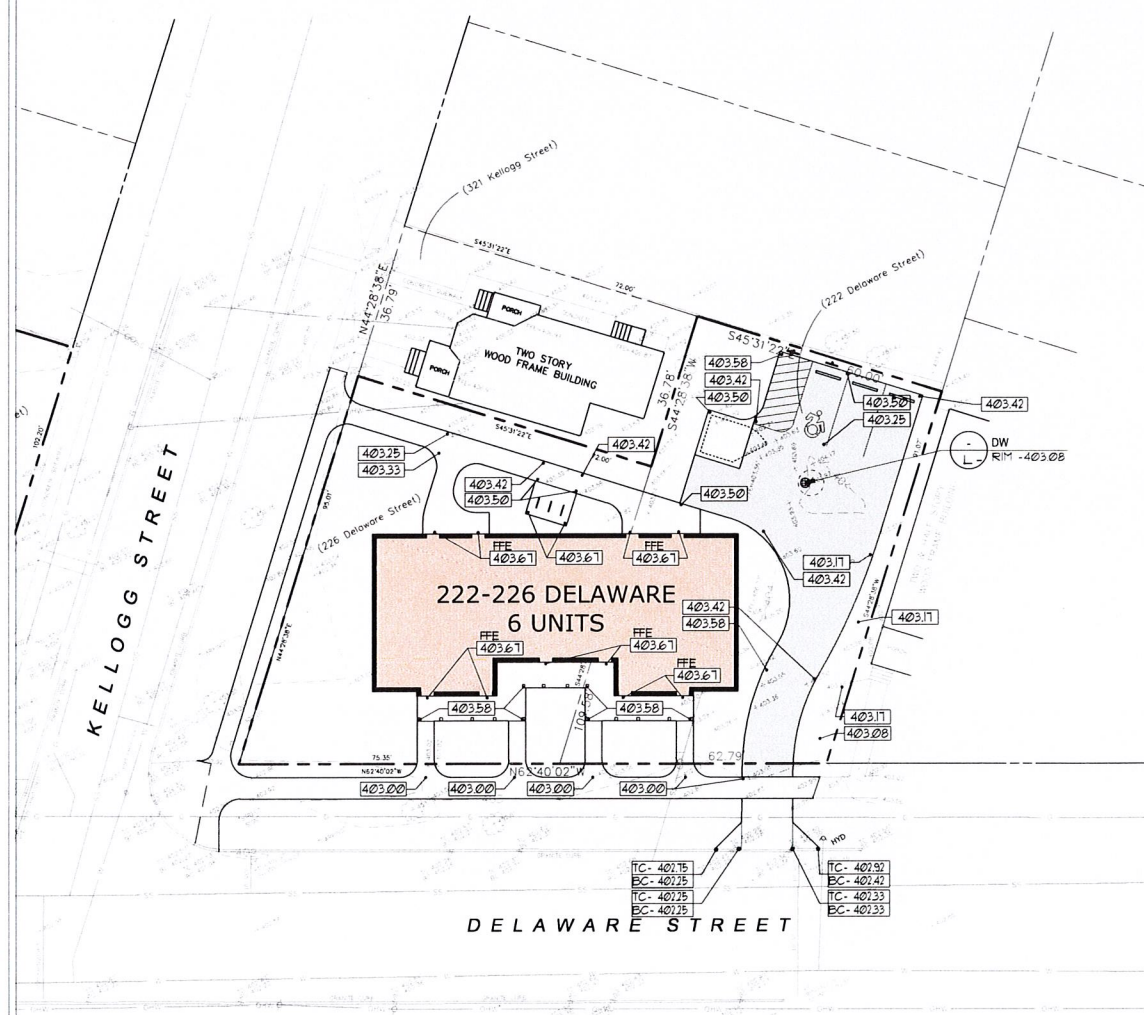
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**SITE GRADING, DRAINAGE  
AND UTILITIES PLAN -  
222-226**

SITE TWO OF TWO  
**L2.1**



@PLTDATE @DWGFULLNAMEEXT

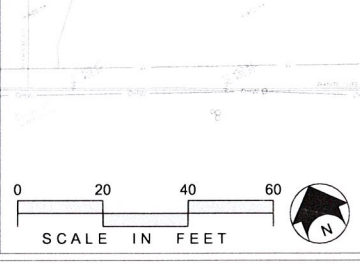
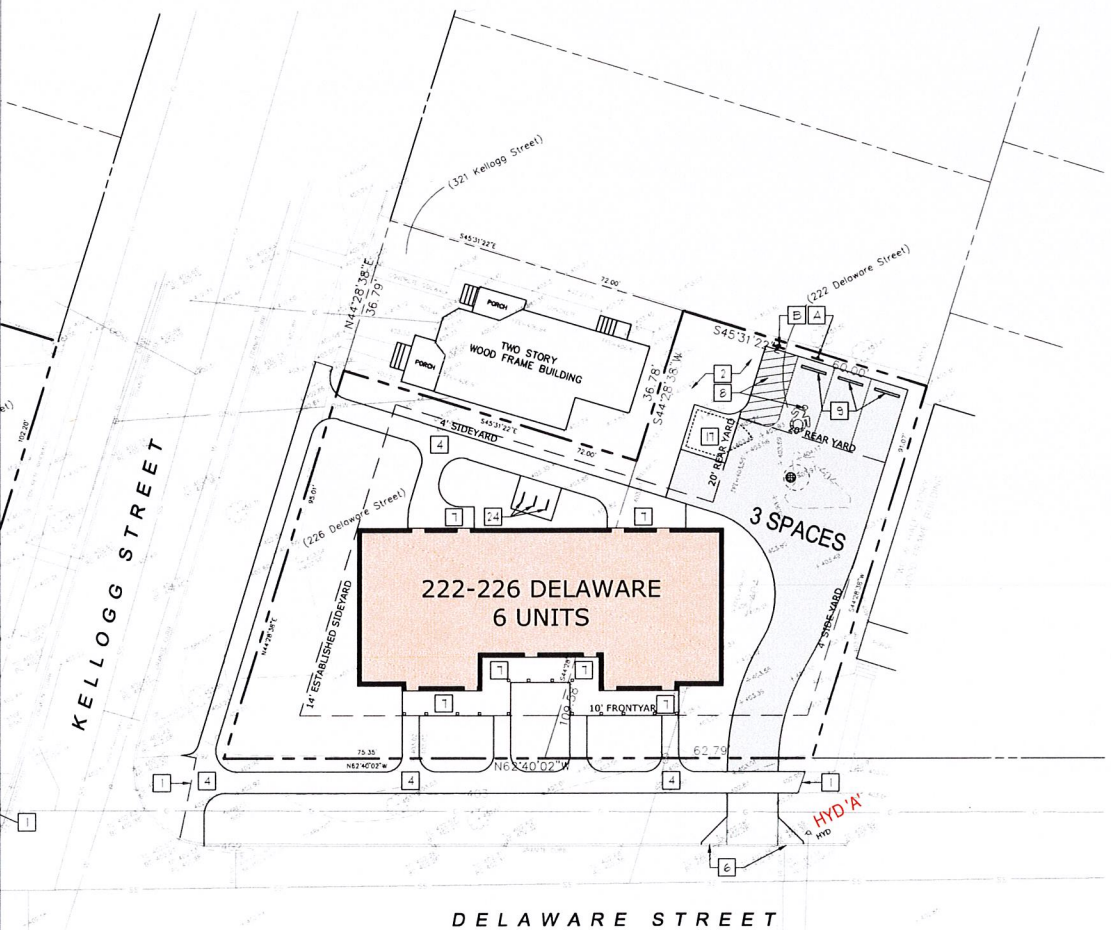


SIGN SCHEDULE			
KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NYSDOT MUTCD NO. / COMMENTS
A	 RESERVED PARKING w/ HANDICAP SYMBOL	12' x 18' 7'-0" HT.	SIGN NO. P4-6 COLORS.
	 VAN ACCESSIBLE	12' x 6' 6'-6" HT	SIGN NO. R1-8a COMMENTS: PROVIDE TWO SIGNS
B	 NO PARKING ANY TIME	12' x 18' 7'-0" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER

NOTES:  
 1) REFER TO TRAFFIC CONTROL SIGN DETAIL 14(L1) FOR INSTALLATION.  
 2) ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NYSDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

- ### SITE CONSTRUCTION NOTES
- MEET EXISTING LINE and GRADE.
  - ASPHALT PARKING PAVEMENT PER DETAIL.
  - NYSDOT ASPHALT ROW PAVEMENT PER DETAIL.
  - CONCRETE SIDEWALK PAVEMENT PER DETAIL.
  - INTEGRAL CONCRETE SIDEWALK AND CURB PER DETAIL.
  - CURB ENDING/TAPER PER DETAIL 10(L1). TYPICAL FOR ALL RAMPS AND CURB ENDINGS.
  - CONCRETE DOELING PER DETAIL 10(L1) AT ALL BUILDING PADS - TYPICAL.
  - RESERVED PARKING MARKINGS PER DETAIL.
  - INSTALL CURB STOP PER DETAIL. ALL PARKING SPACES.
  - PROVIDE 4" WIDE WHITE PAINT LINES AT 45' ± 2' O.C. - TYPICAL.
  - INSTALL BARK MULCH SURFACING PER DETAIL.
  - LA CASITA BUILDING TO BE SPECIFIED BY OWNER.
  - LIGHT POLE SHOWN FOR COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS.
  - APPROXIMATE LOCATION FOR CENTRO BUS STOP. DIMENSIONS PER CENTRO STANDARDS.

- INSTALL SURFACEPLAY SYNTHETIC CARPET AND EPF SHOCK ABSORBING PERFORMANCE LAYER TIERED PLAYGROUND SAFETY SURFACING SYSTEM OR APPROVED EQUAL. PER MANUFACTURER'S RECOMMENDATIONS.
- INSTALL CONCRETE CURB PER DETAIL.
- WASTE / RECYCLING ENCLOSURE PER DETAIL.
- INSTALL ACCESSIBLE RAMP PER DETAIL.
- SNOW STORAGE AREA.
- INSTALL 4 FT. WIDE BLACK VINYL COATED CHAIN LINK SWING GATE PER DETAIL.
- INSTALL 4 FT. HIGH BLACK VINYL COATED CHAIN LINK FENCE PER DETAIL. GRADING TO BE ADJUSTED ALONG BOTTOM OF FENCE TO ALLOW NO GREATER THAN A 4-INCH GAP.
- MECHANICAL UNITS SHOWN FOR COORDINATION PURPOSES ONLY. REFER TO MEP DRAWINGS FOR SIZE AND EXACT LOCATION.
- INSTALL 6 FT. LONG DUMOR BENCH 105-60PL PER DETAIL.
- INSTALL DERO BIKE RACK PER DETAIL.
- INSTALL (18) METAL RAISED BED PLANTERS PER SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- INSTALL TRAFFIC CONTROL SIGN PER DETAIL.



### ZONING CHART - 226 DELAWARE

226 DELAWARE  
 3,500 SF 3 STORY TOWNHOUSE - 6 UNITS

093-10-260 222 DELAWARE ST  
 093-10-270 226 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 12,061 SF / 271 ACRES  
 ZONE: R5 HIGH DENSITY RESIDENTIAL - REZONE SYRACUSE 3/23

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER SIDE YARD	SEE BELOW	14'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD SHOULD NOT BE LESS THAN 15% OF TOTAL WIDTH (NARROWER FRONTAGE) OF THE LOT, BUT NEED NOT EXCEED ESTABLISHED FRONT SETBACK LINE FOR SIDE STREET.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	50'	132'
MAX. STRUCTURAL	40%	29%
MAX. PARKING	40%	19%
PARKING	REQUIRED	PROVIDED
5 SPACE / DU	3	3

ACCESS  
 BUS STOPS ON KELLOGG STREET AND DELAWARE STREET ARE LOCATED DIRECTLY ADJACENT TO THE SITE, INCLUDE SY 921, SY 966, SY 912, SY 914, AND SY 926.

### ZONING CHART - 112 DELAWARE

112 DELAWARE  
 4,400 SF 3 STORY TOWNHOUSE - 8 UNITS

093-01-270 112 DELAWARE ST  
 093-01-280 116-118 DELAWARE ST  
 093-01-290 122-24 DELAWARE ST  
 093-01-300 128 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 28,919 SF / 641 ACRES  
 ZONE: R5 HIGH DENSITY RESIDENTIAL - REZONE SYRACUSE 3/23

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	50'	194'
MAX. STRUCTURAL	40%	16%
MAX. PARKING	40%	14%

PARKING	REQUIRED	PROVIDED
5 SPACE / DU	4	5

ACCESS  
 BUS STOPS ON SY 921, SY 966, AND SY 914 ARE LOCATED WITHIN 150' OF THE SITE. ADDITIONAL STOPS ARE LOCATED WITHIN 150' AT THE CORNER OF DELAWARE AND WEST ONONDAGA STREET.

**PROGRESS SET  
 NOT FOR  
 CONSTRUCTION**


REV NO.	DATE	DRAWN BY	DESCRIPTION

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JOB NO: 22071  
 DATE: 07/25/23  
 DRAWN BY: CRF  
 SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
**222 - 226 DELAWARE STREET**  
 SYRACUSE, NEW YORK

**HOLMES - KING - KALLQUIST**  
 & Associates, Architects, LLP  
 575 NORTH SALINA STREET, SYRACUSE, NY 13208  
 PH: (315) 476-8371 FAX: (315) 476-5420  
 WWW.HKARCHITECTS.COM



@PLTDATE @DWGFULLNAMEEXT



**222-226 DELAWARE PLANTING**

- EVERGREEN SHRUB SCREENING AT WASTE ENCLOSURE
- (3) FOUNDATION PLANTINGS AT DOORWAYS
- (1) STREETSCAPE PLANTINGS AT WALK JUNCTIONS
- (2) FLOWERING TREES
- (1) STREET TREE

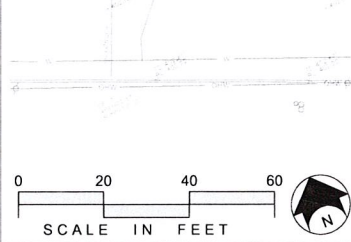
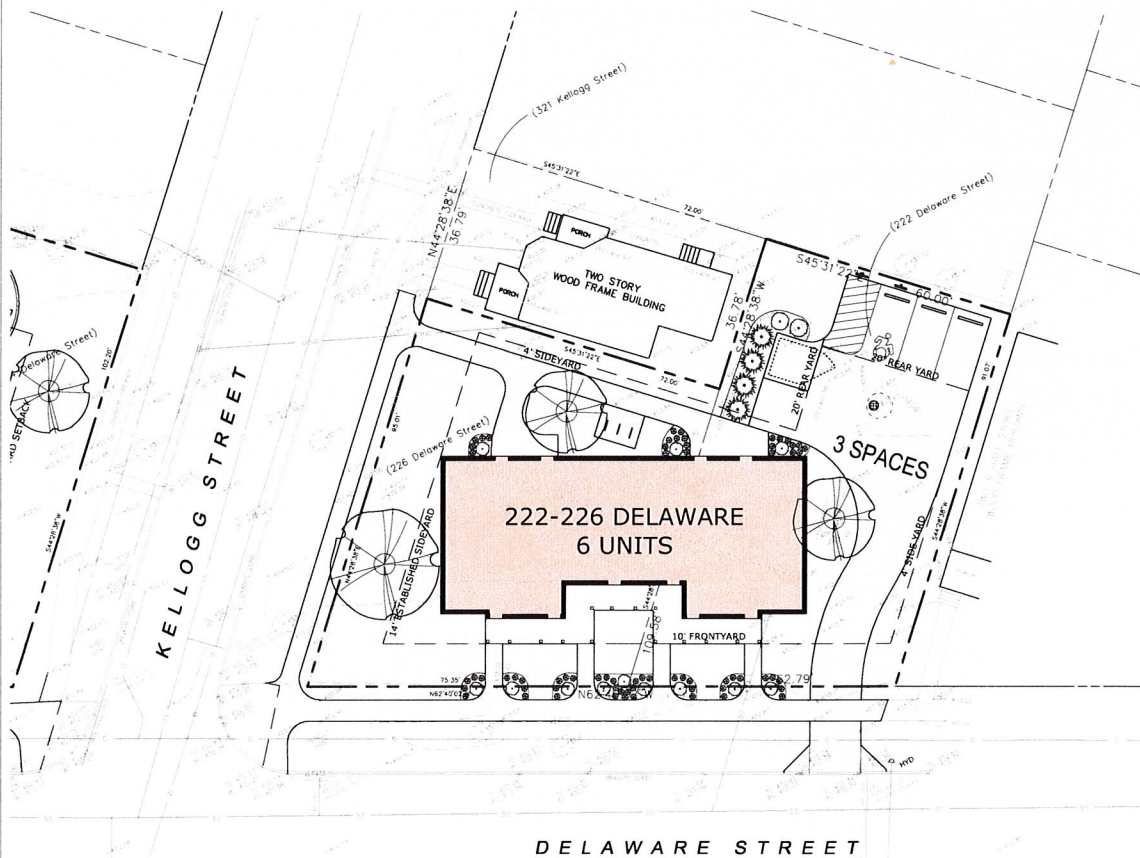


**PROGRESS SET  
NOT FOR  
CONSTRUCTION**

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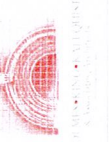
JOB NO: 22071  
DATE: 07/25/23  
DRAWN BY: CRF  
SCALE: AS NOTED



@PLT:DATE @DWG:FULLNAMEEXT

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
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SYRACUSE, NEW YORK

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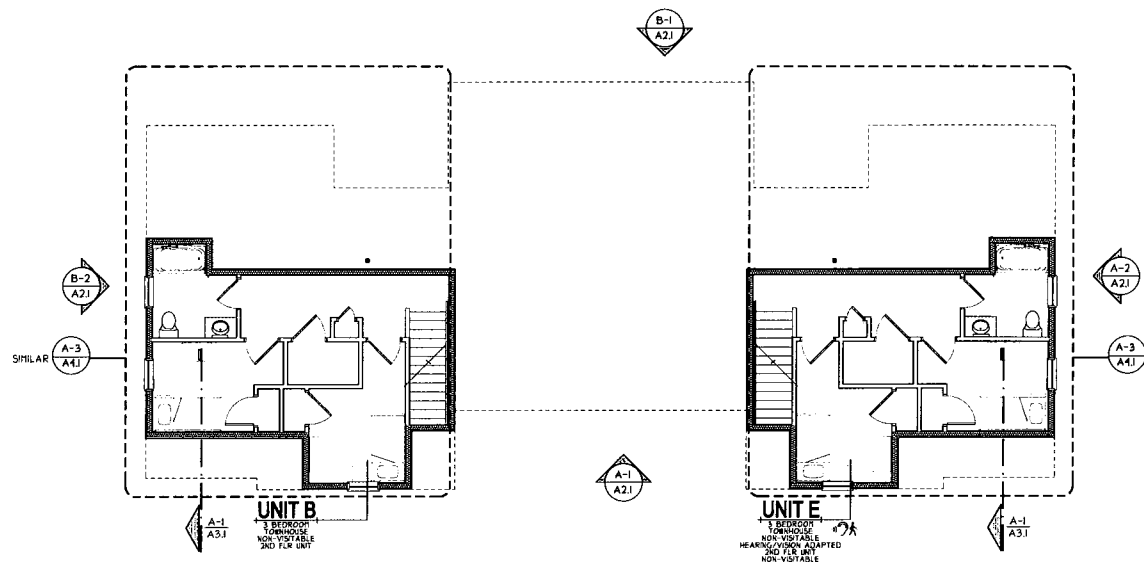
ANY PART OF THE TITLE OR DESCRIPTION ANY PART OF THE TITLE OR DESCRIPTION SHALL BE NOTED, SEALED AND SIGNED BY THE ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PRC § 8609

**SITE PLANTING  
PLAN - 222-226**

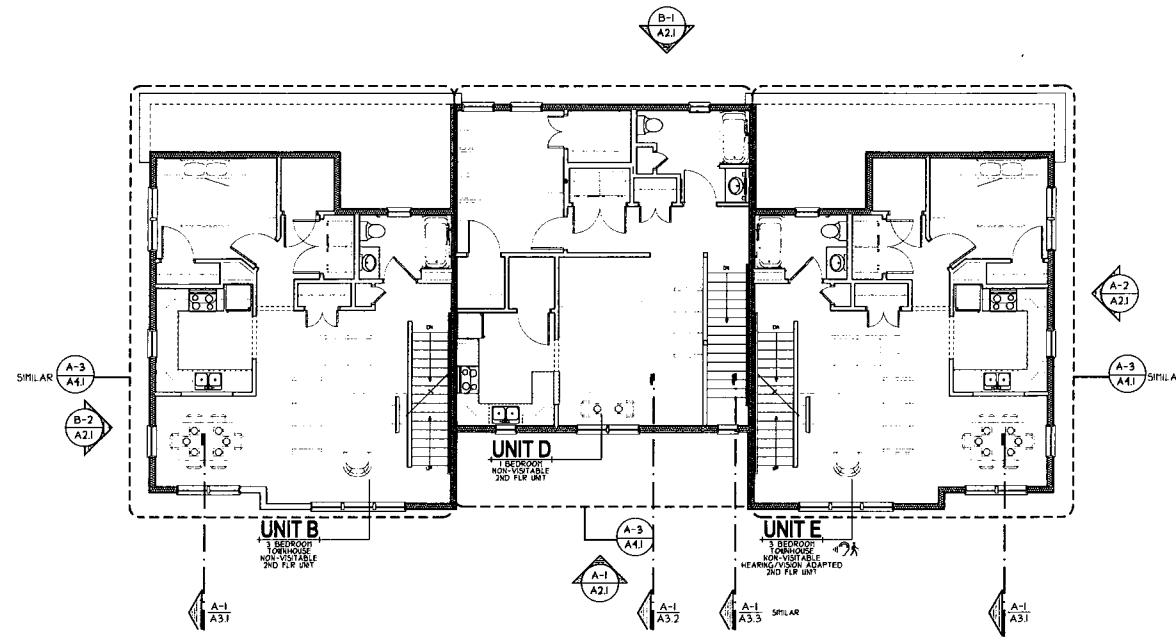
SITE TWO OF SIX  
**L4.1**



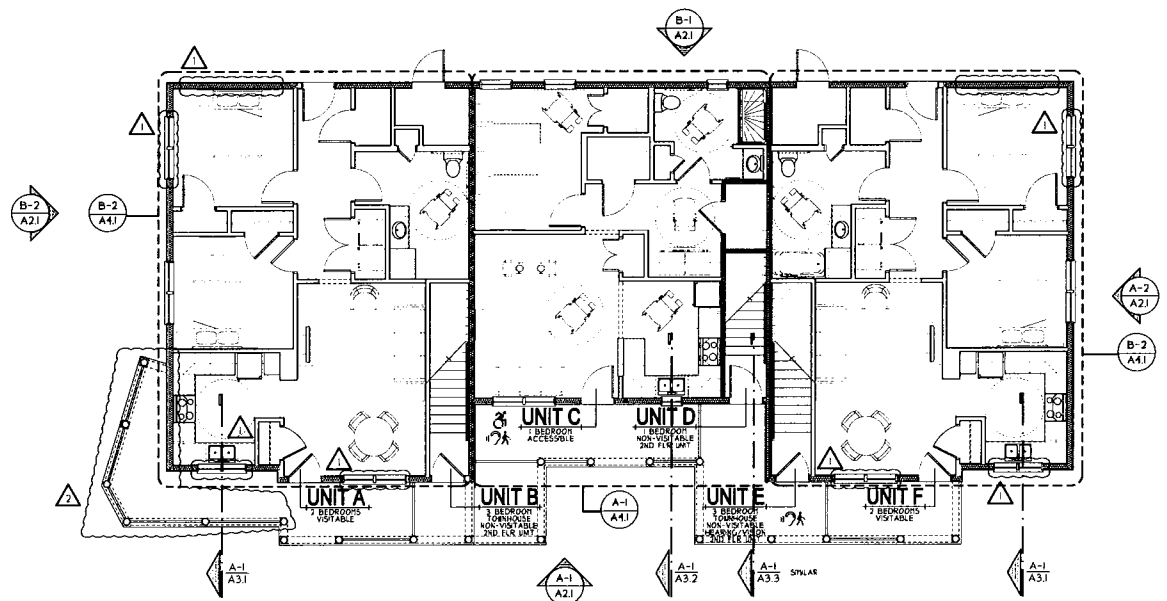
10/10/2023 5:40B \UMPHR\2023\22071 La Liga Westside Village\Scheme\222-226 Delaware\Plan\A1.1 222 Plans.dwg



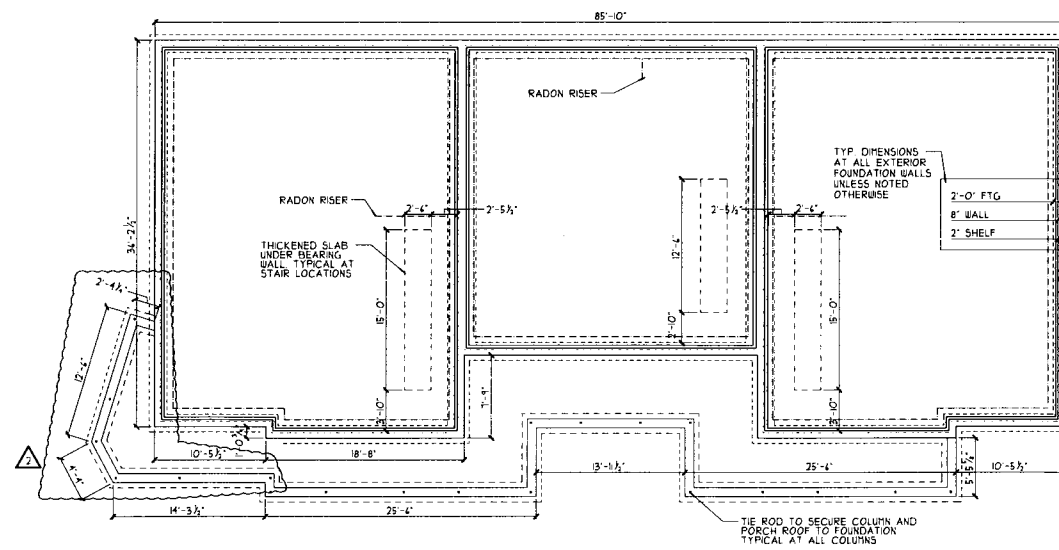
THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
A-2  
AU



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
B-1  
AU



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
A-2  
AU



FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"  
A-1  
AU

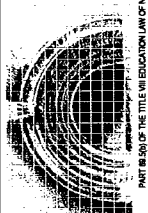
REV	DATE	DRAWN BY	DESCRIPTION
1	10/23/23	HCM	REVISIONS TO FOUNDATION
2	10/23/23	HCM	REVISIONS TO FLOOR PLAN

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	JOB NO: 22071
	DATE: 10/23/23
	DRAWN BY: MCM
	SCALE: AS NOTED

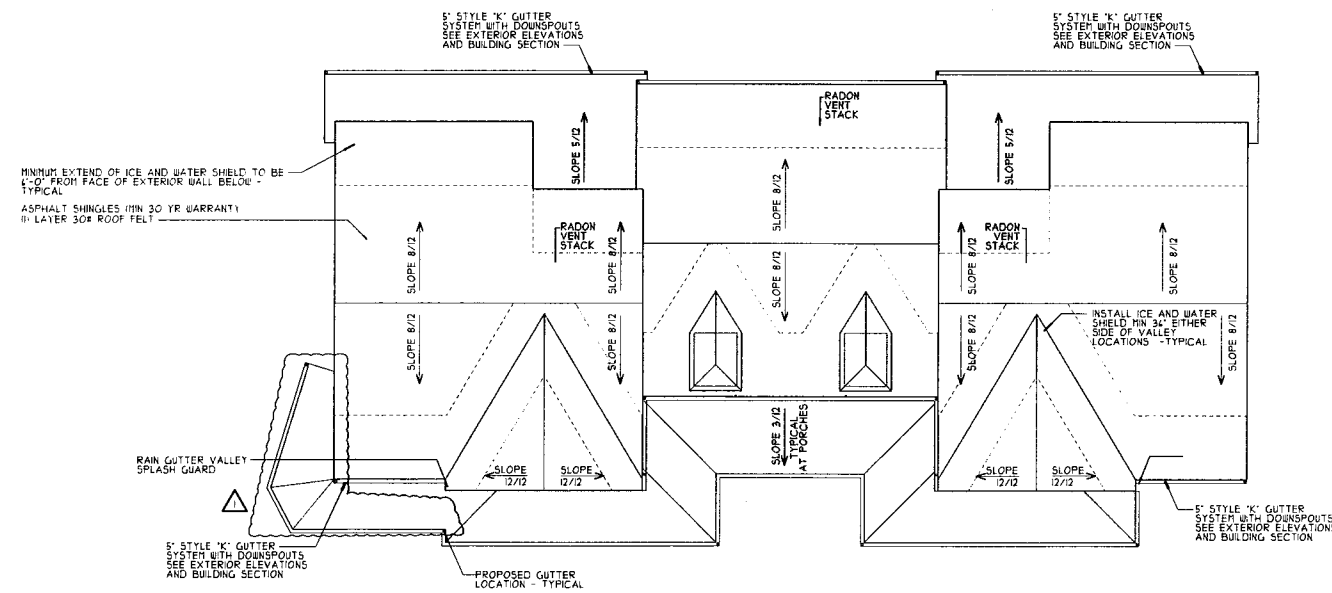
SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
222-226 DELAWARE STREET  
SYRACUSE, NEW YORK

HOLMES - KING - KALLQUIST  
& Associates, Architects, LLP  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
www.hkkarchitects.com



FLOOR PLANS

**A1.1**



**ROOF NOTES:**

1. PROVIDE FULL COVERAGE WITH ICE AND WATER SHIELD AT LOWER ROOF AREAS. INSTALL ICE AND WATER SHIELD MIN 8" UP EXTERIOR WALL - TYPICAL
2. OVERBUILD GABLES AT PORCH ROOF SIZE TO DEFLECT WATER FROM SIDEBALK BELOW. TYPICAL AT FRONT AND REAR PORCHES
3. ASPHALT SHINGLES (30 YRS.) 5/8" APA RATED EXTERIOR PLYWOOD DECKING SPAN RATING 24/16 WITH 1" CLIPS ICE AND WATER SHIELD TO COVER ENTIRE ROOF LAP BUILDING WRAP UP WALLS. MIN 18" PROVIDE MINIMUM 6" HIGH FLASHING AT WALL/ROOF INTERSECTION
4. INSTALL METAL ROOF FLASHING MINIMUM OF 8" VERTICALLY AND 12" HORIZONTALLY AT ROOF TO WALL JUNCTIONS

REV. No.	DATE	DRAWN BY	DESCRIPTION
1	10/23/23	MCM	REVISIONS TO PERMITS
2	10/23/23	MCM	PERMITS BY PROJECT TO PROCEED

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JOB NO. 22071  
DATE: 10/23/23  
DRAWN BY: MCM  
SCALE: AS NOTED

SCHMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
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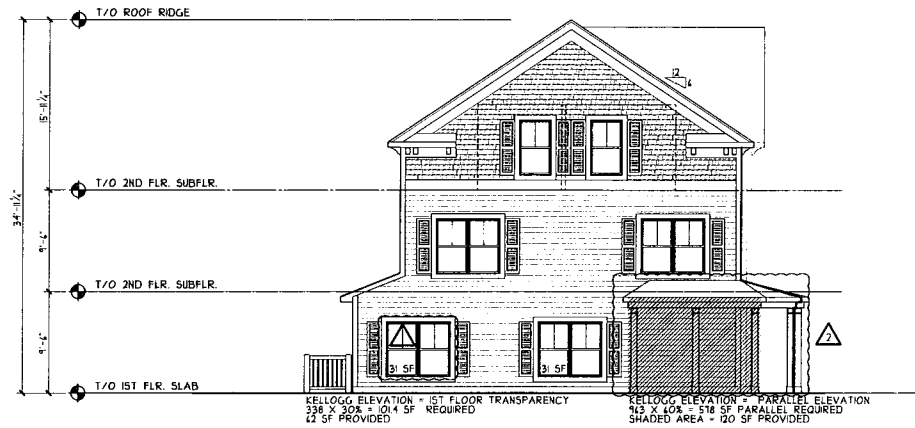


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FLOOR PLANS

**A1.2**

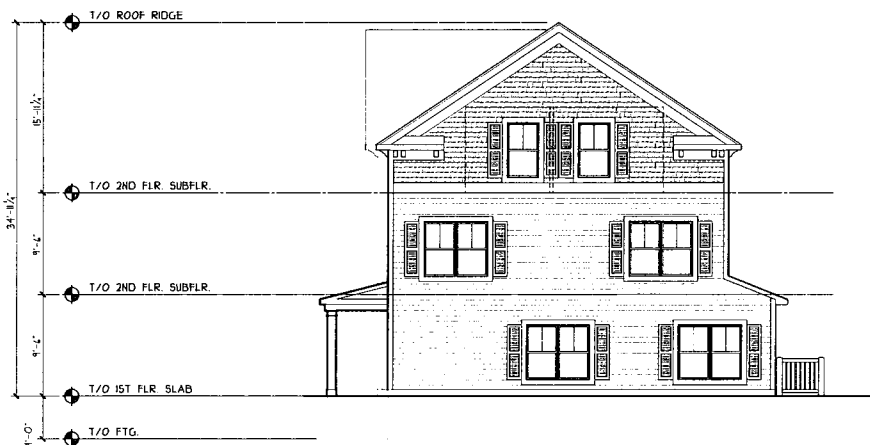




0 4 8 12  
SIDE ELEVATION (A-1)  
SCALE: 1/8" = 1'-0"



0 4 8 12  
REAR ELEVATION (B-1)  
SCALE: 1/8" = 1'-0"



0 4 8 12  
SIDE ELEVATION (A-2)  
SCALE: 1/8" = 1'-0"



0 4 8 12  
FRONT ELEVATION (A-1)  
SCALE: 1/8" = 1'-0"

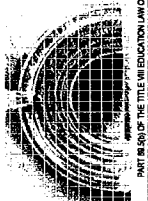
REV	DATE	DRAWN BY	DESCRIPTION
1	10/23/23	HCM	PRELIMINARY REQUIREMENTS
2	10/23/23	HCM	REVISIONS TO PRELIMINARY

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JOB NO. 22071  
DATE: 10/23/23  
DRAWN BY: HCM  
SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
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EXTERIOR ELEVATIONS

A2.1

Project:	V-23-16
Date:	12/7/2023

**Short Environmental Assessment Form  
Part 2 - Impact Assessment**

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Project:	V-23-16
Date:	12/7/2023

**Short Environmental Assessment Form  
Part 3 Determination of Significance**

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Syracuse City Planing Commission	12/7/2023
Name of Lead Agency	Date
Steven Kulick	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**

City of Syracuse

**Parcel History**

01/01/1900 - 12/01/2023

Tax Map #: 092.-10-26.0

Owners: GSPDC, MICHAEL JONES

Zoning: RB

Address	Date	Transaction	Transaction Type	Status	Description
222 Delaware St	04/11/12	Inspection	Complaint Inspection	Fail	
222 Delaware St	04/11/12	Violation	2010 IMC - Section 505.1- General	Closed	
222 Delaware St	04/16/12	Inspection	Complaint Re-Inspection	Fail	
222 Delaware St	08/15/13	Inspection	Complaint Re-Inspection	Pass	
222 Delaware St	08/22/13	Completed Complaint	Property Maintenance- Int	Completed	2012-07632   no water
222 Delaware St	03/04/15	Permit Application	Electric (Meter Set)	Issued	18364   Meter Set Acct # 8049999259
222 Delaware St	03/05/15	Inspection	Inspector Notification	In Progress	
222 Delaware St	03/16/15	Inspection	Progress Inspection	Pass	
222 Delaware St	03/30/15	Inspection	Final Inspection	Pass	
222 Delaware St	03/31/15	Completed Permit	Electric (Meter Set)	Completed - No	18364   Meter Set Acct # 8049999259   Completed #18364
222 Delaware St	04/25/15	Completed Complaint	Illegal Trash Set Out	Completed	2015-08957   code violation
222 Delaware St	08/15/16	Completed Complaint	Blue Bin: request new BB	Completed	2016-22483   2 blue bins
222 Delaware St	09/13/16	Inspection	Complaint Inspection	Fail	
222 Delaware St	09/13/16	Violation	SPCC - Section 27-72 (f) - Overgrowth	Closed	
222 Delaware St	09/20/16	Completed Complaint	Overgrowth: Private, Occ	Completed	2016-26938
222 Delaware St	09/20/16	Inspection	Complaint Re-Inspection	Pass	
222 Delaware St	01/25/17	Periodic Inspection	Rental Registry	Invalid - failed to	
222 Delaware St	04/05/18	Complaint	Vacant House	v Open	V2018-0134   Vacant( landbank property)
222 Delaware St	04/05/18	Inspection	Complaint Inspection	Fail	
222 Delaware St	04/05/18	Violation	SPCC - Section 27-31 (c) Structural members	Open	



City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
222 Delaware St	04/05/18	Violation	SPCC - Section 27-32 (d) Protective coating for wood surfaces	Open	
222 Delaware St	04/05/18	Violation	SPCC - Section 27-32 (d) Protective coating for wood surfaces	Open	
222 Delaware St	06/14/18	Completed Complaint	Illegal Trash Set Out	Completed	2018-17614   code violation
222 Delaware St	03/05/19	Inspection	Vacant Property - Routine Inspection	No Progress	
222 Delaware St	02/24/20	Inspection	Complaint Inspection	Fail	
222 Delaware St	02/24/20	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
222 Delaware St	04/02/20	Inspection	Complaint Re-Inspection	No Progress	
222 Delaware St	04/09/20	Completed Complaint	Trash/Debris-Private, Occ	Completed	2020-03144
222 Delaware St	04/09/20	Inspection	Vacant Property - Routine Inspection	No Progress	
222 Delaware St	04/09/20	Inspection	Vacant - New Complaint Inspection	Fail	
222 Delaware St	04/09/20	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
222 Delaware St	04/09/20	Inspection	Complaint Re-Inspection	N/A	
222 Delaware St	04/17/20	Inspection	Vacant Property - Routine Inspection	No Progress	
222 Delaware St	05/07/20	Inspection	Vacant Property - Routine Inspection	No Progress	
222 Delaware St	05/15/20	Inspection	Vacant Property - Routine Inspection	Pass	
222 Delaware St	06/12/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	06/12/20	Violation	SPCC - Section 27-72 (f) - Overgrowth	Closed	
222 Delaware St	06/12/20	Inspection	Vacant Property - Routine Inspection	Vacant; New	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
222 Delaware St	06/22/20	Inspection	Vacant Property - Routine Inspection	No Progress	
222 Delaware St	07/29/20	Inspection	Vacant Property - Routine Inspection	Pass	
222 Delaware St	07/29/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	08/26/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	08/26/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	09/23/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	09/23/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	10/21/20	Completed Complaint	Trash/Debris-Private, Occ	Completed	2020-05844   Excessive trash and debris
222 Delaware St	10/21/20	Inspection	Vacant Property - Routine Inspection	Fail	
222 Delaware St	10/21/20	Inspection	Vacant Property - Routine Inspection	Pass	
222 Delaware St	12/14/20	Inspection	Complaint Re-Inspection	Vacant & Secured	
222 Delaware St	03/11/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
222 Delaware St	06/22/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
222 Delaware St	07/21/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
222 Delaware St	08/25/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
222 Delaware St	09/14/21	Inspection	Complaint Inspection	Fail	
222 Delaware St	09/14/21	Violation	SPCC - Section 27-72 (f) - Overgrowth	Closed	
222 Delaware St	09/23/21	Inspection	Complaint Re-Inspection	No Progress	
222 Delaware St	09/27/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
222 Delaware St	10/07/21	Inspection	Complaint Re-Inspection	Pass	
222 Delaware St	10/22/21	Inspection	Complaint Re-Inspection	N/A	
222 Delaware St	10/28/21	Inspection	Complaint Re-Inspection	Vacant & Secured	



City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
222 Delaware St	11/10/21	Completed Complaint	Vacant House	Seasonal	2021-21990   Overgrowth
222 Delaware St	11/10/21	Inspection	Complaint Re-Inspection	N/A	
222 Delaware St	04/12/22	Inspection	Complaint Re-Inspection	<None>	
222 Delaware St	05/24/22	Inspection	Complaint Inspection	Fail	
222 Delaware St	05/24/22	Violation	SPCC - Section 27-72 (f) - Overgrowth	Closed	
222 Delaware St	05/26/22	Inspection	Complaint Re-Inspection	Vacant & Secured	
222 Delaware St	05/31/22	Inspection	Complaint Re-Inspection	No Progress	
222 Delaware St	06/23/22	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	07/13/22	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	08/12/22	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	09/13/22	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	10/11/22	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	11/08/22	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	12/06/22	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	01/03/23	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	04/13/23	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
222 Delaware St	05/05/23	Completed Complaint	Vacant House	Seasonal	V2022-0360   Vacant Overgrowth
222 Delaware St	06/05/23	Periodic Inspection	Vacant Property Registry	VPR - Due	
222 Delaware St	06/20/23	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
222 Delaware St	08/30/23	Project	Resubdivision	Approved	R-23-52   Merge two lots (222& 226) Delaware St into a new lot for 6 units of townhouse apartment. Companion site plan review project-- LaLiga Westside Village  Area: 0.277 acre (12066 sqft)
222 Delaware St	10/05/23	Project	Minor Site Plan Review	Active	MiSPR-23-09   6-unit multi-family building
222 Delaware St	11/01/23	Project	Variance (Area)	Active	V-23-16   Variance to deviate from ReZone Art. 2, Sec. 2.18A(1)a and ReZone Art. 2, Sec. 2.18A(2)a



## Parcel History

01/01/1900 - 12/01/2023

Tax Map #: 092.-10-27.0

Owners: GSPDC

Zoning: RB

Address	Date	Transaction	Transaction Type	Status	Description
226 Delaware St & Kellogg St	07/17/12	Inspection	Complaint Inspection	<None>	
226 Delaware St & Kellogg St	08/06/12	Completed Complaint	Overgrowth: Private, Occ	Completed	2012-16041   vacant lot needs to be cut and cleaned
226 Delaware St & Kellogg St	08/30/16	Project	Vacant Lot	Active	VL-16-163   Recommend: Convey to Neighbor
226 Delaware St & Kellogg St	09/01/23	Project	Resubdivision	Approved	R-23-52B   Merge two lots (222& 226) Delaware St into a new lot for 6 units of townhouse apartment. Companion site plan review project-- LaLiga Westside Village



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: GSPDC

From: Pat Voorheis, Zoning Planner

Date: 12/01/2023

Re: Variance (Area) V-23-16  
222 Delaware St, Syracuse, 13204

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

These comments will also be forwarded to the BZA for their consideration. Please modify the proposal and/or provide written comments as maybe necessary to address the comments and submit to Pat Voorheis Syracuse Zoning Office, Room 500, City Hall Commons, Syracuse, NY 13202, or [Zoning@syr.gov](mailto:Zoning@syr.gov) as soon as possible.

Please contact the Pat Voorheis, Syracuse Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Board of Zoning Appeals	Pending	11/01/2023		
Zoning Planner	Pending	11/01/2023		
Zoning Administrator	Pending	11/01/2023		
DPW Street Repair - Zoning	Pending	11/01/2023		
DPW Commissioner - Zoning	Pending	11/01/2023		
DPW Sewers - Zoning	Internal Review Complete	11/01/2023	Vinny Esposito	A SWPPP must be provided and approved for each site prior to construction.
DPW Sidewalks - Zoning	Pending	11/01/2023		
DPW Traffic Control- Zoning	Internal Review Complete	11/14/2023	Charles Gafrancesco	11.1.23 Pending based on contractor submitting and following an MUTCD approved WZTP if vehicular or pedestrian traffic is affected in any way.  11.8.23 - Applicant must update traffic control plan to include both vehicular and pedestrian traffic. Plans must be site specific. NYS Standard Sheets are not acceptable. - Ped detour/diversion must incorporate advance notice with R9-11 directional signage (sidewalk closed ahead, cross here) at closest controlled or marked crossings, and R9-9 (sidewalk closed) at either sidewalk approach at the edge of work areas.



Peds are not to be directed into the roadway at uncontrolled areas, or directed to cross where ADA corners are not present unless suitable accommodations are made by the contractor and approved by City.

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**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>V-23-17</i></b>	<b><i>Staff Report – December 7<sup>th</sup>, 2023</i></b>
<b><i>Application Type:</i></b>	Area Variance
<b><i>Summary of Proposed Action:</i></b>	The applicant proposes to construct a new multi-unit apartment building with 7 dwelling-units at 412-16 Delaware Street.
<b><i>Project Address:</i></b>	412-16 Delaware Street, Syracuse New York 13204
<b><i>Owner/Applicant</i></b>	Elisa Morales (Owner/Applicant)
<b><i>Existing Zone District:</i></b>	High Density Residential, R5 Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the North lie within a Low Density Residential, R2 Zone district. Properties to the South, West, and East, lie with in High Density Residential, R5 zone districts.
<b><i>Companion Application(s)</i></b>	R-23-55, A Resubdivision to combine 2 lots located at 406 & 412 Delaware Street, approved by the CPC on 10/10/2023. MiSPR-23-10, Minor Site Plan Review, to construct a new multi-unit apartment building with 7 dwelling units.
<b><i>Scope of Work:</i></b>	New construction on the site includes construction of 7 dwelling units, 4 off-street parking spaces, and site landscaping.
<b><i>Staff Analysis:</i></b>	<u>Pros:</u> The proposed project conforms to the purpose of High Density Residential, R5 zone district. <u>Cons:</u> The proposed use and structure are inconsistent with neighborhood characteristics. Neighboring properties are single-family or two-family dwelling units.
<b><i>Zoning Procedural History:</i></b>	<u>412-16 Delaware St:</u> (new lot after resubdivision): R-23-55, A Resubdivision to combine 2 lots located at 406 & 412 Delaware Street, approved by the CPC on 10/10/2023. <u>406 Delaware St:</u> No zoning history, vacant lot since 2003. <u>412 Delaware St:</u> No zoning history, vacant lot since 2022.
<b><i>Summary of Zoning History:</i></b>	The subject parcel was combined from two (2) lots. The resubdivision was approved on 10/10/2023. There is no other zoning history on the parcel.
<b><i>Code Enforcement History:</i></b>	None
<b><i>Zoning Violations:</i></b>	Proposed plans will be subject to Board of Zoning Appeals decision on an Area variances to violate the following Zoning provisions: ReZone, Art. 2, Sec. 2.18A(1)a, to have less than 60% of the primary façade be parallel with the primary street (Delaware St.).
<b><i>Summary of Changes:</i></b>	Not a continued application
<b><i>Property Characteristics:</i></b>	The subject property is irregular in shape, with 130.27 feet of frontage on Delaware Street, 104.13 feet of frontage on Grace Street and a lot depth of 129.45 feet.
<b><i>SEQR Determination:</i></b>	Pursuant to the New York State Environmental Quality Review Regulations, the proposal is an Unlisted Action.
<b><i>Onondaga County Planning Board Referral:</i></b>	The proposal does not meet the referral criteria for Onondaga County Planning Board pursuant to GML §239-l, m and n.



**V-23-17**

**Applicant Submittals:** The application submitted the following in support of the proposed project:

- Area Variance Application
- Short Environmental Assessment Form Part 1
- EAF Mapper Summary Report; dated: 01/24/2023
- Site Photographs
- Schematic Drawings for La Liga Westside Village 406-412 Delaware Street, Syracuse New York. Title Sheet, T1.1. Prepared by Holmes-King Kallquist & Associates, Architects, LLP; dated:10/23/23; scaled as noted.
- Resubdivision Plat for lots 29, and 30 of City Block 323 (Kellog Tract) Into New Lot 29A of City Block 323 (to be known as 412-416 Delaware Street,) prepared by C.T. Male Associates; dated: 06/26/2023; scaled as noted.
- Overall Plan and Neighborhood Plan (Sheet L1.0), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 4/20/2023; scaled as noted.
- Site Preparation Plan (Sheet L1.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Site Grading, Drainage, and Utilities Plan (Sheet L2.1), prepared by Holmes-King Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Site Layout Plan (Sheet L3.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Site Planting Plan (Sheet L4.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 07/25/2023; scaled as noted.
- Floor Plans and Roof Plans (Sheet A1.0 through A1.2), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 10/23/2023; scaled as noted.
- Exterior Elevations (Sheet A2.1), prepared by Holmes-Kinh Kallquist & Associates, Architects, LLP; dated: 10/23/2023; scaled as noted.

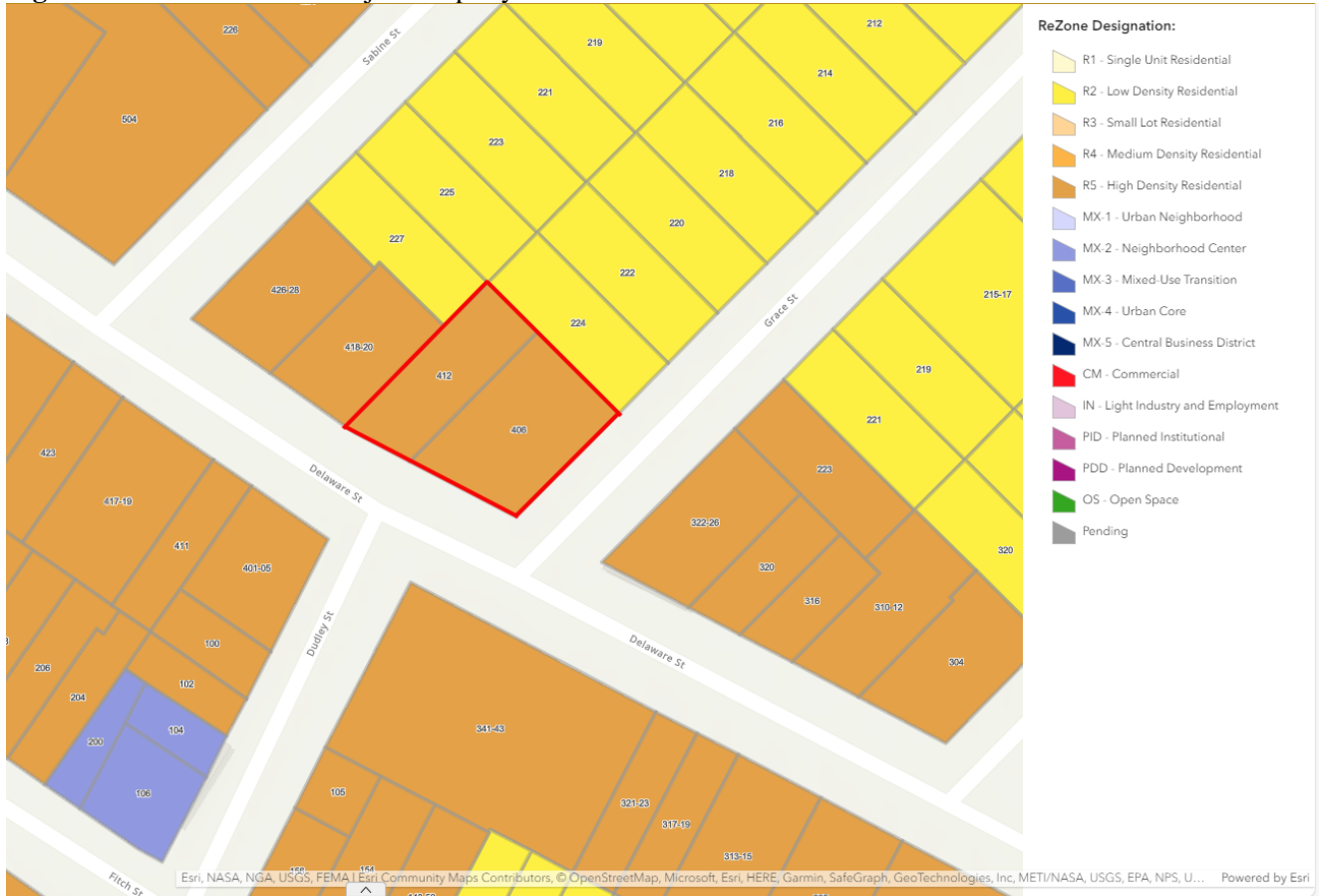
**Attachments:**

Area Variance Application  
Intent of Lead Agency Letter  
Applicant Submittals

Short Environmental Assessment Form Part 2 & Part 3  
Code Enforcement History  
IPS Comments from City Departments

**Context Maps:**

**Figure 1. Zone District of Subject Property**

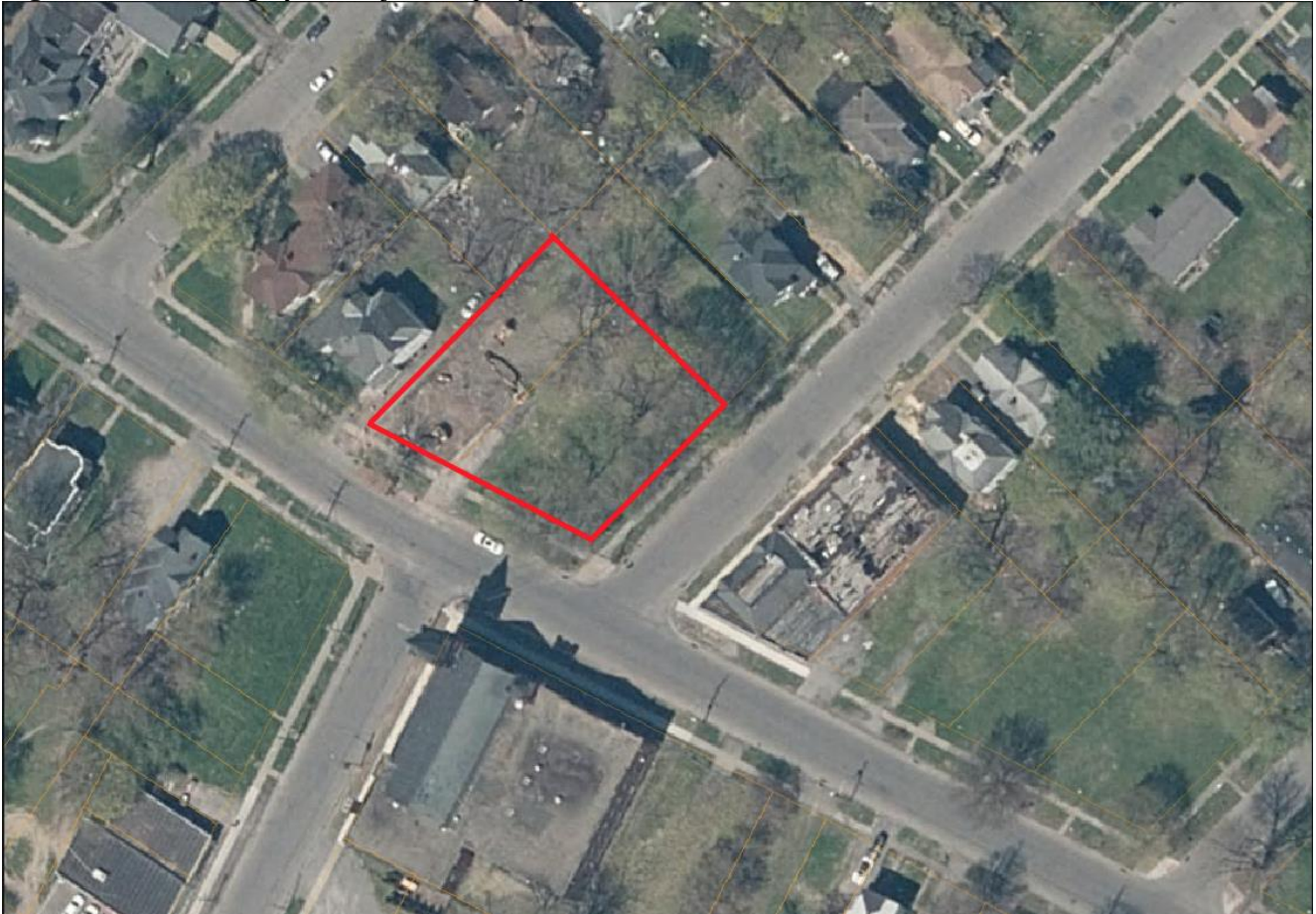


Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map



**Figure 2.** Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syrgov.net

### For Office Use Only

Zoning District: \_\_\_\_\_  
Application Number: V-\_\_\_\_\_ - \_\_\_\_\_  
Date: \_\_\_\_\_

## Variance Application

*This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed or emailed submissions will not be processed. If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

### General Project Information

Business/project name: La Liga Westside Village		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 406 and 412 Delaware Street		
Lot numbers: 092.-08-26.0 and -27.0	Block number:	Lot size (sq. ft.) 16,413
Current use of property: Residential		Proposed: Multi-family residential dwelling.
Current number of dwelling units (if applicable): 0 units. Vacant lot		Proposed: 7 apartments
Current hours of operation (if applicable):		Proposed:
Current onsite parking (if applicable): None		Proposed: 4 req'd/4provided
Zoning (base and any overlay) of property: R5 – high density		
Companion zoning applications (if applicable, list any related zoning applications):		
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input type="checkbox"/> Site changes		
Variance requested (check one and cite the section of the Zoning Ordinance that a variance is requested): <input type="checkbox"/> Use variance <input checked="" type="checkbox"/> Area variance		
Nature and extent of variance requested (attach additional pages if necessary): Modifications to Article 1.18 (A)(1)(a): Building orientation. 60% of the primary façade shall be constructed parallel to the primary street frontage. On corner lots, a minimum of 60% of the secondary façade shall be constructed parallel to a side street frontage. The project site is a corner lot, and we are not able to provide the required 60% of the primary façade to be constructed parallel to the primary street (Delaware). We are able to meet the requirements for the side street (Grace).		

### Owner/Owner's Agent Certification

<i>By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.</i>	
Print owner name: Elisa Morales	
Signature: <i>Elisa Morales</i>	Date: 10/30/2023
Mailing address: 700 Oswego Street, Syracuse, NY 13204	
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.	



## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syrgov.net

### Area Variance Test

*An Area Variance is permission to build in a portion of the property that is otherwise restricted by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that the potential benefit of an Area Variance will outweigh any burden to community health, safety, and welfare through a five-part balancing test (see [https://www.dos.ny.gov/lg/publications/Zoning Board of Appeals.pdf](https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf) for more information).*

*Briefly describe below how an Area Variance would affect the community using the following five tests and attach all supporting materials.*

#### 1. Neighborhood Character

Describe whether an undesirable change will be produced in the character of the neighborhood, or a detriment to nearby properties will be created by the granting of the area variance.

We do not believe this modification will create an undesirable change or a appearance that is detrimental to nearby properties. We believe complying with the requirement on Delaware Street would become a detriment to the nearby properties. The existing dwellings on the 400 block of Delaware Street do not run parallel to Delaware Street. Our proposed building is sited to respect the average street front setback for Delaware and the angled presentation of the primary façade in the same manner as the existing buildings. On Grace Street, the existing buildings run parallel to the street. Our current design maintains the parallel orientation to Grace Street and allows us to respect the existing average setback of the existing dwellings to maintain the pedestrian experience and appearance of the Grace Street streetscape.

#### 2. Feasibility of Alternatives

Describe whether the benefit sought by the applicant can be achieved by some other method that will be feasible for the applicant to pursue, other than an area variance.

Due to the angled (non-perpendicular) approach of Grace Street at the Delaware Street intersection, providing a residence that meets the parallel requirements for both streets is not feasible due to increased construction costs and the outcome would be a out-of-place building that is detrimental to the adjacent properties. Siting the new building parallel to Delaware Street would require the driveway to be located on Grace Street, and the angle of the building would negatively affect the ability to provide all of the required off-street parking due to the irregular space left by siting the building parallel to Delaware Street. Moving the driveway would also reduce the amount of remaining open area meant for green space/play area and would locate the play area much closer to vehicular traffic entering or leaving the parking area.

#### 3. Substantiality

Describe whether the requested area variance is substantial.

We do not believe the requested area variance is substantial and believe that maintaining the angled orientation of the Delaware façade is better for the neighborhood as it respects the existing setbacks of the Delaware and Grace Street as well as maintaining the existing streetscape experience and avoids any potential parking issues due to lack of space created by a irregular back yard and provides the ability for children to play outdoors safely.

#### 4. Adverse Effect

Describe whether the proposed area variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

We do not believe the proposed area variance will have an adverse effect or impact on the existing conditions within the project area. Our proposed building orientation respects the existing neighborhood fabric regarding setbacks and building orientation. It also allows us to provide the required off-street parking in a manner that largely hides all parking behind the new structure while providing a safe play area for children.

#### 5. Self-Created Difficulty

Describe whether an alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

We believe the difficulty in achieving the building orientation requirements lies in the pre-existing street conditions in which Grace Street intersects Delaware Street at a 73-degree angle. We also believe we have provided a design that respects the neighborhood's existing built conditions related to front setbacks and minimizes the ability to see the parking area from the street to the greatest degree possible. It also provides a sizeable side yard for play and other outdoor activities safely located away from traffic entering or leaving the site.



City Hall  
233 East Washington Street  
(315) 448-8005  
Syr.gov/home



November 3rd, 2023

City of Syracuse Planning Commission (CPC)  
One Park Place  
300 South State Street – Suite 700  
Syracuse, NY 13202

City of Syracuse Board of Zoning Appeals (BZA) One Park Place  
300 South State Street – Suite 700  
Syracuse, NY 13202

New York State Department of Environmental Conservation, Region 7  
615 Erie Boulevard West  
Syracuse, NY 13204

New York State Homes & Community Renewal  
Heather Spitzberg, Director  
38-40 State Street, Hampton Plaza  
Albany, NY 12207

Onondaga County Department of Planning  
Dan Kwasnowski, AICP  
335 Montgomery Street, 1<sup>st</sup> Floor  
Syracuse, NY 13202

Greater Syracuse Land Bank  
Katelyn E. Wright, Executive Director  
431 E. Fayette Street, Suite 375  
Syracuse, NY 13202

The City of Syracuse  
Attn: Cristian Toellner – Plans Examiner II

RE: City of Syracuse City Planning Commission - La Liga Westside Village  
“La Liga” / Spanish Action League of Onondaga, Inc. & Acacia (Applicant)  
Greater Syracuse Property Development Corporation (Owner)  
State Environmental Quality Review Act (SEQRA)

To Whom It May Concern,

The City of Syracuse Planning Commission (CPC) received the above referenced site plan submission package, which requests authorization for the construction and operation of housing across six sites. The Project involves new construction of 68 apartments and 2451 sq. ft. of non-residential space across 5 buildings on 5 sites located on the west side of the City of Syracuse, and also includes a 6<sup>th</sup> site for an outdoor community garden space for residents only. The total gross square footage is 25,270 sq. ft., including 14,955 gross sq. ft. of residential space and 10,315 gross sq. ft. of non-residential space, across 5 buildings as follows:

- i. 112-128 Delaware Street, 7,663 sq. ft., 3 stories, 8 units, no elevator
- ii. 222-226 Delaware Street, 6,089 sq. ft., 3 stories, 6 units, no elevator
- iii. 304 Delaware Street, 36,163 sq. ft., 3 stories, 29 units, with an elevator
- iv. 406 Delaware Street, 7,949 sq. ft., 3 stories, 7 units, no elevator
- v. 601 Geddes Street, 25,897 sq. ft. plus 2451 non-residential sq. ft., 4 stories, 18 units, with an elevator that serves residential space only

The site plan applications, EAFs, and supporting materials have been supplied to the City of Syracuse. (3) of the site plans are being reviewed as major site plan, while the other (3) are minor site plans.

This letter is to inform you that the CPC intends to assume lead agency status for a State Environmental Quality Review Act (SEQRA) review of the site plan applications. It is anticipated that the project will be an Unlisted Action pursuant to SEQRA and its implementing regulations (6 NYCRR 617).



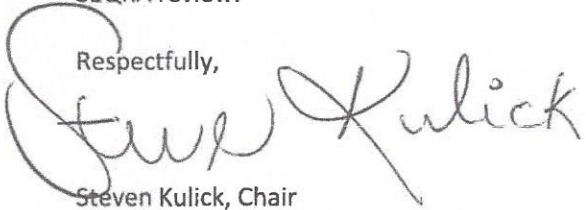
To Whom It May Concern,

Your agency has been identified as a potentially involved or interested agency for this project. To undertake a coordinated review, a lead agency must be designated. The City of Syracuse Planning Commission (CPC) intends to seek lead agency status for purposes of SEQRA review because the proposed action will take place within the border of the City, and the site plan application approval is within the authority of the City.

We respectfully request that you consent to the CPC acting as lead agency by signing this letter and sending it to our offices within 30 days from the date of this transmittal at One Park Place, 300 South State Street – Suite 700 Syracuse NY, 13202.

Should you have direct jurisdiction over activities associated with this proposed project and wish to be lead agency, a dispute may be brought before the Commissioner of Environmental Conservation in accordance with SEQRA rules and regulations (Title 6 of the Official Compilation of Codes, Rules and Regulations (6 NYCRR) § 617.6). Otherwise, you may be an involved agency as that term is defined in 6 NYCRR § 617.2(s). If no response from you is received within thirty (30) days, it will be assumed that you agree that the Town shall act as lead agency. Your participation as an involved agency is encouraged, and any comments received will be considered and addressed in the Town's SEQRA review.

Respectfully,



Steven Kulick, Chair  
City of Syracuse Planning Commission  
One Park Place  
300 South State Street – Suite 700  
Syracuse, NY 13202

The undersigned agency consents to the City of Syracuse Planning Commission acting as Lead Agency in accordance with § 617.6 of the Regulations.



Chair, Syracuse Board  
of Zoning Appeals

(Signature and Title)

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing


**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

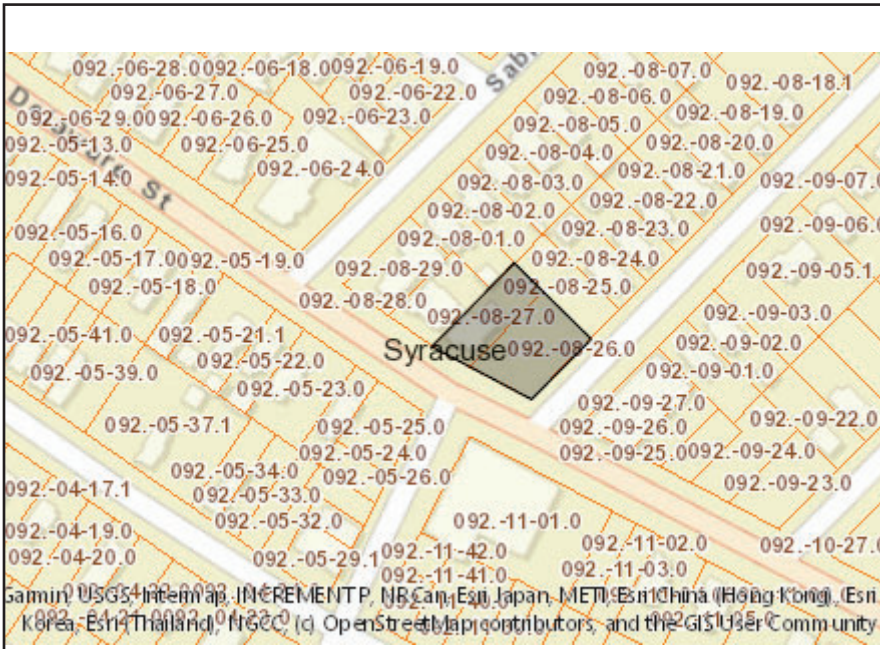
<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: La Liga Westside Village			
Project Location (describe, and attach a location map): Scattered sites: 112-128 Delaware Ave, 222-226 Delaware Ave, 304-326 Delaware Ave, 406-412 Delaware Ave, 411 Delaware Ave, 601 Geddes St			
Brief Description of Proposed Action: 112-128 Delaware Ave: 4,400 sf 3-story Townhouse, 8 units with 5 parking spaces - Major Site Plan Approvals track 222-226 Delaware Ave and 321 Kellogg St: 3,500 sf 3-story Townhouse, 6 units with 3 parking spaces - Minor Site Plan Approvals track 304-326 Delaware Ave and 223 Grace St: 13,580 sf 3-story programmed apartment building, 29 units with 15 parking spaces, playground - Major Site Plan Approvals track 406 and 412 Delaware Ave: 3,800 sf 3-story Townhouse, 7 units with 4 parking spaces - Minor Site Plan Approvals track 401-11 Delaware Ave & 100-102 Dudley St: Community garden for residents of project with small gazebo and fencing - Minor Site Plan Approvals track 601-21 Geddes St: 8,000 sf 4-story mixed use building, 18 units with 4 parking spaces - Major Site Plan Approvals track			
Name of Applicant or Sponsor: Spanish Action League of Onondaga County, Inc.		Telephone: 716-856-7110 E-Mail: DaRodriguez@hubwny.com	
Address: 700 Oswego Street			
City/PO: Syracuse		State: NY	Zip Code: 13204
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		2.96 acres	
b. Total acreage to be physically disturbed?		2.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2.96 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? 601 Geddes is adjacent to buffer area b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ According to the Environmental Resource Mapper, 601-21 Geddes St site is across the street from an underground water course. Proposed project will not impact this feature. _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
_____		
Storm water will be conveyed into drainage structures including catch basins, drywells, and storm inlets.		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Soil composition testing has been completed on all sites in project as several adjacent or nearby sites were shown on Remediation Mapper.		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Christian Freeman</u> Date: <u>11/8/23</u>		
Signature: <u></u> Title: <u>Landscape Architect</u>		





**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



## Site Photographs

### 406-412 Delaware Street



Photo 1: 411 Delaware Street – Looking North at 324 (gold) and 222 (blue) Delaware



Photo 2: 411 Delaware Street – Looking South at 341 Delaware





Photo 3: 222 Delaware



Photo 4: 411 Delaware Street – Looking West at 418-20 Delaware





Photo 5: 411 Delaware Street – Looking East



Photo 6: 411 Delaware Street – Front





Photo 7: 411 Delaware Street – Rear



Photo 8: 406 Delaware looking West. 224 Grace Street at right (now demolished).



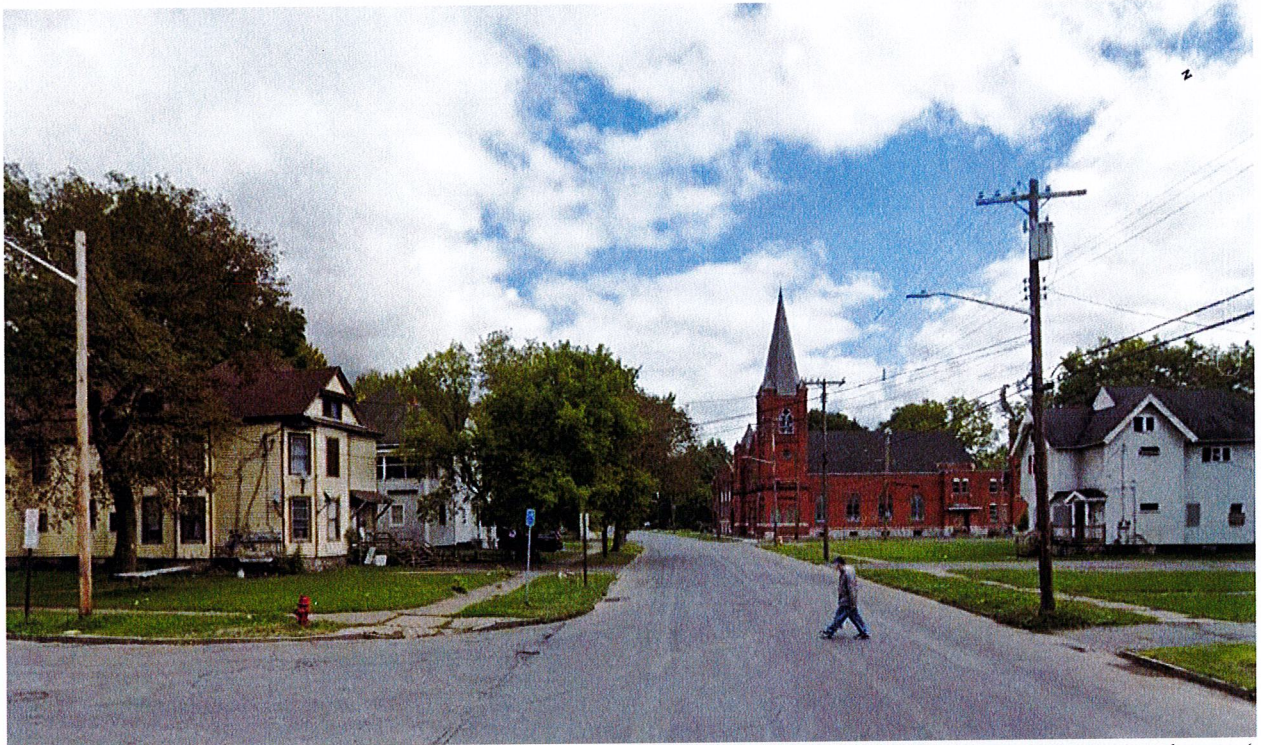


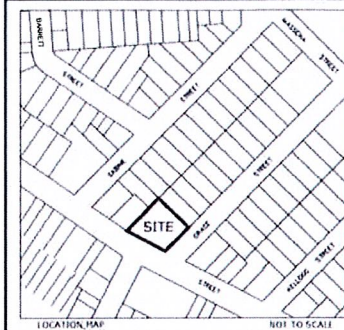
Photo 9: View down Delaware – Note angle of the houses on the left at the 400 block.426-28 (yellow) and 418-20 Delaware (grey)



Photo 10: Delaware Baptist Church ca. 1889 at 341 Delaware Street by Archimedes Russell



SHEETS: NONE



9

3

4 5

7 10

1 2

6

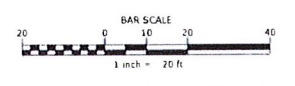
8

**LEGEND**

⊙	Capac. Iron Pipe Found
⊙	Capac. Iron Rod Found
⊙	Hydrant
⊙	Iron Pipe Found
⊙	Iron Rod Found
⊙	Sanitary Manhole
⊙	Water Valve
---	Sanitary Sewer Line
---	Buried Water Line
---	Proposed Trench Line
---	Existing Trench Line
---	Existing Utility Line
---	Existing Line
---	Street Line

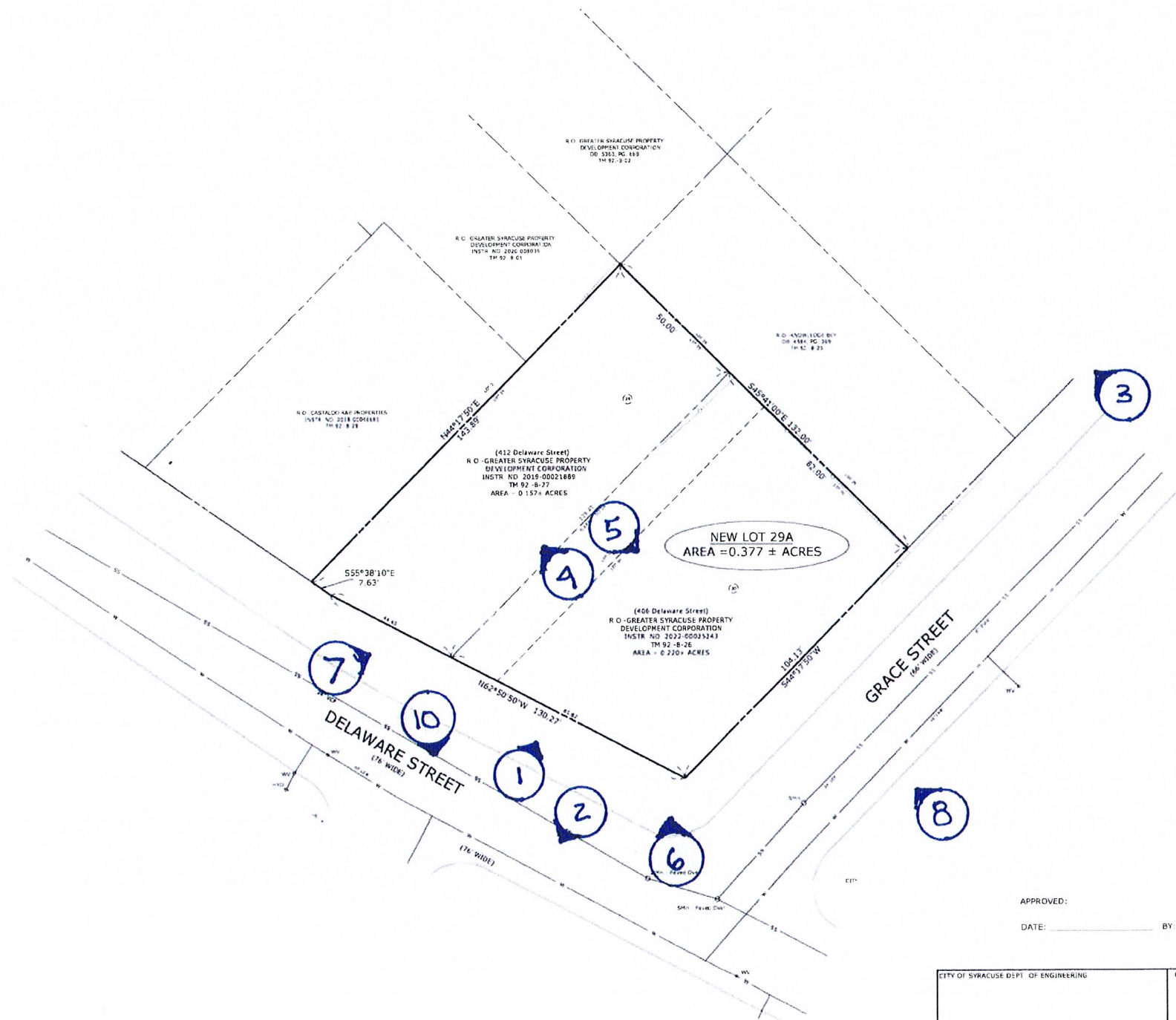
- MAP NOTES**
- 1) NORTH ORIENTATION BASED ON THE CITY OF SYRACUSE RIGHT OF WAY PLATS
  - 2) FIELD WORK PERFORMED BETWEEN JANUARY 15-31, 2023
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- MAP REFERENCES**
- 1) MAP OF THE KELLOGG TRACT AND THE DAVIS & WHITE TRACT - FILED MAP # 177



I HEREBY CERTIFY THAT THIS IS AN ACCURATE SUBDIVISION PLAT PREPARED BY US ON JULY 26, 2023. THIS SUBDIVISION PLAT MEETS THE CURRENT STANDARDS STATED IN THE NYSEAL'S CODE OF PRACTICE FOR LAND SURVEYS PERTAINING TO BOUNDARY SURVEYS. THE SUBDIVISION BOUNDARY CLOSURE IS GREATER 1:10,000. THIS MAP IS NOT VALID WITHOUT THE ORIGINAL SEAL OF THE SURVEYOR

DAVID M. SLISKI P.L.S. # 50105 DATE: JULY 26, 2023



APPROVED: \_\_\_\_\_ BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

CITY OF SYRACUSE DEPT. OF ENGINEERING	CITY OF SYRACUSE PLANNING COMMISSION	ONONDAGA COUNTY HEALTH DEPT

DAVID M. SLISKI P.L.S. NO. 050105	DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNLITHOGRAPHED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW	<b>RESUBDIVISION PLAT</b> FOR LOTS 29 & 30 OF CITY BLOCK 323 (KELLOGG TRACT) INTO <b>NEW LOT 29A OF CITY BLOCK 323</b> (TO BE KNOWN AS 412-16 DELAWARE STREET) 304,406 & 412 DELAWARE STREET ONONDAGA COUNTY, NEW YORK
07/26/23	ADD PROPOSED ADDRESS	DMS	DMS	DMS	© 2023 C.T. MALE ASSOCIATES APPROVED: _____ DRAFTED: TOL CHECKED: DMS PROJ. NO. 23 3374 SCALE: 1" = 20 FT. DATE: JUNE 26, 2023		
<b>C.T. MALE ASSOCIATES</b> Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C. 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH: 518 786 7400 COBESKILL, NY - GLENS FALLS, NY - ROUGHEFSIE, NY JOHNSTOWN, NY - RED HOOK, NY - SYRACUSE, NY www.ctmale.com						SHEET 1 OF 1 DWG. NO. 23-0412	



# SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE

406-412 DELAWARE STREET, SYRACUSE NEW YORK  
SITE FOUR OF SIX

HKK PROJECT #22071



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**ARCHITECT:**  
HOLMES + KING + KALLQUIST  
& ASSOCIATES, ARCHITECTS, LLP

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FAX: (315) 476-5420

WEBSITE: [www.hkkarchitects.com](http://www.hkkarchitects.com)

**MECHANICAL ENGINEER**  
IPD ENGINEERING

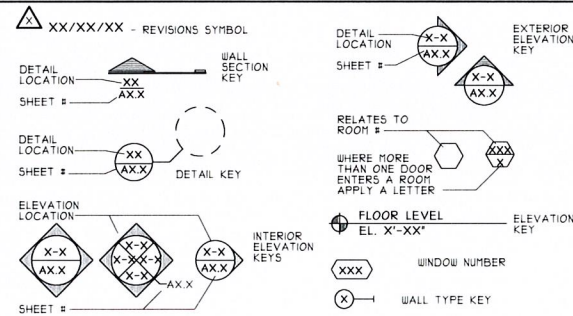
ONE WEBSTER'S LANDING  
SYRACUSE, NY 13202  
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WEBSITE: [www.ipdengineering.com](http://www.ipdengineering.com)

**ABBREVIATIONS :**

ACP/APC	ACOUSTIC CEILING PANEL	EQ	EQUAL	LLH	LONG LEG HORIZONTAL	REV	REVISED/REVISION
ACT/ATC	ACOUSTIC CEILING TILE	EST	ESTIMATE	LLV	LONG LEG VERTICAL	RH	ROUGH OPENING
ADJ	ADJACENT	EQUIP	EQUIPMENT	LOC	LOCATION	RO	ROUGH OPENING
AFF	ABOVE FINISHED FLOOR	EXC	ELECTRIC WATER COOLER	LTG	LIGHTING	ROW	RIGHT OF WAY
AIA	AMERICAN INSTITUTE OF ARCHITECTS	EXH	EXHAUST	LTL	LINTEL	RUB	RUBBER
ALLOW	ALLOWANCE	EX or EXIST	EXISTING	LVL	LAMINATED VENEER LUMBER	SCHED	SCHEDULE
ALT	ALTERNATE	EXT	EXTERIOR	LVP	LUXURY VINYL PLANK	SEC	SECTION
ALUM	ALUMINUM	FD	FLOOR DRAIN	LVR	LOUVER	SLT	SLANT
ANOD	ANODIZED	FDN	FOUNDATION	LVT	LUXURY VINYL TILE	SLR	SEALER
APPROX	APPROXIMATELY	FE	FIRE EXTINGUISHER	MAR	MARBLE	SLT	SLATE
ARCH	ARCHITECT (URAL)	FEC	FIRE EXTINGUISHER CABINET	MAS	MASONRY	SFT	SQUARE FOOT
AVG	AVERAGE	F/F	FACE OF FINISH	MAT	MATERIAL	SHT	SHEET
ABC	ACOUSTICAL BALL COVERING	FGL	FIBERGLASS	MAX	MAXIMUM	SPR	SPRINKLER
ABF	ACOUSTICAL BALL PANELING	FIN	FINISH	MDF	MEDIUM DENSITY FIBERBOARD	SPR	SPRINKLER
B/F	BOTTOM OF FOOTING	FR	FINISHED FLOOR	MDO	MEDIUM DENSITY OVERLAY	SO	SQUARE
BIT	BITUMINOUS	FXR	FIXTURE	MECH	MECHANICAL	SS	STAINLESS STEEL
BLDG	BUILDING	FLR	FLOOR	MEZZ	MEZZANINE	SS	SOLID SURFACE MATERIAL
BLKG	BLOCKING	FLR MUTIAL	FLOOR MUTIAL	MFR	MANUFACTURER	STD	STANDARD
BH	BEAM/BENCHMARK	FR	FACE OF	MIN	MINIMUM	STC	SOUND TRANSMISSION CLASS
B/O	BOTTOM OF	FR	FACE OF	MISC	MISCELLANEOUS	STD	STANDARD
BRD	BOARD	FR	FACE OF	NO	NOT	STL	STEEL
BRK	BRICK	FRG	FRAMING	NA	NOT APPLICABLE	STN	STAIN
BSHT	BASEMENT	FRP	FIBERGLASS REINFORCED PLASTIC	NT	NOT IN CONTRACT	STR	STRUCTURAL
BTWN	BETWEEN	FT	FOOT/FEET OR FIRE TREATED	NTS	NOT TO SCALE	STRF	SURFACE
BUR	BUILT-UP ROOF	FTG	FOOTING	NO. OR #	NOMINAL	SUSP	SUSPENDED
CABT	CEMENT/CEMENTITIOUS	FTRTD	FIRE TREATED	NO	NO	SY	SQUARE YARD
CEH	CEMENT/CEMENTITIOUS	FUR	FURRING	NTS	NOT TO SCALE	SYN	SYMMETRICAL
CF	CUBIC FOOT/FEET	FURN	FURNITURE	OA	OVERALL	T	TREAD
CJ	CONTROL JOINT	GA	GALLON	OC	ON CENTER	TEL	TELEPHONE
CL	CENTERLINE	GAL	GALVANIZED	OD	OUTSIDE DIAMETER	TEHP	TEMPORARY
CLG	CEILING	GC	GENERAL CONTRACTOR	OH	OVERHEAD	TER	TERRAZZO
CLO	CLOSET	GEN	GENERAL	OPNG	OPENING	THK	THICK
CLR	CLEAR	OPP	OPPOSITE	OPNG	OPENING	THRESH	THRESHOLD
CRU	CONCRETE MASONRY UNIT	OPPH	OPPOSITE HAND	OSB	ORIENTED STRAND BOARD	TG	TONGUE & GROOVE
CUL	CULINARY/COLOR	OSB	ORIENTED STRAND BOARD	OSB	ORIENTED STRAND BOARD	T/O	TOP OF
COMP	COMPOSITE	GR	GRADE	OZ	OUNCE	TOL	TILE
CONC	CONCRETE	GRND	GROUND	PART	PARTITION	T/S	TOP OF STEEL
CONST	CONSTRUCTION	GT	GRAZE TILE	PBRD	PARTICLE BOARD	TTL	TOTAL
CONT	CONTINUOUS	GUB	GYP/SH WALLBOARD	PC	COMPUTER	TV	TELEVISION
CONTR	CONTRACTOR	GYP	GYP/SH	PED	PEDIMENT	TYP	TYPICAL
COORD	COORDINATE	H	HIGH	PERF	PERFORATED	UL	UNDERWRITER'S LABORATORY
CORR	CORRIDOR	H/C	HANDICAPPED ACCESSIBLE	PL	PLATE	UNO	UNLESS NOTED OTHERWISE
CORRUG	CORRUGATED	HWDW	HARDWOOD	PLAM	PLASTIC LAMINATE	URNAL	URNAL
CPT	CARPET	HWR	HARDWARE	PLAS	PLASTER	VAR	VARIABLE/VARIABLE
CPT T.	CARPET TILE	HGT	HEIGHT	PLBGC	PLUMBING	VARN	VARNISH
CRS	COURSE(S)	HMT	HOLLOW METAL	PLYWD	PLYWOOD	VB	VAPOR BARRIER
CT	CERAMIC TILE	HORIZ	HORIZONTAL	PNL	PANEL	VCT	VINYL COMPOSITION TILE
CT	CUBIC YARD	HPC	HIGH PRESSURE LAMINATE	PNT	PANT	VERT	VERTICAL
D	DEPTH	HUR	HOUR	PREFAB	PREFABRICATED	VET	VINYL ENHANCED TILE
DF	DRINKING FOUNTAIN	HVAC	HEATING, VENTILATING & AIR CONDITIONING	PREFIN	PRE-FINISHED	VEST	VESTIBULE
DIA	DIAMETER	ID	INSIDE DIAMETER	PSF	POUNDS PER SQUARE FOOT	VIF	VERIFY IN FIELD
DIAG	DIAGONAL	IN	INCH	PSI	POUNDS PER SQUARE INCH	VNR	VENEER
DIH	DIMENSION	INCL	INCLUDED, INCLUDING	PT	PRESSURE TREATED	VTR	VENT THROUGH ROOF
DL	DEAD LOAD	INSUL	INSULATION	PTD	PAINTED	VVC	VINYL WALL COVERING
DN	DOWN	INT	INTERIOR	PVC	POLYVINYL CHLORIDE	W	WIDE
DO	DOOR	INT	INTERIOR	PVRT	PAVEMENT	WTH	WITH
DR	DOOR	JAN	JANITOR	QT	QUARRY TILE	WC	WATER CLOSET/WALL COVERING
DTL	DETAIL	JT	JOINT	QTY	QUANTITY	WD	WOOD
DWG	DRAWING	L	LENGTH	QTZ	QUARTZ	WD PNL	WOOD PANELING
EA	EACH	LAM	LAMINATE(D)	RTZ	RISER/RADIUS	WF	WIDE FLANGE
E1F5	EXTERIOR INSULATION FINISH SYSTEM	LAV	LAVATORY	RC	RESILIENT CHANNEL	WIN	WINDOW
EJ	EXPANSION JOINT	LB	POUND	RD	ROOF DRAIN	W/O	WITHOUT
EL	ELEVATION	LF	LINEAR FEET	RECT	RECTANGULAR	WR	WATER RESISTANT
ELEC	ELECTRIC (IAL)	LG	LIGHT GAUGE	REF	REFERENCE	WT	WEIGHT
ELEV	ELEVATOR/ELEVATION	LGFR	LIGHT GAUGE METAL FRAMING	REG	REGULAR	WUF	WELDED WIRE FABRIC
ENT	ENTRANCE MAT	LIN, NTL	LINEAR METAL CEILING	RENF	REINFORCE (D) (HENT)		
ENTR	ENTRANCE	LNO	LINOLEUM	REOD	REQUIRED		
EP5	EXPANDED POLYSTYRENE	LL	LIVE LOAD	RES	RESILIENT FLOORING		

**SYMBOLS :**



**LIST OF DRAWINGS :**

T1.1	TITLE SHEET	ARCHITECTURAL
-	RESUBDIVISION SURVEY	
<b>CIVIL</b>		
L1.1	SITE PREPARATION PLAN - 406-412 & 411	A1.1 FLOOR PLANS
L2.1	SITE GRADING, DRAINAGE AND UTILITIES UTILITIES PLAN - 406-412 & 411	A1.2 FLOOR PLANS
L3.1	SITE PLAN LAYOUT PLAN - 406-412 & 411	A1.3 ENLARGED FLOOR PLANS
L4.1	SITE PLAN LAYOUT PLAN - 406-412 & 411	A2.1 EXTERIOR ELEVATIONS
L5.1	SITE DETAILS	
L5.2	SITE DETAILS	

I, THE UNDERSIGNED ARCHITECT, CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS ADOPTED BY NEW YORK STATE AND THE INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY NEW YORK STATE

ISSUE DATE: XX/XX/XXXX  
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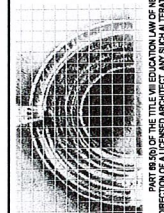
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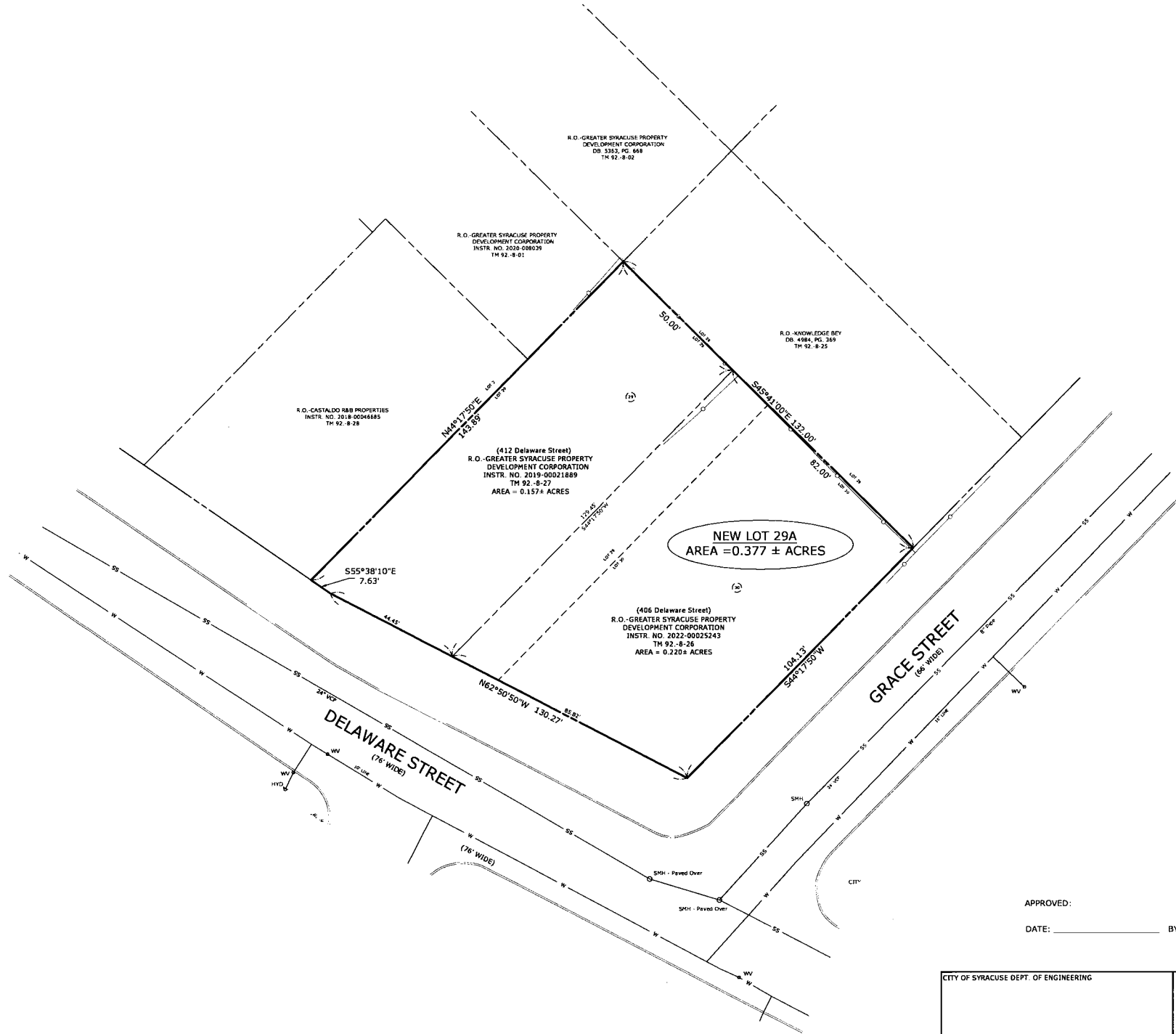
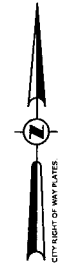
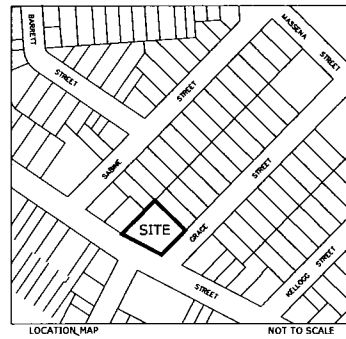
SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
406-412 DELAWARE STREET  
SYRACUSE, NEW YORK

**HOLMES + KING + KALLQUIST**  
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575 NORTH SALINA STREET, SYRACUSE, NY 13208  
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[www.hkkarchitects.com](http://www.hkkarchitects.com)



TITLE SHEET  
**T1.1**  
SITE FOUR OF SIX





**LEGEND**

○ CIPF	Capped Iron Pipe Found
○ CIRF	Capped Iron Rod Found
○ HYD	Hydrant
○ IPF	Iron Pipe Found
○ IRF	Iron Rod Found
○ SMH	Sanitary Manhole
○ WV	Water Valve
— SS	Sanitary Sewer Line
— W	Buried Water Line
--- ---	Proposed Fence Line
.....	Existing Property Line
- - - - -	Easement Line
—————	Street Line

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- 1.) NORTH ORIENTATION BASED ON THE CITY OF SYRACUSE RIGHT OF WAY PLATES.
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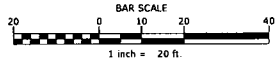
- MAP REFERENCES**
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DAVID M. SLISKI PLS # 50105 DATE  
JULY 26, 2023

APPROVED: \_\_\_\_\_ BY: \_\_\_\_\_  
DATE: \_\_\_\_\_ OWNER & DEVELOPER

CITY OF SYRACUSE DEPT. OF ENGINEERING	CITY OF SYRACUSE PLANNING COMMISSION	ONONDAGA COUNTY HEALTH DEPT.



DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.
07/26/23	ADD PROPOSED ADDRESS	DMS	DMS	DMS

**RESUBDIVISION PLAT**  
FOR LOTS 29 & 30 OF CITY BLOCK 323 (KELLOGG TRACT) INTO  
**NEW LOT 29A OF CITY BLOCK 323**  
(TO BE KNOWN AS 412-16 DELAWARE STREET)  
304,406 & 412 DELAWARE STREET  
ONONDAGA COUNTY, NEW YORK

**C.T. MALE ASSOCIATES**  
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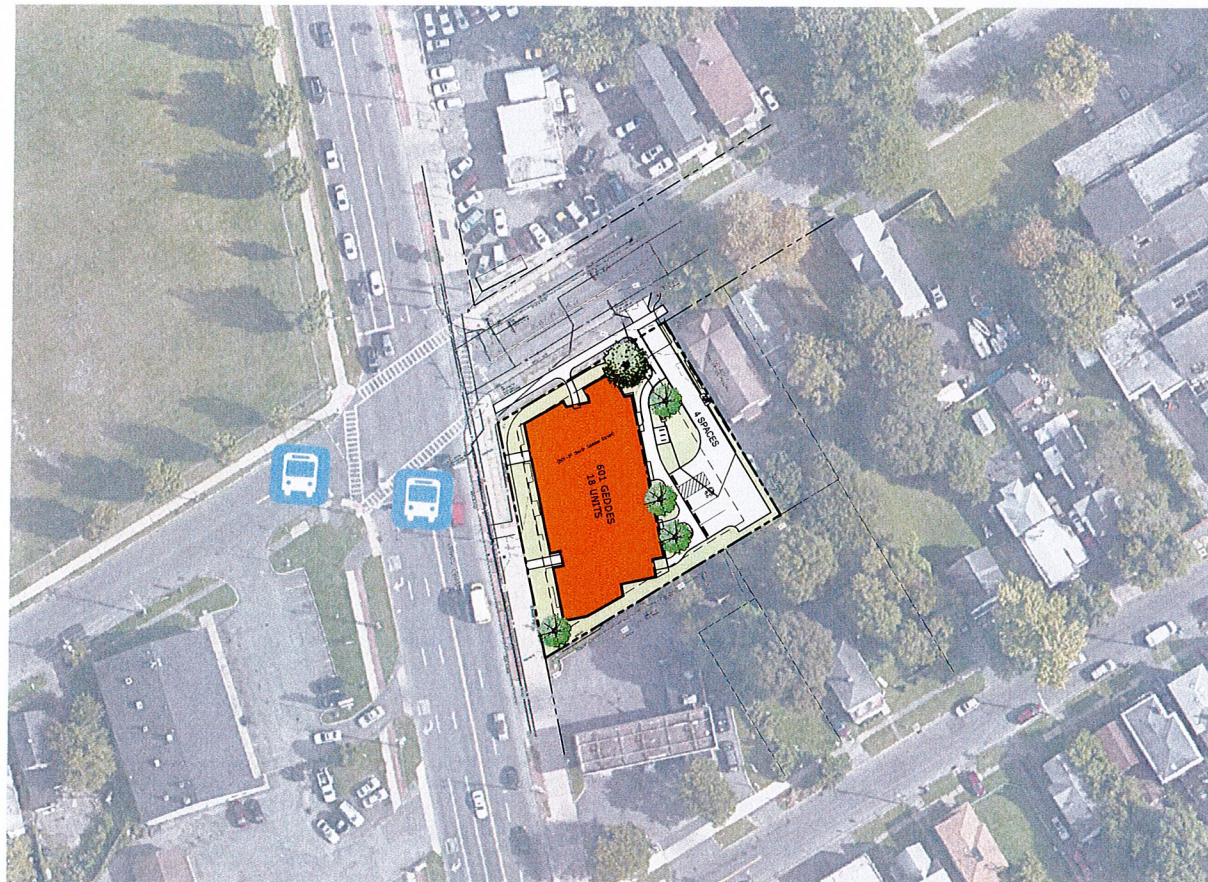
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SCALE : 1" = 20 FT.  
DATE : JUNE 26, 2023

SHEET 1 OF 1  
DWG. NO: 23-0412

CAD DWG. FILE NAME: K:\Projects\23001\Survey\Delaware St. Sites Resubdivision.dwg

CAD DWG. FILE NAME: Delaware St Sites Resubdivision





**ZONING CHART - 601 GEDDES**

601 GEDDES  
8,800 SF 4-STORY MIXED USE BUILDING  
18 UNITS RESIDENTIAL, 7,500 SF COMMERCIAL

092-09-26.0 601-21 DELAWARE

TOTAL COMBINED PARCEL AREA: 18,168 SF / .411 ACRES  
ZONE: LOCAL BUSINESS ZONE A - PER MAP #2, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	SEE BELOW	8'
CORNER LOT SIDE YARD*	SEE BELOW	8'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD IS 4' PLUS 2' PER FLOOR OVER 2 STOREYS, SO 4' + 4' FOR 2 FLOORS + 8' REQUIRED.  
\*\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD OF SIDE STREET IS 8'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	32'
MAX. STRUCTURAL	N/A AS MIXED USE	44%
MAX. PARKING	N/A AS MIXED USE	18%
MIN. LOT SF PER UNIT	1000'	1009'

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	0	0
1 SPACE / 1,000 SF RETAIL	0	4**

\*\*\*PARKING PROVIDED SHALL BE FOR COMMERCIAL TENANT AND 1 RESERVED SPACE FOR RENTING SERVICES

**ACCESS**  
BUS STOPS ON 57 74, 57 921 BY 936, AND AUB 38 ARE LOCATED ON THE CORNER OF SEYHOUR STREET AND GEDDES STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - DUDLEY**

DUDLEY  
COMMUNITY GARDEN AND PLAYGROUND  
13 PARKING SPACES

092-09-25.0 401-5 DELAWARE ST  
092-09-24.0 41 DELAWARE ST  
092-09-26.0 100 DUDLEY ST  
092-09-21.0 102 DUDLEY ST

TOTAL COMBINED PARCEL AREA: 16,455 SF / .378 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #2, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER LOT SIDE YARD*	SEE BELOW	15'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	24'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. FRONT LOT WIDTH IS APPROX. 100'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	33'
MAX. STRUCTURAL	40%	5%
MAX. PARKING	40%	21%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	0	13**

\*\*DUDLEY PARCEL LOT OFFSETS PARKING DEFICIT AT 304 DELAWARE PARCEL (8 SPACES) / 226 DELAWARE PARCEL (3 SPACES).

**ACCESS**  
BUS STOPS ON 57 926, 57 966, 57 972, 57 974, 57 64, 57 874, 57 931, AND 57 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 406 DELAWARE**

406 DELAWARE  
4,300 SF 3-STORY TOWNHOUSE - 7 UNITS

092-09-26.0 406 DELAWARE ST  
092-09-21.0 412 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 16,431 SF / .371 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #2, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER LOT SIDE YARD*	SEE BELOW	15'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD IS 15'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	-
MAX. STRUCTURAL	40%	-
MAX. PARKING	40%	-

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	7	8

**ACCESS**  
BUS STOPS ON 57 64, 57 874, 57 901, 57 931, 57 926, 57 966, AND 57 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 304 DELAWARE**

304 DELAWARE  
14,500 SF 4-STORY APARTMENT BUILDING - 28 UNITS

092-09-23.0 304 DELAWARE ST  
092-09-24.0 310-312 DELAWARE ST  
092-09-25.0 316 DELAWARE ST  
092-09-26.0 320 DELAWARE ST  
092-09-21.0 322-26 DELAWARE ST  
092-09-11.0 223 GRACE ST

TOTAL COMBINED PARCEL AREA: 37,602 SF / .861 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #2, ZONING ATLAS  
- ALL PARCELS EXCEPT 223 GRACE ST IS RESIDENTIAL BUSINESS CLASS AA

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	SEE BELOW	20' / 20'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	22'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD IS 30' ON BOTH SIDE STREETS.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	26.4'
MAX. STRUCTURAL	40%	35%
MAX. PARKING	40%	17%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	28	20**

\*\*PARKING DEFICIT (8 SPACES) AT THIS DEVELOPMENT IS OFFSET AT DUDLEY PARCEL

**ACCESS**  
BUS STOPS ON 57 64, 57 874, 57 921, 57 931, 57 926, 57 966, AND 57 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE. BUS STOPS ON KELLOGG STREET AND DELAWARE STREET, ALSO ADJACENT TO THE SITE, INCLUDE 57 921, 57 966, 57 972, 57 974, AND 57 926.

**ZONING CHART - 226 DELAWARE**

226 DELAWARE  
3,500 SF 3 STORY TOWNHOUSE - 6 UNITS

092-10-26.0 222 DELAWARE ST  
092-10-21.0 226 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 14,109 SF / 0.321 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #2, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER LOT SIDE YARD*	SEE BELOW	14'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD IS 15% FRONT LOT WIDTH OR ESTABLISHED FRONT YARD OF SIDE STREET. ESTABLISHED FRONT YARD IS 14'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	32'
MAX. STRUCTURAL	40%	25%
MAX. PARKING	40%	0%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	6	3**

\*\*PARKING DEFICIT (3 SPACES) AT THIS DEVELOPMENT IS OFFSET AT DUDLEY PARCEL

**ACCESS**  
BUS STOPS ON KELLOGG STREET AND DELAWARE STREET ARE LOCATED DIRECTLY ADJACENT TO THE SITE, INCLUDE 57 921, 57 966, 57 972, 57 974, AND 57 926.

**ZONING CHART - 112 DELAWARE**

112 DELAWARE  
4,400 SF 3 STORY TOWNHOUSE - 8 UNITS

093-01-21.0 112 DELAWARE ST  
093-01-23.0 116-118 DELAWARE ST  
093-01-25.0 121-24 DELAWARE ST  
093-01-30.0 128 DELAWARE ST

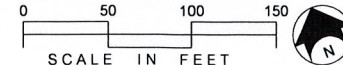
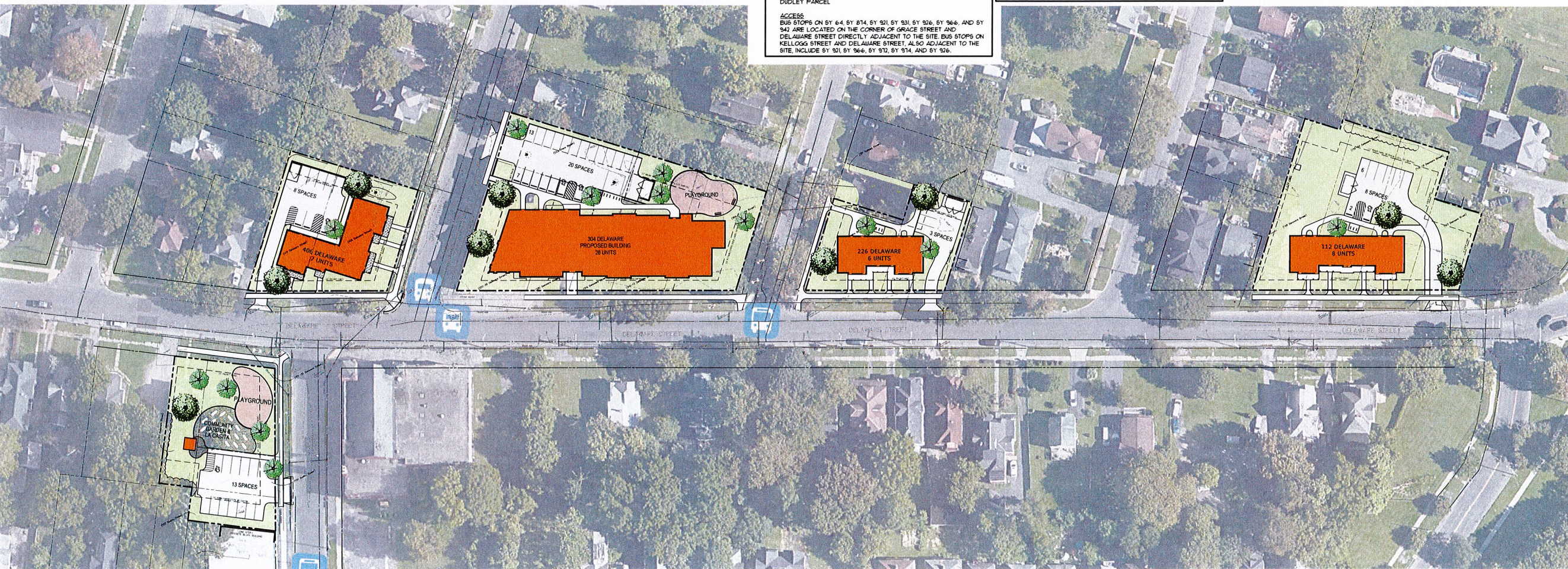
TOTAL COMBINED PARCEL AREA: 20,951 SF / 0.471 ACRES  
ZONE: RESIDENTIAL BUSINESS CLASS B - PER MAP #3, ZONING ATLAS

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	40'	34'
MAX. STRUCTURAL	40%	16%
MAX. PARKING	40%	14%

PARKING	REQUIRED	PROVIDED
1 SPACE / DU	8	8

**ACCESS**  
BUS STOPS ON 57 921, 57 966, AND 57 974 ARE LOCATED WITHIN 50' OF THE SITE. ADDITIONAL STOPS ARE LOCATED WITHIN 100' AT THE CORNER OF DELAWARE AND WEST ONONDAGA STREET.



**KEPLINGER FREEMAN ASSOCIATES**  
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**RZ Engineering, PLLC**  
6305 FLY ROAD, SUITE 105, EAST SYRACUSE, NY 13057  
PH: 315 432 1289 FAX: 315 445 7981

**PROGRESS SET  
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CONSTRUCTION**

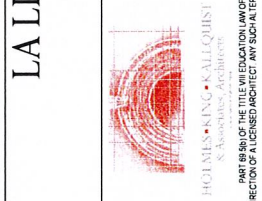
REV	DATE	DRAWN BY	DESCRIPTION
1	4/20/22	CRF	SCHEMATIC

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JOB NO:	42134
DATE:	20 APRIL 2023
DRAWN BY:	CRF
REVIEW BY:	ECK
PROJECT:	NORTH
SCALE:	AS SHOWN

**LA LIGA WEST SIDE HOUSING**  
601 SOUTH GEDDES STREET

**HOLMES - KING - KALLOQUIST & Associates, Architects, LLP**  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
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OVERALL PLAN

**L1.0**





**EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES**

- 1 SAUCUT ASPHALT OR CONCRETE PAVEMENT, SAUCUT ASPHALT IN NEAT STRAIGHT LINE AND SAUCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
- 2 REMOVE ASPHALT PAVEMENT AND DISPOSE OF MATERIALS OFF SITE. NYS DOT ITEM No. 703.02.
- 3 REMOVE EXISTING CONCRETE IN ITS ENTIRETY, LEGALLY DISPOSE OF OFF SITE. AT CONTRACTOR OPTION, EXISTING CONCRETE MAY BE CRUSHED TO MEET THE SPECIFICATION FOR OVERSIZE SUBBASE COURSE MATERIAL (3 INCH MINUS) AND USE IN LOWER LIFTS OF THE PARKING LOT FILL.
- 4 REMOVE EXISTING TREES AND VEGETATION, INCLUDING STUMPS AND ROOTS. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE. COORDINATE STOCKPILE LOCATIONS WITH CONSTRUCTION MANAGER. ALL CLEARING OF POTENTIAL SUMMER ROOSTING TREES 4-INCH DIAMETER OR GREATER MUST OCCUR FROM OCTOBER 31ST THROUGH MARCH 31ST. CLEARING OF VEGETATION AT ANY OTHER TIME OF THE YEAR MUST BE REVIEWED AND AUTHORIZED BY THE NEW YORK FIELD OFFICE OF THE U.S. FISH AND WILDLIFE SERVICE IN CORTLAND, NY. ALL CLEARING AND GRUBBING WITHIN NYS DOT RIGHT-OF-WAY TO BE PAID FOR UNDER ITEM No. 701.0100000.
- 5 APPROXIMATE LOCATION OF PROPOSED BUILDING.
- 6 LARGE TREES SHALL BE PROTECTED WHERE LAND REMAINS UNDISTURBED BY CONSTRUCTION ACTIVITY.
- 7 CONTRACTOR TO COMPLETE AND SUBMIT FORM 33 AND SHALL OBTAIN HIGHWAY WORK PERMIT FROM NYS DOT PRIOR TO ANY WORK WITHIN THE HIGHWAY RIGHT-OF-WAY.
- 8 SANITARY WORK WITHIN RIGHT-OF-WAY MUST BE PERMITTED BY NYS DOT REGIONAL UTILITY COORDINATOR JEREMY LAUTON # (315) 428-4388 (Jeremy.Lauton@doh.ny.gov). COORDINATE CONNECTION TO EXISTING SANITARY SEWER WITH VILLAGE OF CATTILUS ENGINEER. EXISTING SANITARY MANHOLE TO REMAIN. PROTECT. CORE DRILL OPENING INTO EXISTING MANHOLE AND PROVIDE WATERTIGHT SEAL.
- 9 REMOVE EXISTING GRAVEL SURFACING IN ITS ENTIRETY TO PROPERTY LINE AND DISPOSE OF OFF SITE. RESTORE WITH TOPSOIL AND ESTABLISH LAWN.
- 10 REMOVE EXISTING FENCE IN ITS ENTIRETY, INCLUDING FABRIC, FOOTINGS, POSTS AND GATES, AND DISPOSE OF OFF SITE.
- 11 EXISTING GRANITE CURB TO REMAIN, PROTECT.
- 12 STRIP EXISTING TOPSOIL AND STOCKPILE FOR REUSE.
- 13 ALL WORK IN CITY RIGHT OF WAY MUST HAVE A WORK PERMIT FROM THE CITY. ANY ROAD AND PEDESTRIAN CLOSURES SHALL HAVE CORRECT SIGNAGE IN PLACE PER MUTCO.
- 14 REMOVE EXISTING BUILDING. REFER TO SPECIFICATIONS FOR ANY SPECIAL INSTRUCTIONS REGARDING BUILDING DEMOLITION. COMPLETELY REMOVE ALL BUILDING FOUNDATIONS AND SLABS IN THEIR ENTIRETY WHERE FOUNDATION WALLS AND SLABS ARE LOCATED WITHIN THE PROPOSED BUILDING FOOTPRINT TO 5 FEET OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO SPECIFICATIONS FOR ANY SPECIAL INSTRUCTIONS REGARDING BACKFILLING OF VOIDS WITHIN THE BUILDING FOOTPRINT AREA.
- 15 EXISTING UTILITY POLE REMAINS, PROTECT.
- 16 REMOVE EXISTING GRANITE CURB, DISPOSE OF OFF SITE.
- 17 REMOVE EXISTING CONCRETE BLOCKS AND DISPOSE OF OFF SITE.
- 18 APPROXIMATE LOCATION OF PROPOSED BUILDING.



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JOB NO: 22071  
DATE: 07/25/23  
DRAWN BY: CRF  
SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
**406-412 & 411 DELAWARE STREET**  
SYRACUSE, NEW YORK

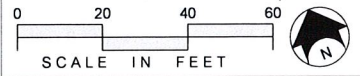
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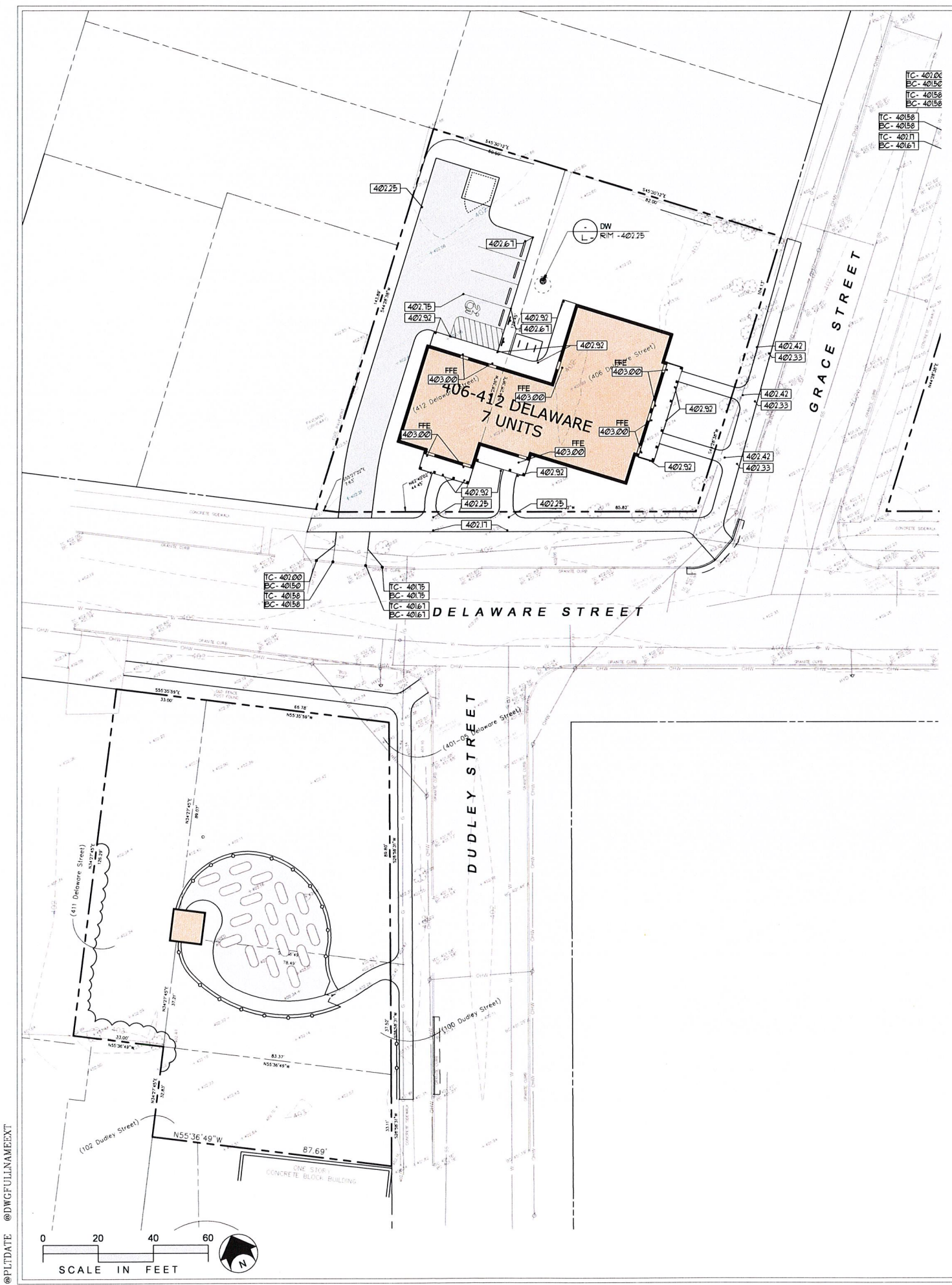
SITE PREPARATION  
PLAN - 406-412 & 411

SITE FOUR OF SIX  
**L1.1**

PLT:DATE @DWG:FULLNAME:EXT







**GRADING, DRAINAGE & UTILITY GENERAL NOTES**

1. ANY/FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
2. WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
3. ALL CONCRETE PAVING AT ALL EXISTING AND NEW DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOULED TO FOUNDATION WALL PER DETAILS.
4. A GEOTECHNICAL EVALUATION REPORT WAS PREPARED BY KENNEY GEOTECHNICAL SERVICES DATED 8-27-2018 FOR THIS PROJECT SITE. IT IS ASSUMED THAT THE CONTRACTOR WILL REVIEW THIS REPORT AND ADHERE TO THE RECOMMENDATIONS AND CONCLUSIONS PROVIDED. COPIES OF THE REPORT CAN BE PROVIDED UPON REQUEST.
5. MINIMUM 6" CLEAR INSPECTION SPACE TO BE PROVIDED BETWEEN THE SURFACE OF THE PLANNED LANDSCAPE GRADE AND NON-MASONRY SIDING.
6. DISCHARGE FROM DOWNSPOUTS/FLASH PADS TO EXTEND A MINIMUM OF 24" FROM THE BUILDINGS.

**GRADING, DRAINAGE & UTILITY NOTES** NOTES REFER TO SHEETS L2.1 & L3.1

- ① MEET EXISTING LINE AND GRADE.
- ② INSTALL 6" PVC SANITARY LATERAL @ 1% MINIMUM SLOPE.
- ③ INSTALL SANITARY CLEANOUT AT 15 FT MAXIMUM SPACING PER DETAIL 11/L14.
- ④ INSTALL STONE LINED SWALE PER DETAIL 9/L12.
- ⑤ INSTALL OUTLET PROTECTION PER DETAIL 11/L12.
- ⑥ INSTALL JUTE MESH SWALE PER DETAIL 14/L12.
- ⑦ APPROXIMATE LOCATION OF ROOF DRAIN, REFER TO ARCHITECTURAL PLANS. INSTALL ROOF DRAIN SPLASH PAD PER DETAIL 15/L12, TYPICAL.
- ⑧ 24" HDPE PIPE TO BE PAID FOR UNDER NYS DOT ITEM No. 603.34000607.
- ⑨ INFILTRATION BASIN UNDERDRAIN PER DETAIL 16/L12.
- ⑩ RPZ DRAINAGE PIPE TO DISCHARGE A MINIMUM OF 12" ABOVE DRAINAGE SWALE OVERFLOW ELEVATION.
- ⑪ INSTALL UNDERDRAIN PER DETAIL 6/L12.



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JOB NO: 22071  
DATE: 07/25/23  
DRAWN BY: CRF  
SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
**406-412 & 411 DELAWARE STREET**  
SYRACUSE, NEW YORK

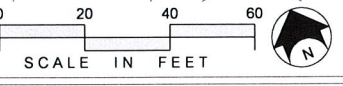
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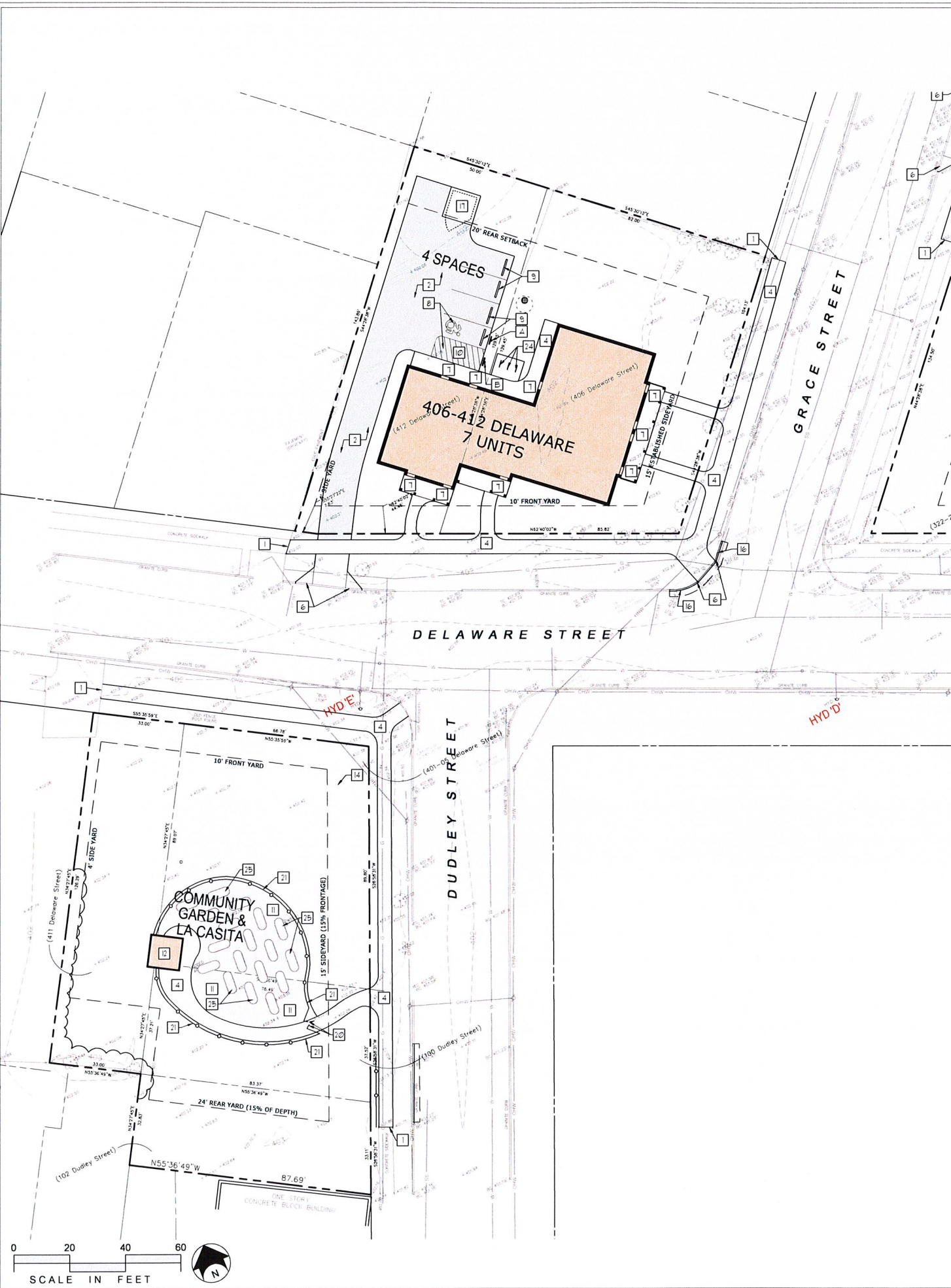
**SITE GRADING, DRAINAGE,  
AND UTILITIES PLAN -  
406-412 & 411**

SITE FOUR OF SIX  
**L2.1**

@PLTDATE @DWGFULLNAMEEXT







**ZONING CHART - DUDLEY**

DUDLEY  
 COMMUNITY GARDEN AND PLAYGROUND  
 13 PARKING SPACES

092-05-25.0 401-5 DELAWARE ST  
 092-05-24.0 411 DELAWARE ST  
 092-05-26.0 100 DUDLEY ST  
 092-05-21.0 102 DUDLEY ST

TOTAL COMBINED PARCEL AREA: 16,455 SF / 378 ACRES  
 ZONE: R5 HIGH DENSITY RESIDENTIAL - REZONE SYRACUSE 3/23

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER LOT SIDE YARD*	SEE BELOW	15'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD SHOULD NOT BE LESS THAN 15% OF TOTAL WIDTH (NARROWER FRONTAGE) OF THE LOT, BUT NEED NOT EXCEED ESTABLISHED FRONT SETBACK LINE FOR SIDE STREET.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	50'	83'
MAX. STRUCTURAL	40%	1%
MAX. PARKING	40%	0%

ACCESS  
 BUS STOPS ON SY 926, SY 966, SY 912, SY 914, SY 64, SY 814, SY 931, AND SY 942 ARE LOCATED ON THE CORNER OF DUDLEY STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE.

**ZONING CHART - 406 DELAWARE**

406 DELAWARE  
 3,800 SF 3-STORY TOWNHOUSE - 7 UNITS

092-09-26.0 406 DELAWARE ST  
 092-08-21.0 412 DELAWARE ST

TOTAL COMBINED PARCEL AREA: 16,431 SF / 377 ACRES  
 ZONE: R5 HIGH DENSITY RESIDENTIAL - REZONE SYRACUSE 3/23

YARD SETBACKS	REQUIRED	PROVIDED
FRONT YARD SETBACK	10'	10'
SIDE YARD SETBACK	4'	4'
CORNER SIDE YARD*	SEE BELOW	15'
REAR YARD SETBACK	20' OR 15% LOT DEPTH	20'

\*CORNER LOT SIDEYARD SHOULD NOT BE LESS THAN 15% OF TOTAL WIDTH (NARROWER FRONTAGE) OF THE LOT, BUT NEED NOT EXCEED ESTABLISHED FRONT SETBACK LINE FOR SIDE STREET.

LOT REQUIREMENTS	REQUIRED	PROVIDED
MIN. WIDTH	50'	132'
MAX. STRUCTURAL	40%	21%
MAX. PARKING	40%	11%

PARKING	REQUIRED	PROVIDED
5 SPACE / DU	35	4

ACCESS  
 BUS STOPS ON SY 64, SY 814, SY 921, SY 931, SY 926, SY 966, AND SY 942 ARE LOCATED ON THE CORNER OF GRACE STREET AND DELAWARE STREET DIRECTLY ADJACENT TO THE SITE.



**PROGRESS SET  
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JOB NO: 22071  
 DATE: 07/25/23  
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 SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
**406-412 & 411 DELAWARE STREET**  
 SYRACUSE, NEW YORK

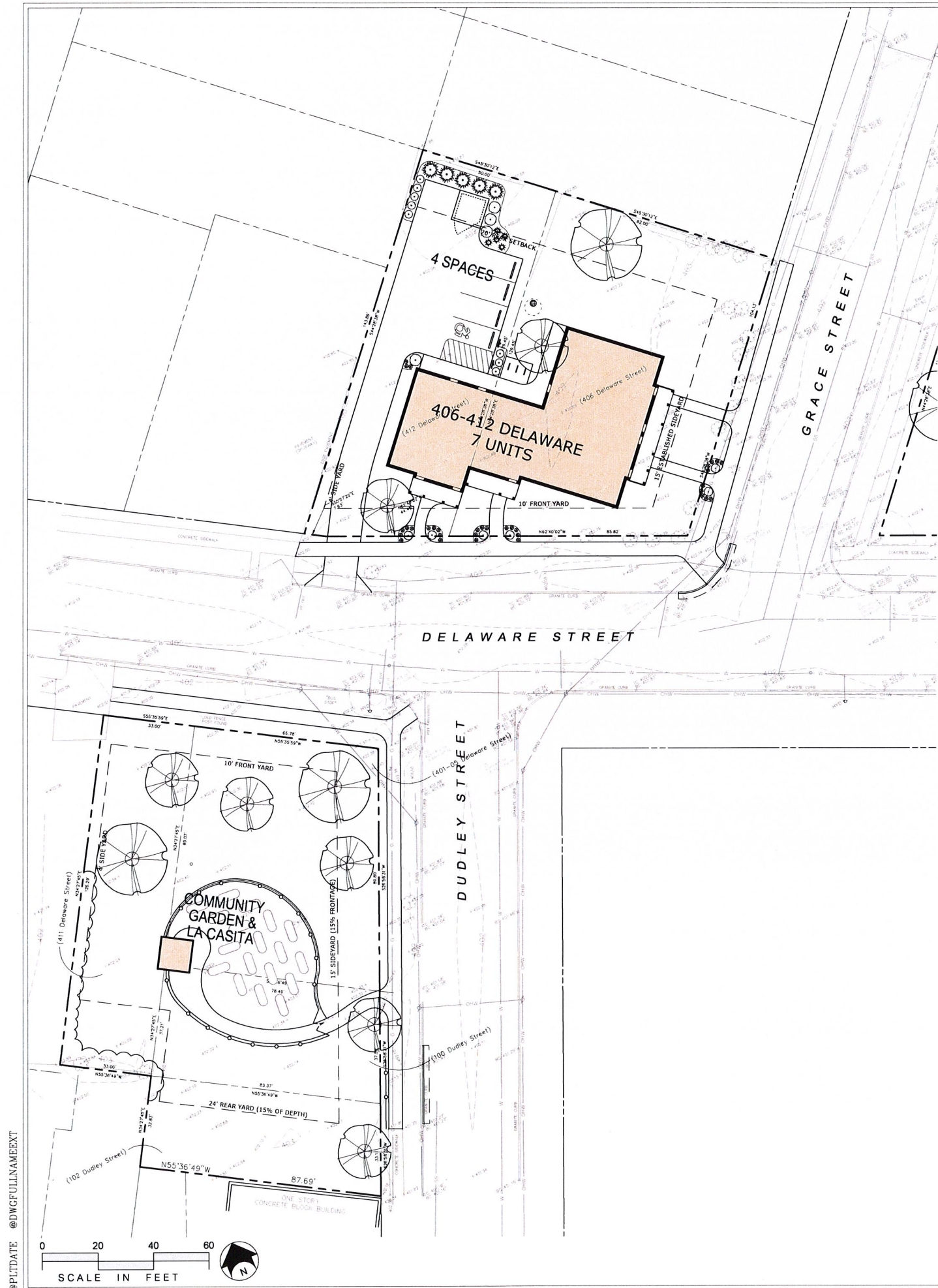
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**SITE LAYOUT PLAN -  
 406-412 & 411**

SITE FOUR OF SIX  
**L3.1**





406-412 DELAWARE PLANTING

- EVERGREEN SHRUB SCREENING AT WASTE ENCLOSURE
- (2) FOUNDATION PLANTINGS AT DOORWAYS
- (6) STREETSCAPE PLANTINGS AT WALK JUNCTIONS
- (2) FLOWERING TREES
- (1) STREET TREE

411 DELAWARE PLANTING

- (5) FLOWERING TREES
- (2) STREET TREES



PROGRESS SET  
NOT FOR  
CONSTRUCTION

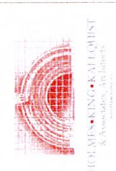
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SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
406-412 & 411 DELAWARE STREET  
SYRACUSE, NEW YORK

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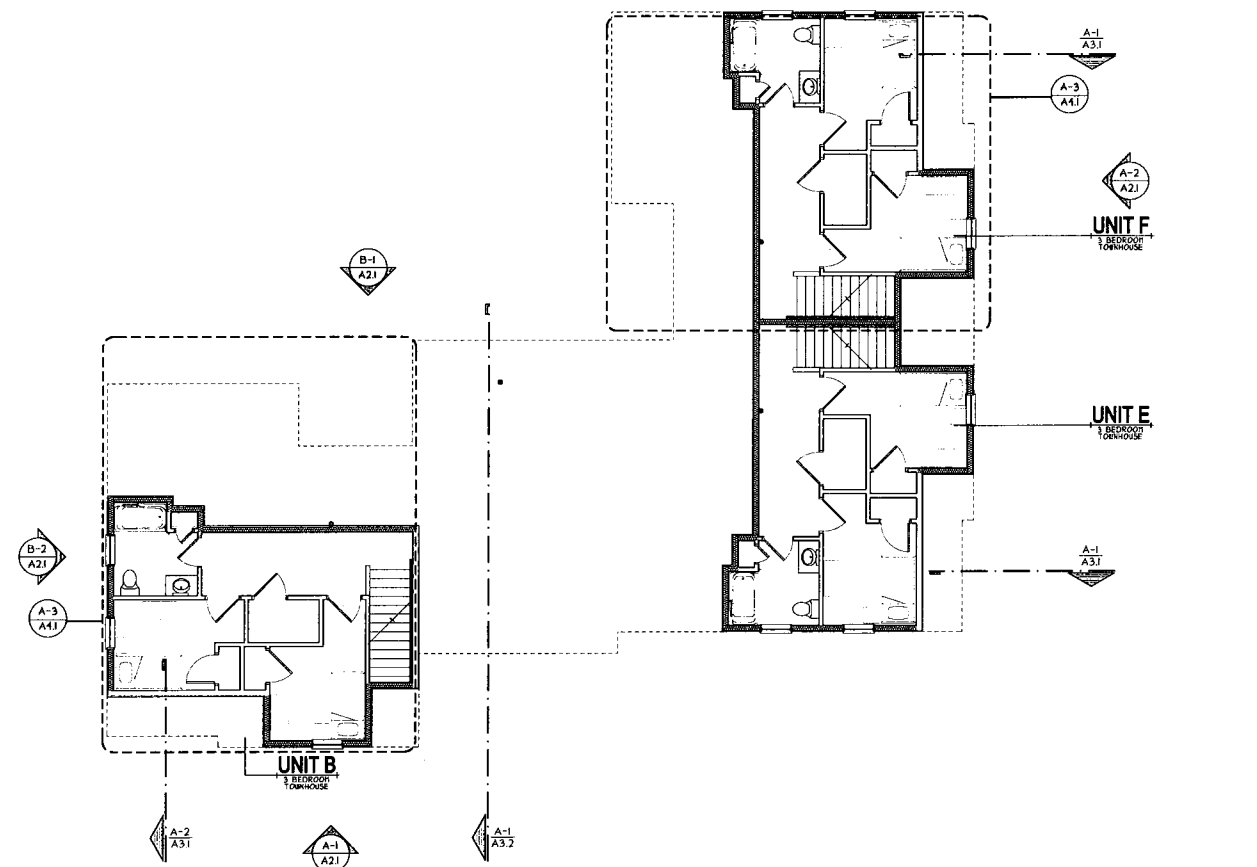
SITE PLANTING  
PLAN - 406-412 & 411

SITE FOUR OF SIX  
**L4.1**

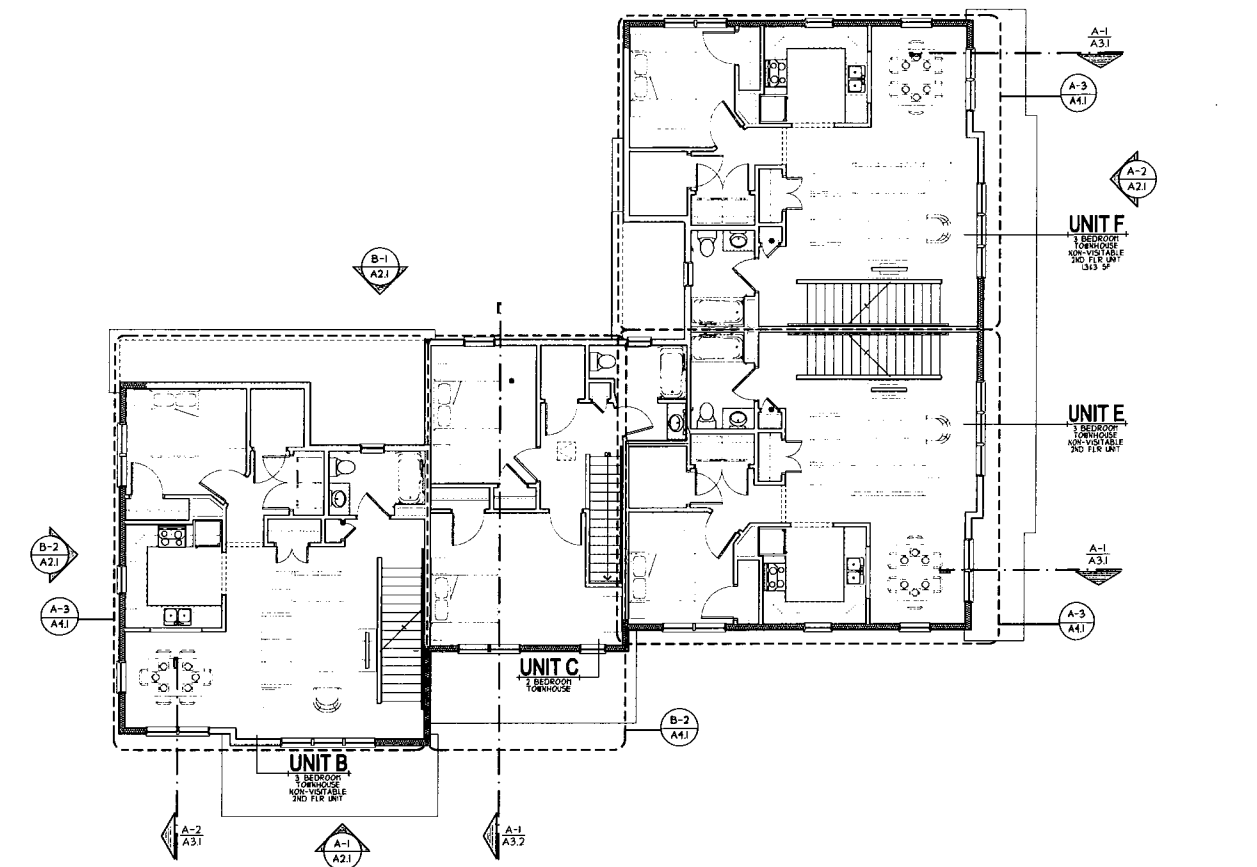
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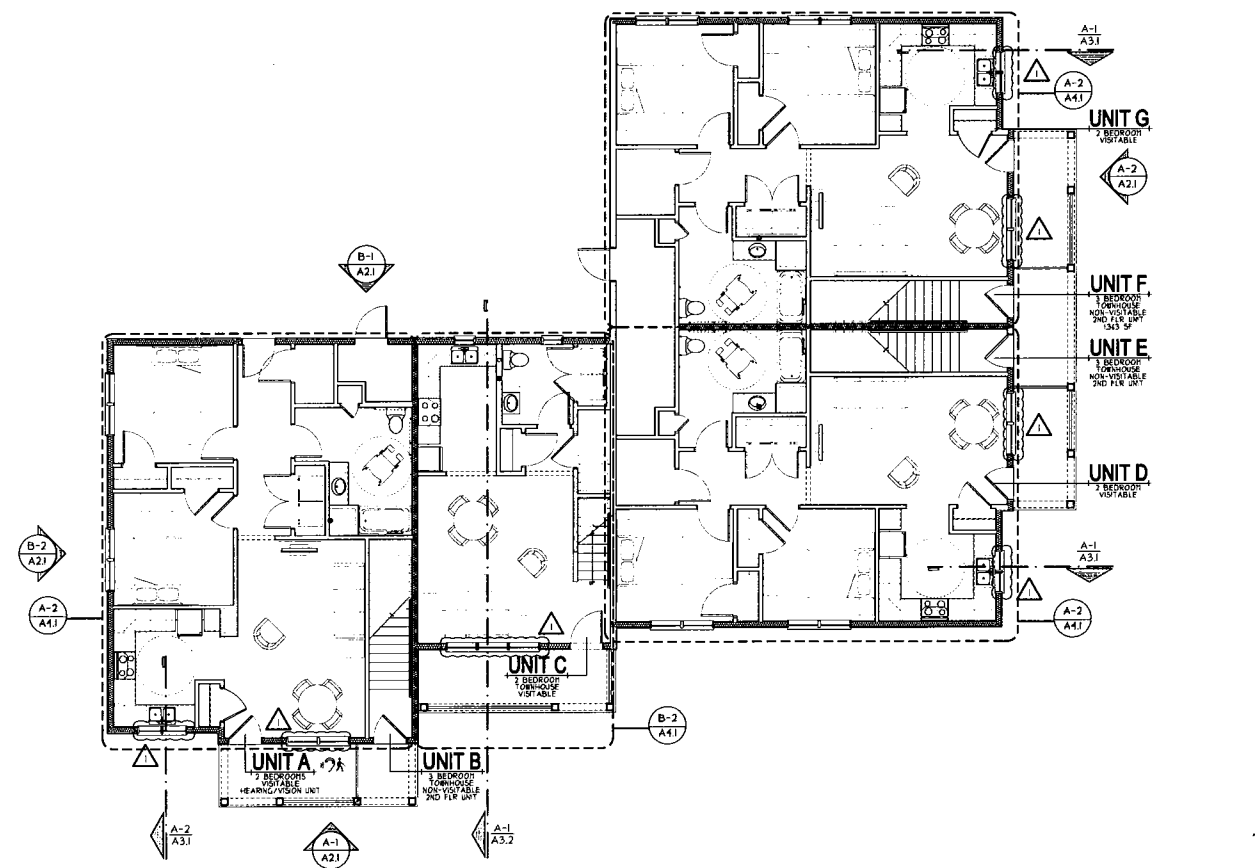
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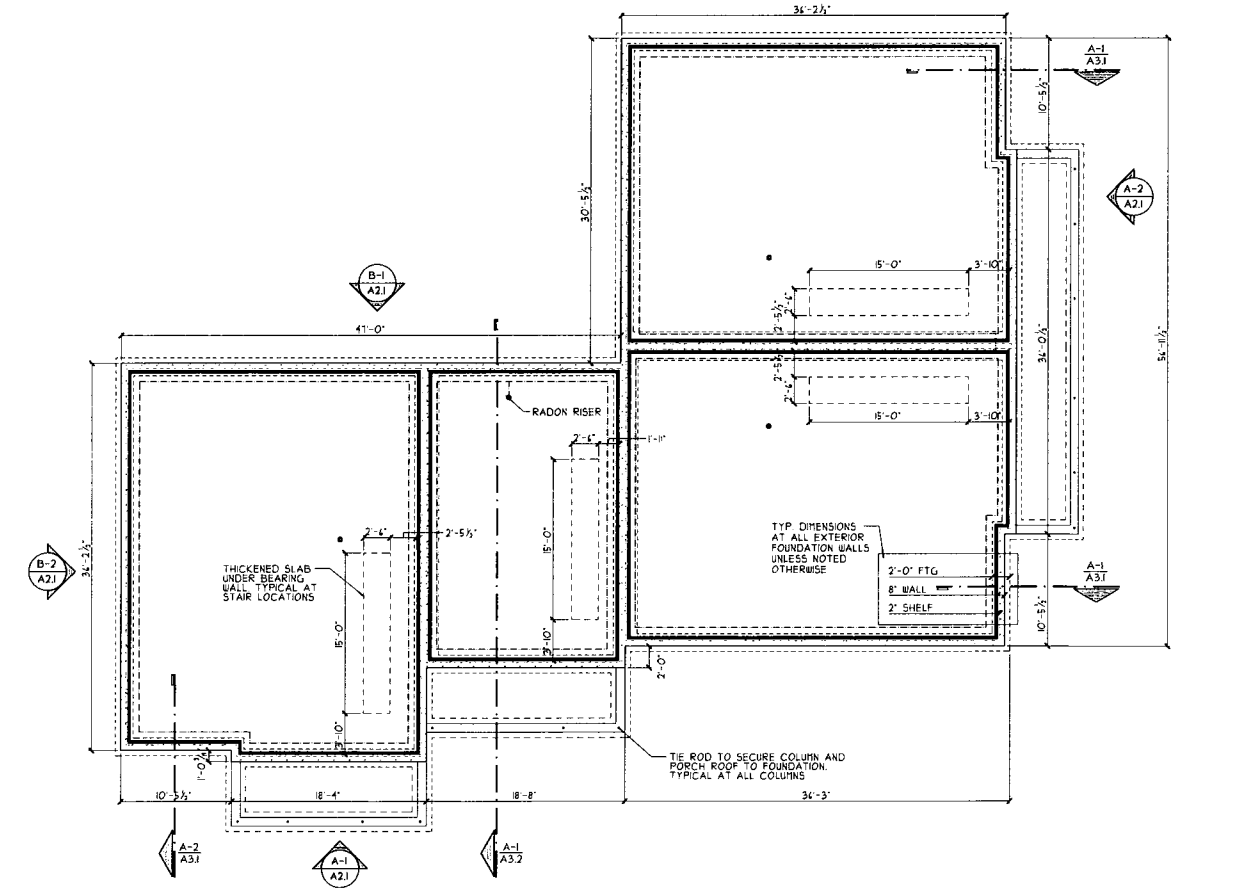
THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



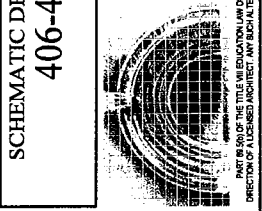
FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"

REV No.	DATE	DRAWN BY	DESCRIPTION
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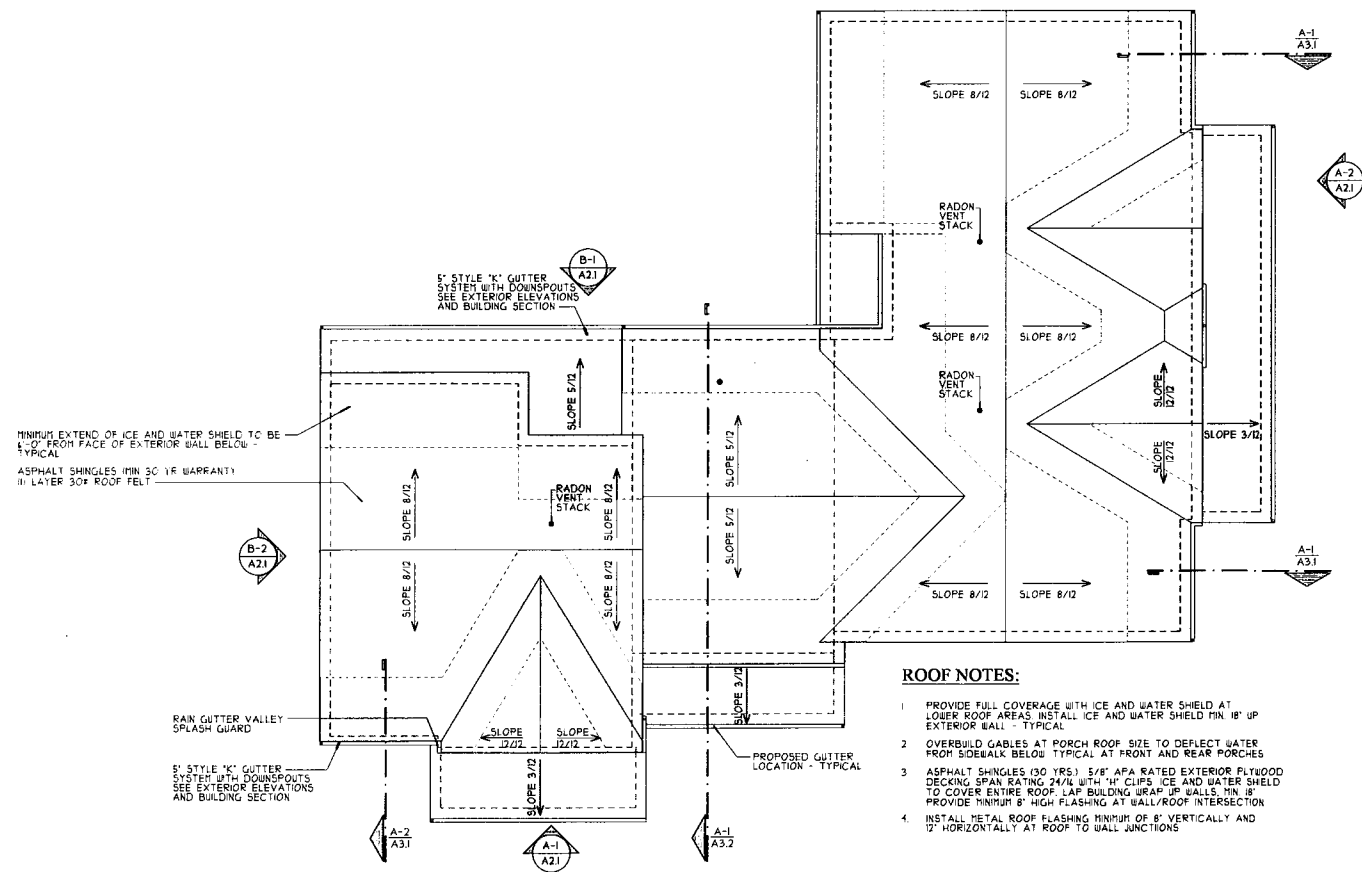


FLOOR PLANS

**A1.1**  
SITE FOUR OF SIX

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10/30/2023 8:10 AM C:\WORK\2023\22071 - La Liga Westside Village\Setem\406 A12 Delaware\Plot\A1.2.dwg (Plots) Plot1.sct



- ROOF NOTES:**
1. PROVIDE FULL COVERAGE WITH ICE AND WATER SHIELD AT LOWER ROOF AREAS. INSTALL ICE AND WATER SHIELD MIN 18" UP EXTERIOR WALL - TYPICAL
  2. OVERBUILD GABLES AT PORCH ROOF SIZE TO DEFLECT WATER FROM SIDEWALK BELOW TYPICAL AT FRONT AND REAR PORCHES
  3. ASPHALT SHINGLES (30 YRS) 5/8" APA RATED EXTERIOR FLYWOOD DECKING SPAN RATING 24/16 WITH 1" CLIPS ICE AND WATER SHIELD TO COVER ENTIRE ROOF LAP BUILDING UP WALLS MIN 8" PROVIDE MINIMUM 8" HIGH FLASHING AT WALL/ROOF INTERSECTION
  4. INSTALL METAL ROOF FLASHING MINIMUM OF 8" VERTICALLY AND 2" HORIZONTALLY AT ROOF TO WALL JUNCTIONS

0 4 8 16' ROOF PLAN SCALE: 1/8" = 1'-0" A-1/A12

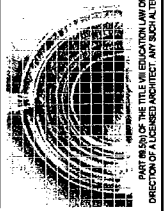
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JOB NO. 22071  
 DATE: 10/23/23  
 DRAWN BY: XX  
 SCALE: AS NOTED

SCHEMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
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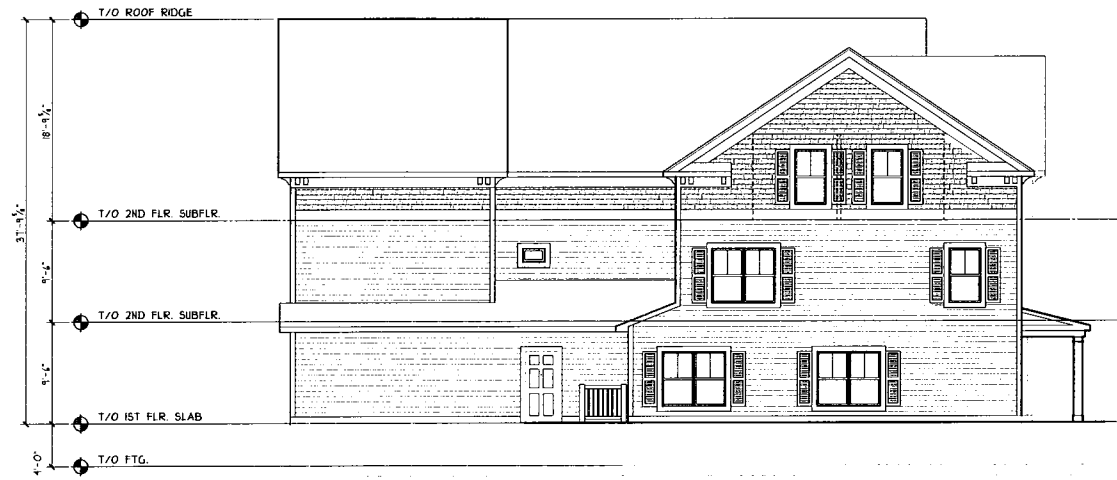


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FLOOR PLANS

**A1.2**  
 SITE FOUR OF SIX





RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"  
A2.1



REAR ELEVATION  
SCALE: 1/8" = 1'-0"  
B-1



GRACE STREET - LEFT ELEVATION  
SCALE: 1/8" = 1'-0"  
A-2



FRONT ELEVATION - DELAWARE STREET  
SCALE: 1/8" = 1'-0"  
A-1

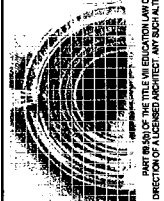
REV	DATE	DRAWN BY	DESCRIPTION
1	10/23/23	MCM	REVISIONS

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT, AND SHALL BE USED ONLY ON THE JOB DESIGNATED HEREON. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO: 22071  
DATE: 10/23/23  
DRAWN BY: mcm  
SCALE: AS NOTED

SCHMATIC DRAWINGS FOR LA LIGA WESTSIDE VILLAGE  
406-412 DELAWARE STREET  
SYRACUSE, NEW YORK

HOLMES - KING - KALLQUIST  
& Associates, Architects, LLP  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
www.hkkarchitects.com



EXTERIOR ELEVATIONS

A2.1  
SITE FOUR OF SIX

Project:	V-23-17
Date:	12/7/2023

**Short Environmental Assessment Form  
Part 2 - Impact Assessment**

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Project: V-23-17

Date: 12/7/2023

**Short Environmental Assessment Form  
Part 3 Determination of Significance**

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Syracuse City Planing Commission 12/7/2023  
 \_\_\_\_\_  
 Name of Lead Agency Date

Steven Kulick \_\_\_\_\_  
 \_\_\_\_\_  
 Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer

\_\_\_\_\_  
 \_\_\_\_\_  
 Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**

## Parcel History

01/01/1900 - 12/01/2023

Tax Map #: 092.-08-26.0

Owners: GSPDC

Zoning: RB

Address	Date	Transaction	Transaction Type	Status	Description
406 Delaware St & Grace St	08/31/23	Project	Resubdivision	Approved	R-23-55   Merge two lots (406 and 412 Delaware St) into one lot for the construction of 7 units of townhouse apartment. Companion site plan review: La Liga Westside  Total Area: 0.377 acres (16422.12sqft)
406 Delaware St & Grace St	10/05/23	Project	Minor Site Plan Review	Active	MiSPR-23-10   7-unit multi-family building
406 Delaware St & Grace St	11/01/23	Project	Variance (Area)	Active	V-23-17   Variance to deviate from ReZone Art. 2, Sec. 2.18A(1)a



## City of Syracuse

**Parcel History**

01/01/1900 - 12/01/2023

Tax Map #: 092.-08-27.0

Owners: GSPDC, THOMAS A LATSON

Zoning: RB

Address	Date	Transaction	Transaction Type	Status	Description
412 Delaware St	03/24/17	Completed Complaint	Blue Bin: request new BB	Completed	2017-06297   4 blue bins
412 Delaware St	02/26/18	Completed Complaint	Illegal Trash Set Out	Completed	2018-04849   code violation
412 Delaware St	04/05/18	Inspection	Complaint Inspection	Fail	
412 Delaware St	04/05/18	Violation	SPCC - Section 27-31 (c) Structural members	Closed	
412 Delaware St	04/05/18	Violation	SPCC - Section 27-32 (d) Protective coating for wood surfaces	Closed	
412 Delaware St	04/05/18	Violation	SPCC - Section 27-32 (b) Stairs, porches and railings	Closed	
412 Delaware St	04/05/18	Violation	SPCC - Section 27-72 (e) -Trash & Debris	Closed	
412 Delaware St	03/05/19	Inspection	Vacant Property - Routine Inspection	No Progress	
412 Delaware St	04/09/20	Completed Complaint	Vacant House	Completed	V2018-0133
412 Delaware St	04/09/20	Inspection	Vacant Property - Routine Inspection	N/A	
412 Delaware St	04/09/20	Inspection	Vacant - New Complaint Inspection	Fail	
412 Delaware St	04/09/20	Violation	SPCC - Section 27-31 (c) Structural members	Closed	
412 Delaware St	04/09/20	Violation	SPCC - Section 27-31 (c) Structural members	Closed	
412 Delaware St	04/09/20	Violation	SPCC - Section 27-32 (b) Stairs, porches and railings	Closed	
412 Delaware St	04/09/20	Violation	SPCC - Section 27-32 (b) Stairs, porches and railings	Closed	
412 Delaware St	05/01/20	Inspection	Vacant Property - Routine Inspection	No Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
412 Delaware St	06/05/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
412 Delaware St	06/12/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
412 Delaware St	07/29/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
412 Delaware St	08/26/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
412 Delaware St	09/23/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
412 Delaware St	10/21/20	Inspection	Vacant Property - Routine Inspection	Vacant & Secured	
412 Delaware St	01/06/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
412 Delaware St	04/06/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
412 Delaware St	05/14/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
412 Delaware St	07/19/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
412 Delaware St	08/19/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
412 Delaware St	09/07/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
412 Delaware St	10/06/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
412 Delaware St	11/16/21	Inspection	Complaint Re-Inspection	Vacant & Secured	
412 Delaware St	01/31/22	Permit Application	Demolition	Issued	45798   Demolition
412 Delaware St	01/31/22	Inspection	Inspector Notification	In Progress	
412 Delaware St	07/21/22	Completed Complaint	Vacant House	Admin-Closed	V2020-0126   Vacant Exterior Inspection
412 Delaware St	07/21/22	Inspection	Final Inspection	Pass	
412 Delaware St	07/21/22	Completed Permit	Demolition	Certificate Issued	45798   Demolition   Certificate of Completion #45798
412 Delaware St	09/01/23	Project	Resubdivision	Approved	R-23-55B   Merge tow lots (406 and 412 Delaware St) into one lot for the construction of 7 units of townhouse apartment. Companion site plan review: La Liga Westside





OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: GSPDC

From: Pat Voorheis, Zoning Planner

Date: 12/01/2023

Re: Variance (Area) V-23-17  
406 Delaware St & Grace St, Syracuse, 13204

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

These comments will also be forwarded to the BZA for their consideration. Please modify the proposal and/or provide written comments as maybe necessary to address the comments and submit to Pat Voorheis Syracuse Zoning Office, Room 500, City Hall Commons, Syracuse, NY 13202, or [Zoning@syrgov.net](mailto:Zoning@syrgov.net) as soon as possible.

Please contact the Pat Voorheis, Syracuse Zoning Office at (315) 448-8640 or [Zoning@syrgov.net](mailto:Zoning@syrgov.net) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Board of Zoning Appeals	Pending	11/01/2023		
Zoning Planner	Pending	11/01/2023		
Zoning Administrator	Pending	11/01/2023		
DPW Street Repair - Zoning	Pending	11/01/2023		
DPW Commissioner - Zoning	Pending	11/01/2023		
DPW Sewers - Zoning	Internal Review Complete	11/01/2023	Vinny Esposito	A SWPPP must be provided and approved for each site prior to construction.
DPW Sidewalks - Zoning	Pending	11/01/2023		
DPW Traffic Control- Zoning	Internal Review Complete	11/14/2023	Charles Gafrancesco	11.1.23 An MUTCD compliant WZTP must be provided if affecting vehicular or pedestrian traffic in any way. 11.8.23 - Applicant must update traffic control plan to include both vehicular and pedestrian traffic. Plans must be site specific. NYS Standard Sheets are not acceptable. - Ped detour/diversion must incorporate advance notice with R9-11 directional signage (sidewalk closed ahead, cross here) at closest controlled or marked crossings, and R9-9 (sidewalk closed) at either sidewalk approach at the edge of work areas. Peds are not to be directed into the roadway at

uncontrolled areas, or directed to cross where ADA corners are not present unless suitable accommodations are made by the contractor and approved by City.

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