

**City of Syracuse Zoning Administration**

**Application for SPECIAL PERMIT Review by the Planning Commission**

City Hall Commons \* Room 101 \* 201 E. Washington Street \* Syracuse, NY 13202-1426 \* 315-448-8640

**For Office Use: Filing Date:**  **Case Number:**  **Zoning District:**

**NEW SPECIAL PERMIT**  **MODIFICATION OF EXISTING SPECIAL PERMIT**

**LIST ALL ADDRESSES INVOLVED IN YOUR PROJECT:**

746/754 S. Crouse Ave., Syracuse, NY 13210

**TAX MAP SECTION, BLOCK, and LOT information from Assessment Department (call 448-8280)**

**Section: 049 Block: 09 Lot: 05.0**

**Section:**  **Block:**  **Lot:**

**Section:**  **Block:**  **Lot:**

**This APPLICATION is for a:**

- Restaurant (this also includes uses such as Bars, Taverns, Coffee Shops, Night Clubs)
- Gasoline Service Station
- Car Wash Facility
- Care Home
- Parking Lot or Parking Garage
- Transitional Parking Area
- Offices of Religious and Educational Institutions
- Bed and Breakfast

Other Special Permit Uses (describe)

**PLEASE DESCRIBE ALL ASPECTS OF YOUR PROJECT IN DETAIL:**

Remodel of Existing Tenant space into a Restaurant.

**PROPERTY OWNER INFORMATION:**

Name(s): DB Real Estate Crouse LLC,  
Mailing Address: 802 S. Crouse Ave. Syracuse, NY  
Zip: 13210 Daytime phone: 315-476-1711 Home phone: 315-436-4161  
E-mail: jsdellman@gmail.com

**APPLICANT INFORMATION:**

**(Copy of contract to purchase must be included with application)**

Contract Purchaser(s)  Tenant  Co-Applicant  Other (please state):

Name(s): Luke Nicolette  
Mailing Address: 4937 Driftwood Drive, Liverpool, NY  
Zip: 13088 Home phone: 315-935-4032 Day Phone 315-935-4032  
E-mail: Purplebananallc@gmail.com

**REPRESENTATIVE INFORMATION:**

**(Only if involved in this application)**

Attorney  Architect  Contractor  Other

Name(s): Craig Polhamus  
Mailing Address: 219 Burnet Ave., Syracuse, NY  
Zip: 13203 Telephone: 315-475-8404 E-mail: craig@zausmerfrisch.com



**DESCRIPTION OF OPERATION:**

Days of week open: seven  
Hours of operation: 7 am – 9 pm  
Maximum number of employees on premises at one time: four  
Number of off-street parking available (site plan required to indicate location): two  
Other uses currently on the property: FIRST FLOOR: Adjacent Restaurant (Dunkin Donuts)  
SECOND FLOOR Vacant OTHER FLOORS: Basement (unoccupied)

Indicate types and uses of other structures on the property if any (i.e. garage, storage building, etc.): none

**SIGNAGE INFORMATION:**

Size and location of all **existing AND proposed** signage (use additional sheet if necessary)  
A sign plan is required, see attachment (Wall, Ground, Projecting, Window)

Size 33.3" x 93" Location above main entrance Type Wall, Cloud Sign

Size		Location		Type	
Size		Location		Type	

**SPECIAL PERMIT FUNCTIONS:** (Check all that apply)

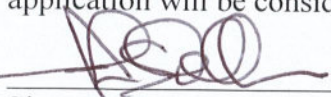
- Dining room  Bar Service  Drive-thru
- Entertainment  Stage  DJ Booth
- Light Duty auto repair  Heavy Duty auto repair
- Car Wash Facility  New Auto Sales  Used Auto Sales

Has owner obtained or applied for a Certificate of Use:  Yes  No

**DECLARATION:**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

 MEMBER  
Signature of CURRENT PROPERTY OWNER Date 9/8/2021  
(or owner's LEGAL representative)

John Dellas MEMBER DB REAL ESTATE CRAZE LLC  
PRINT NAME OF PROPERTY OWNER

**\*Please note that if referrals are necessary for this application, additional copies of all required materials will be requested.**

**FOR STAFF USE ONLY**

\*\*\*\*\*

**REFERRAL NEEDED**

- ONONDAGA COUNTY PLANNING BOARD
- SYRACUSE LANDMARK PRESERVATION BOARD (This project is located within \_\_\_\_\_ Historic District; is listed individually in the National Register of Historic Places; is Eligible for inclusion in the National Register of Historic Places; or is architecturally significant).
- OTHER CITY/COUNTY/STATE AGENCY OR DEPARTMENT(S) \_\_\_\_\_







TYPICAL LIGHTING HEIGHTS FOR STUDIOS (INTERIOR USE ONLY)					
L2402 / LATER (OVER EACH SIDE)					
STUDIO SIZE	25' 0"	22' 0"	20' 0"	CHASE WALLS	BASED ON 25' 0" STUDIOS
15'-0" STUDIOS	9'-6"	—	—	—	PROVIDE VERTICAL CROSS BRACING 2-1/2" ST. 55100 AT 4'-0" O.C. MAX IN 3/8" PLYWOOD FRAMING SCREENS W/SL AT RATED WALLS / JOINTS
2-1/2" STUDIOS	12'-6"	13'-0"	13'-0"	13'-6"	—
3-5/8" STUDIOS	16'-0"	11'-3"	11'-11"	22'-4"	—
4" STUDIOS	11'-3"	13'-6"	14'-2"	—	—
6" STUDIOS	20'-0"	25'-3"	26'-1"	—	—

- GENERAL NOTES**
- NOT USED
  - ALL RATED PARTITIONS TO RECEIVE PRESTRESSING AT METAL DECK FLUTES. TYPICAL (WHERE APPLICABLE)
  - METAL STUD FRAMING SHALL BE 1" O.C. UNLESS NOTED OTHERWISE
  - ALL PARTITIONS THAT EXTEND TO UNDERSIDE OF DECK SHALL RECEIVE DEFLECTION TRACK (1" DEFLECTION TYPICAL)
- 1**  
T-1  
NO SCALE

**VERIFICATION OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION**

THESE DRAWINGS REPRESENT A DESIGN CONTROL PLAN OF EXISTING CONDITIONS AND ARE PROVIDED TO THE OWNER FOR GENERAL PLANNING PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT DRAWINGS TO BE 100% ACCURATE. EXISTING CONDITIONS SHOULD BE VERIFIED BY CONTRACTOR AT THE OF DEMOLITION & RECONSTRUCTION. CONTRACTOR TO NOTIFY ARCHITECT OF ANY VARIATIONS/CHANGES.

**OVERALL GENERAL NOTES**

THESE NOTES REFER TO GENERAL CONTRACT UNLESS OTHERWISE NOTED. ALL WORK SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND ENERGY CODES.

**SITE / BUILDING RELATED NOTES**

- General Contractor shall coordinate w/ Owner site access, material storage, dumpster location, parking and security.
- General Contractor shall erect Signs, Construction Barriers, etc. to maintain a safe working environment.
- Each prime sub-contractor is responsible for obtaining and paying for required permits and scheduling all required inspections.
- Coordinate with Owner all utility interruptions and/or connections. All associated utility companies shall be contacted prior to any subsurface digging and/or required actions.
- All work shall be performed in accordance with the State Building Code / Energy Code and all other local and labor laws having jurisdiction.
- General Contractor shall be responsible for bracing and shoring of structure as required throughout the entire construction period. Contractor shall verify all conditions and dimensions prior to beginning work and shall notify the owner / Architect of any discrepancy.
- Contractor shall be responsible for any variation or deviations from the plans without written confirmation from the architect.
- General Contractor shall dispose of all construction debris and/or demolition materials in a safe and timely manner.

**2**  
T-1  
NO SCALE

**NEW YORK STATE BUILDING CODE REVIEW**

Storage permit will be obtained for new signs, if any. (Design intent will be to conform overall size to zoning limitations)

- Occupancy Classification Existing: A-2 (Restaurant)
- Construction Classification: Type III
- Building / Project Area (square feet): 5,886SF / 1,939 SF
- Existing building is NOT SPRINKLERED
- Number of Occupants: 51 persons (calculations based on following: Occupant Load Calculations: ASSEMBLY, unaccompanied: 7859/7959 SF = 59 Persons; KITCHEN, COMMERCIAL: 200 SROGS, Total Kitchen and Service Area = 4759 SF / 200SF/Person = 23 Persons; Storage and Mechanical Spaces: 1,200/200SF/Person = 6 Persons; Number of Exits Required for Area 2 (2 provided): 1 Maximum Travel Distance to Exit: 250 Feet; 6 Minimum Width of Exit Door Opening: 36"
- Maximum Length of Dead End Corridor: 20 Feet
- Minimum Area of Corridor: 44 sq. ft.
- Minimum Width of Corridor: 44 inches
- Plumbing Fixtures: (A-2) TOTAL NUMBER OF OCCUPANTS: 51  
A. Water closets: 1 per 25 ft<sup>2</sup> / 1 per 25 ft<sup>2</sup> (2 provided)  
B. Lavatories: 1 per 40 ft<sup>2</sup> / 1 (2 provided)  
C. Service sink: 0 (1 provided in building)  
D. Drinking Fountains: 1 per 100 (three water to be provided)  
SEPARATE FACILITIES FOR EACH SEX: (2) REQUIRED

**DRAWING RELATED NOTES**

- Follow written dimensions on drawings and details. Questions concerning dimensions are to be directed to the Architect. "Do Not Scale Drawing" First verify all existing dimensions. Existing Dimensions shown are +/-
- All architectural dimensions are to finish face of stud (CM) for new work and face of GNB in existing construction unless otherwise indicated.
- Refer to all drawings and details for partition types and locations.
- All studs, furring and lath to be 1" o.c. unless otherwise noted.
- Use type X GNB for all partitions.
- All new door frames shall be located 4" from the face of metal stud or adjacent wall, unless otherwise noted. Provide double 20 ga studs at jacks.

**3**  
T-1  
NO SCALE

**HVAC GENERAL NOTES**

- DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. IT IS NOT INTENDED TO SPECIFY OR SHOW EVERY OFFSET, FITTING OR COMPONENT. HOWEVER, CONTRACT DOCUMENTS REQUIRE COMPONENTS AND MATERIALS WHETHER OR NOT INDICATED OR SPECIFICALLY SPECIFIED TO MAKE THE SYSTEMS BEING INSTALLED COMPLETE, CODE COMPLIANT, TESTED AND OPERATIONAL.
- CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL MATERIALS, EQUIPMENT, METHODS OF INSTALLATION, REMOVALS AND DISPOSAL SHALL BE IN ACCORDANCE WITH THE STANDARDS, REGULATIONS, CODES, ORDINANCES, AND LAWS OF LOCAL, STATE, AND FEDERAL GOVERNMENTS, AND OTHER AUTHORITIES THAT HAVE LAWFUL JURISDICTION.
- PERFORM WORK, PROVIDE MATERIALS AND EQUIPMENT FOR SYSTEMS SHOWN, SPECIFIED AND DESCRIBED ON DRAWINGS. COMPLETELY COORDINATE ALL TRADES OF THIS CONTRACT AND PROVIDE COMPLETE AND FULLY FUNCTIONAL INSTALLATION. ALL WORK IN THIS SET TO BE COMPLETED UNDER THIS CONTRACT UNLESS OTHERWISE INDICATED.
- PROTECT ALL EXISTING AND NEW BUILDING ELEMENTS (INSTALLED BY OTHER CONTRACTS) FROM DAMAGE. CONTRACTOR SHALL RESTORE ALL DAMAGED ELEMENTS TO ORIGINAL OR BETTER CONDITION.
- WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT NEAT, RECTILINEAR APPEARANCE WHEN COMPLETED. MAINTAIN MAXIMUM HEAD ROOM AT ALL TIMES.
- UNLESS OTHERWISE NOTED, MATERIALS AND EQUIPMENT SHALL BE NEW AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MAINTAIN MANUFACTURER'S EQUIPMENT CLEARANCES.
- CONTRACTOR IS RESPONSIBLE FOR ALL WORK RELATED TO ISOLATING SHUTTING DOWN, DRAINING, FILLING AND TESTING SYSTEMS TO ALLOW FOR COMPLETION OF WORK. INTERRUPTIONS TO EXISTING SERVICES AND SYSTEMS SHALL BE AS SHORT AS POSSIBLE AND AT A TIME AND DURATION APPROVED BY THE OWNER AND UTILITY AS APPLICABLE. INCLUDE ALL PREMIUM TIME ASSOCIATED WITH INTERRUPTIONS. ALL SYSTEM INTERRUPTIONS SHALL BE SCHEDULED WITH OWNER, UTILITY AND COORDINATED WITH OTHER TRADE WORK.
- ALL EQUIPMENT, WIRING, INSULATION ETC. INSTALLED IN HVAC AIR PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR SMOKE AND COMBUSTIBILITY.
- SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS, PARTITIONS AND FLOORS WITH UL RATED MATERIALS (SMETHODS EQUIVALENT TO FIRE RATINGS OF ASSEMBLY).
- PROVIDE PROPER ACCESS TO EQUIPMENT THAT REQUIRES INSPECTION, REPLACEMENT OR REPAIR. ACCESS PANELS/DOORS SHALL BE A MINIMUM OF 12"x12", UNLESS OTHERWISE NOTED.
- DO NOT SUPPORT EQUIPMENT FROM SUSPENDED CEILING. ALL SUPPORT SHALL BE FROM BUILDING STRUCTURE OR FROM CEILING SUSPENSION SYSTEM WHICH HAS BEEN REINFORCED. SUPPORTS SHALL BE SELECTED AND INSTALLED TO PROVIDE A VIBRATION FREE INSTALLATION.
- PAINT ALL EXPOSED DUCTWORK TO MATCH EXISTING.
- DO NOT RUN FLEX DUCT IN EXPOSED AREAS.

**GENERAL SAFETY NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL REQUIRED BARRIERS, SHORINGS, BRACINGS, TEMPORARY ENCLOSURES, ETC. TO PROTECT WORKMAN AND VIEWERS OF THE GENERAL PUBLIC FROM HARM AND TO PROTECT THIS BUILDING AND ADJACENT PROPERTIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS WITH REGARDS TO THE ELEVATED HEIGHTS ASSOCIATED WITH THIS PROJECT AND ALL HEAVY REMOVALS REQUIRED AT ELEVATED AND NON-ELEVATED HEIGHTS TO PROTECT PROPERTY AND PERSONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH AND SAFETY OF WORKERS AT THE CONSTRUCTION SITE. OSHA REGULATIONS SHALL BE IN EFFECT AND FOLLOWED.
- REMOVE ALL CONSTRUCTION AND DEMOLITION DEBRIS FROM JOB SITE DAILY. MAKE JOB PREMISES CLEAN AT COMPLETION OF PROJECT.
- ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY AND WITHOUT SPECIAL KNOWLEDGE OR EFFORT.

**ENGINEERING CONSULTANTS**

- ENGINEER/CONSULTANTS SHALL COORDINATE THEIR DESIGN WITH THE ARCHITECTURAL CONTRACT DOCUMENTS. THEY SHALL BE RESPONSIBLE FOR THE DESIGN LAYOUT, DOCUMENTATION & STAMPING OF THEIR CONTRACT DOCUMENTS. THE ENGINEERS SHALL BE LICENSED TO PRACTICE IN THE STATE OF NEW YORK AND CARRY CURRENT PROFESSIONAL ERRORS & OMISSIONS INSURANCE. THE DOCUMENTS SHALL COMPLY WITH APPLICABLE CODES TO THEIR RESPECTIVE TRADE (E. STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER, FIRE ALARM, ETC.).
- IF P. CONSULTANTS SHALL COORDINATE THEIR RESPECTIVE SYSTEMS WITH THE OTHER TRADES TO MINIMIZE CONFLICTS WITH THE HVAC, PLUMBING ELECTRICAL AND SPRINKLERS.

**OWNER / ARCHITECT CONTRACT LIABILITY**

- CONTRACT TERMS OF THE OWNER ARCHITECT AIA B-141 AGREEMENT SHALL APPLY TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS.
- THE OWNER REALIZES THAT THE DESIGN/CONSTRUCTION PROCESS IS FLUID AND CHANGE CAN BE INITIATED BY THE OWNER, TENANT, CONSULTANTS, CONTRACTOR, SUB-CONTRACTORS, SUPPLIERS, ARCHITECT, ETC. THE DESIGN TEAM WILL ATTEMPT TO IDENTIFY AND COORDINATE ALL CHANGE ORDERS, ALTERATIONS, CLARIFICATIONS, REVISIONS, SUBSTITUTIONS, ETC. THE DESIGN TEAM RECOMMENDS THE OWNER CARRY A DESIGN CONTINGENCY IN THE CONSTRUCTION BUDGET TO COVER AN ERROR OR OMISSION BY THE DESIGN TEAM.
- TO THE FULLEST EXTENT PERMITTED BY LAW AND NOT WITHSTANDING ANY OTHER PROVISION OF THE AGREEMENT, THE TOTAL LIABILITY, IN THE AGGREGATE, OF THE CONSULTANT AND THE CONSULTANTS' OFFICERS, DIRECTORS, PARTNERS, EMPLOYEES AND SUB CONSULTANTS, AND ANY OF THEM, TO THE CLIENT AND ANYONE CLAIMS BY AND THROUGH THE CLIENT FOR ANY AND ALL CLAIMS, LOSSES, COSTS OR DAMAGES, INCLUDING ATTORNEY'S FEES AND COSTS AND EXPERT-WITNESS FEES AND COSTS OF ANY NATURE WHATSOEVER OR CLAIMS EXPENSES RESULTING FROM OR IN ANY WAY RELATED TO THE PROJECT OR THE AGREEMENT FROM ANY CAUSE OR CAUSES SHALL NOT EXCEED THE TOTAL COMPENSATION RECEIVED BY THE CONSULTANT UNDER THIS AGREEMENT, OR THE TOTAL AMOUNT OF \$100,000.00, WHICHEVER IS LESS. IT IS INTENDED THAT THIS LIMITATION APPLY TO ANY AND ALL LIABILITY OR CAUSE OF ACTION HOWEVER ARISING OR ARISING, UNLESS OTHERWISE PROHIBITED BY LAW.

**CONTRACTOR ADMINISTRATION**

- SHOP DRAWINGS: SUB CONTRACTORS/ FABRICATORS MUST SEND SHOP DRAWINGS TO THE ARCHITECT FOR DISPERION TO RESPECTIVE CONSULTANTS.
- SHOP DRAWINGS SHOULD INCLUDE BUT NOT BE LIMITED TO, FRAMING, WSC, STEEL FABRICATIONS, WINDOVS, STORE FRONTS, LIGHTINGS, DOOR-HARDWARE, ETC.
- STEEL SHOP DRAWING REVIEW SHALL BE SENT TO THE LICENSED STRUCTURAL ENGINEER AND THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

**4**  
T-1  
NO SCALE

**GENERAL SAFETY NOTES**

**GENERAL DEMOLITION NOTES - ELECTRICAL**

- DEMOLITION DRAWINGS ARE BASED ON FIELD OBSERVATION. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ENGINEER.
- VERIFY SCOPE OF WORK. CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO SUBMITTING A BID TO DETERMINE THE SCOPE OF THE WORK, AND TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS THAT WILL AFFECT THEIR WORK AND, THEREFORE, THEIR BID.
- UNLESS NOTED OTHERWISE, EXISTING ELECTRICAL EQUIPMENT SHOWN ON THESE PLANS ARE A PART OF CONTRACT. TO MAINTAIN DRAWING CLARITY NOT ALL EXISTING ELECTRICAL EQUIPMENT HAS BEEN SHOWN. FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT/ENGINEER OF ANY CONFLICTS.
- UNLESS NOTED OTHERWISE, REMOVE ALL ELECTRICAL ITEMS SHOWN ON THESE PLANS AS INDICATED BY CROSS HATCHED LINES AND/OR NOTES.
- UNLESS NOTED OTHERWISE, DEMOLITION OF ELECTRICAL EQUIPMENT/DEVICES INCLUDES REMOVAL OF CIRCUITRY BACK TO ASSOCIATED SOURCE/PANEL. THIS INCLUDES REMOVAL OF THE DEVICE, WIRING, CONDUIT, BOXES, CONTROL DEVICES, ETC.
- EXISTING CIRCUIT BREAKERS ASSOCIATED WITH ELECTRICAL EQUIPMENT SCHEDULED FOR DEMOLITION SHALL REMAIN FOR SPARES UNLESS REMOVAL IS REQUIRED TO MAKE ADDITIONAL SPACE (IN EXISTING PANEL/BOARDS) FOR NEW CIRCUIT BREAKERS.
- MAINTAIN THE ELECTRICAL INTEGRITY OF ALL EXISTING BRANCH CIRCUITS INTERRUPTED BY REMOVAL WORK. PROVIDE ALL WIRING, CONDUIT AND HARDWARE REQUIRED TO MAINTAIN CONTINUITY OF ELECTRICAL EQUIPMENT REMAINING ON EXISTING BRANCH CIRCUITS NOT BEING COMPLETELY REMOVED OR OUTSIDE WORK THE WORK AREA.
- UNLESS NOTED OTHERWISE, REMOVE EXISTING ELECTRICAL DEVICES, AND ASSOCIATED CIRCUITRY, LOCATED ON OR IN WALLS SCHEDULED FOR REMOVAL REFER TO ARCHITECTURAL DRAWINGS FOR DEMOLITION COORDINATION.
- UNLESS NOTED OTHERWISE, REMOVE EXISTING ELECTRICAL DEVICES, AND ASSOCIATED CIRCUITRY, LOCATED ON OR IN CEILINGS SCHEDULED FOR REMOVAL, TO MAINTAIN DRAWING CLARITY. EXISTING CEILINGS SCHEDULED FOR DEMOLITION HAVE NOT BEEN IDENTIFIED ON THIS DRAWING. REFER TO ARCHITECTURAL DRAWINGS FOR DEMOLITION COORDINATION.
- ALL CONDUITS STUBBED THRU FLOOR SERVING ITEMS TO BE REMOVED, AND NOT SHOWN OR REQUIRED TO BE REUSED, SHALL BE CUT OFF FLUSH, SLAB LEVEL WITH CONCRETE AFTER CONDUCTORS ARE REMOVED BACK TO SOURCE.
- PORTIONS OF FEEDERS RISERS WHICH REQUIRE REMOVAL DUE TO DEMOLITION WORK, BUT WHICH ARE REQUIRED TO REMAIN ENERGIZED, SHALL BE CUT AT ACCESSIBLE LOCATIONS, REROUTED AND RECONNECTED. EXTEND EXISTING FEEDERS IN CONDUCTOR SIZE (IMPACTY RATING, RACEWAY SIZE, ETC.)
- CAREFULLY REMOVE, PROTECT AND STORE ALL EQUIPMENT TO BE REUSED IN A SAFE PLACE UNTIL READY FOR REINSTALLATION. CLEAN MATERIALS BEFORE REINSTALLATION AND ENSURE EQUIPMENT IS STILL FULLY OPERATIONAL.
- WHERE POSSIBLE, EXISTING CONDUIT/RACEWAYS ASSOCIATED WITH REMOVED EQUIPMENT AND WIRING, MAY BE RE-USED FOR NEW CIRCUITING. EXISTING CONDUIT/RACEWAYS MUST BE IN GOOD CONDITION, AND IN COMPLIANCE WITH RE-SPECIFICATION REQUIREMENTS. NOTIFY ENGINEER PRIOR TO REUSING.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OR RELOCATION OF ITEMS NOT SHOWN ON THESE DRAWINGS TO ACCOMMODATE THE RENOVATIONS. CONTRACTOR SHALL INCLUDE, IN BASE BID, AN ALLOWANCE FOR UNFORESEEN CONDITIONS WHEN CONCEALED WORK IS EXPOSED. CLAIMS FOR ADDITIONAL DEMOLITION WORK WILL NOT BE ACCEPTED EXCEPT FOR CERTAIN CASES CONSIDERED JUSTIFIABLE BY THE ARCHITECT/ENGINEER.

**7**  
T-1  
NO SCALE

**ELECTRICAL GENERAL DEMOLITION NOTES**

**TESTING AND BALANCING**

- PERFORM BALANCING PROCEDURES ON EACH SYSTEM ACCORDING TO THE PROCEDURES CONTAINED IN REEBS' "PROCEDURAL STANDARDS FOR TESTING, ADJUSTING, AND BALANCING OF ENVIRONMENTAL SYSTEMS" AND SMACNA'S "HVAC SYSTEMS - TESTING, ADJUSTING, AND BALANCING". SUBMIT PRELIMINARY REPORT TO ENGINEER FOR REVIEW AND COMMENT. SUBMIT FINAL REPORT AFTER AND NOTED DEFICIENCIES HAVE BEEN CORRECTED.

**8**  
T-1  
NO SCALE

**HVAC TESTING & NOTES**

**GENERAL PLUMBING NOTES**

- DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. IT IS NOT INTENDED TO SPECIFY OR SHOW EVERY OFFSET, FITTING OR COMPONENT. HOWEVER, CONTRACT DOCUMENTS REQUIRE COMPONENTS AND MATERIALS WHETHER OR NOT INDICATED OR SPECIFICALLY SPECIFIED TO MAKE THE SYSTEMS BEING INSTALLED COMPLETE, CODE COMPLIANT, TESTED AND OPERATIONAL.
- THE EXISTING BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL KEEP ALL EXISTING SYSTEMS IN OPERATION AT ALL TIMES. COORDINATE AND SCHEDULE VARIOUS CONSTRUCTION PHASES WITH OTHER TRADES AND OWNER.
- CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL MATERIALS, EQUIPMENT, METHODS OF INSTALLATION, REMOVALS AND DISPOSAL SHALL BE IN ACCORDANCE WITH THE STANDARDS, REGULATIONS, CODES, ORDINANCES, AND LAWS OF LOCAL, STATE, AND FEDERAL GOVERNMENTS, AND OTHER AUTHORITIES THAT HAVE LAWFUL JURISDICTION.
- PERFORM WORK, PROVIDE MATERIALS AND EQUIPMENT FOR SYSTEMS SHOWN, SPECIFIED AND DESCRIBED ON DRAWINGS. COMPLETELY COORDINATE ALL TRADES OF THIS CONTRACT AND PROVIDE COMPLETE AND FULLY FUNCTIONAL INSTALLATION. ALL WORK IN THIS SET TO BE COMPLETED UNDER THIS CONTRACT UNLESS OTHERWISE INDICATED.
- PROTECT ALL EXISTING AND NEW BUILDING ELEMENTS FROM DAMAGE. CONTRACTOR SHALL RESTORE ALL DAMAGED ELEMENTS TO ORIGINAL OR BETTER CONDITION.
- WORK SHALL PRESENT NEAT, RECTILINEAR APPEARANCE WHEN COMPLETED. MAINTAIN MAXIMUM HEAD ROOM AT ALL TIMES. DO NOT RUN PIPES EXPOSED UNLESS SHOWN AND NOTED TO BE EXPOSED ON DRAWINGS.
- MATERIALS AND EQUIPMENT SHALL BE NEW AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MAINTAIN MANUFACTURER'S EQUIPMENT CLEARANCES.
- CONTRACTOR IS RESPONSIBLE FOR ALL WORK RELATED TO ISOLATING, SHUTTING DOWN, DRAINING, FILLING AND TESTING SYSTEMS TO ALLOW FOR COMPLETION OF WORK. INTERRUPTIONS TO EXISTING SERVICES AND SYSTEMS SHALL BE AS SHORT AS POSSIBLE AND AT A TIME AND DURATION APPROVED BY THE OWNER AND UTILITY AS APPLICABLE. INCLUDE ALL PREMIUM TIME ASSOCIATED WITH INTERRUPTIONS. ALL SYSTEM INTERRUPTIONS SHALL BE SCHEDULED WITH OWNER, UTILITY AND COORDINATED WITH OTHER TRADE WORK.
- SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS, PARTITIONS AND FLOORS WITH UL RATED MATERIALS (METHODS EQUIVALENT TO FIRE RATINGS OF ASSEMBLY).
- PROVIDE ACCESS DOORS FOR ALL CONCEALED VALVES AND FOR ALL OTHER APPURTENANCES REQUIRING SERVICE OR MAINTENANCE. COORDINATE LOCATIONS WITH GC.
- FOR SANITARY AND DRAIN PIPING, PROVIDE CLEANOUTS AT EACH CHANGE OF DIRECTION GREATER THAN 45 DEGREES. EVEN IF NOT INDICATED ON PLANS, CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
- PROVIDE SLEEVES AND ESCUTCHEON PLATES AT ALL PENETRATIONS.
- UNLESS OTHERWISE NOTED, SANITARY 2" AND SMALLER SHALL SLOPE IN DIRECTION OF FLOW; 1" PER FOOT. MINIMUM. SANITARY 3" AND LARGER SHALL SLOPE IN DIRECTION OF FLOW; 1/8" PER FOOT. MINIMUM.
- PERFORM ALL CUTTING AND PATCHING NECESSARY REQUIRED FOR THE INSTALLATION OF THE PLUMBING SYSTEMS SHOWN. PROTECT ADJACENT BUILDING STRUCTURE, FINISHES, AND ADJACENT MATERIALS. PROVIDE TEMPORARY PARTITIONS ADEQUATE TO PREVENT THE SPREAD OF DUST TO ADJACENT SPACES. PATCH AND REPAIR ALL SURFACES AFFECTED BY THE WORK INDICATED TO MATCH ADJACENT FINISH AND CONSTRUCTION.
- BRANCH VENT CONNECTIONS TO EXISTING VENT PIPING SHALL BE ABOVE THE FLOOD RIM OF THE FIXTURE SERVED.

**5**  
T-1  
NO SCALE

**PLUMBING GENERAL NOTES**

**GENERAL RENOVATION NOTES - ELECTRICAL**

- UNLESS NOTED AS EXISTING OR PROVIDED BY OTHERS, CONTRACTOR SHALL PROVIDE ALL MATERIALS SHOWN ON DRAWINGS. ALL MATERIALS PROVIDED SHALL BE NEW, UNUSED CONDITION.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE PROVIDED WITH MINIMUM DISRUPTION TO THE BUILDING SYSTEMS AND STAFF. CONTINUOUS OPERATION OF THE BUILDING SYSTEMS, OUTSIDE OF WORK AREA, SHALL BE MAINTAINED THROUGHOUT THE ENTIRE PROJECT. TEMPORARY SHUTDOWN OF SYSTEMS SHALL ONLY BE ALLOWED WITH WRITTEN CONSENT OF OWNER. EXISTING ALARM AND EMERGENCY SYSTEMS SHALL NOT BE DISRUPTED AT ANY TIME DURING THE PROJECT.
- REMOVE & REINSTALL EXISTING CONSTRUCTION (CEILING, LIGHTING, ELECTRICAL EQUIPMENT, FIRE ALARM DEVICES, FURNISHINGS, ETC.) AS NECESSARY TO COMPLETE THE REMOVALS & RENOVATION WORK REQUIRED BY THE DRAWINGS & SPECIFICATIONS. REPLACE ANY ITEMS DAMAGED BY OR DUE TO THIS REMOVAL & REINSTALLATION WITH NEW ITEMS TO MATCH EXISTING (APPLIES TO AREAS WITHIN & OUTSIDE OF THE PROJECT AREA).
- IN AREAS WHERE CEILING IS BEING REMOVED, EXISTING CONDUITS AND CABLES WHICH ARE NOT INDEPENDENTLY SUPPORTED ABOVE THE CEILING SHALL BE INDEPENDENTLY SUPPORTED FROM THE STRUCTURE ABOVE USING SPECIFIC METHODS.
- FLUSH MOUNT ALL WIRING DEVICES, LIGHTING CONTROLS, TELECOMMUNICATION OUTLETS, FIRE ALARM DEVICES, ETC. WITHIN WALLS AND FLOORS. CUT/CHANNEL EXISTING ELECTRICAL WALLS AS REQUIRED FOR FLUSH INSTALLATION OF WALLBOX AND CONDUIT INSTALLATIONS.
- WITH THE EXCEPTION OF ELECTRICAL CLOSETS & MECHANICAL ROOMS, ALL CONDUITS, RACEWAYS, ELECTRICAL GOOTS, CABLES & WIRING SHALL BE CONCEALED ABOVE ACCESSIBLE CEILINGS, IN WALLS, OR BENEATH FINISHED FLOORS.
- COVERS ASSOCIATED WITH JUNCTION AND PULL BOXES SHALL BE READILY ACCESSIBLE.
- PROVIDE PULL BOXES WHERE REQUIRED BY CODE AND WHERE NECESSARY FOR CONDUCTOR INSTALLATION. PROVIDE PULL BOXES EVERY 100' FOR ALL EMPTY RACEWAY RUNS. PRIOR TO INSTALLATION OF PULL BOXES, COORDINATE WITH OTHER TRADES.
- PROVIDE SEPARATE RACEWAYS AND BOXES FOR CONDUCTORS OF NORMAL AND EMERGENCY CIRCUITS.
- DO NOT COMBINE MORE THAN THREE PHASE CONDUCTORS, THREE NEUTRAL CONDUCTORS PLUS THREE GROUND CONDUCTORS, IN ANY ONE BRANCH CIRCUIT CONDUIT, UNLESS OTHERWISE INDICATED ON DRAWINGS.
- THE USE OF SURFACE RACEWAY IS PROHIBITED.
- THE USE OF SHARED NEUTRALS IN LIGHTING AND RECEPTACLE BRANCH CIRCUITS IS PROHIBITED. PROVIDE SEPARATE NEUTRAL AND GROUND FOR EVERY CIRCUIT.
- PROTECT EXISTING SURFACES.
- WALK THRU WITH OWNER REPRESENTATIVE AND VERIFY ALL ELECTRICAL DEVICE LOCATIONS PRIOR TO INSTALLATION.
- INSTALL ALL CIRCUITRY PARALLEL OR PERPENDICULAR TO WALLS, FLOOR, AND CEILING.
- REFER TO EQUIPMENT SCHEDULE FOR EQUIPMENT CIRCUITRY, CONTROLS & ADDITIONAL INFORMATION.
- COORDINATE LOCATIONS AND MOUNTING HEIGHTS OF ELECTRICAL EQUIPMENT/DEVICES WITH ARCHITECTURAL PLANS, ELEVATIONS, EQUIPMENT LAYOUTS, AND WITH OTHER DIVISIONS PRIOR TO INSTALLATION. CORRECT ANY INACCURACY RESULTING FROM FAILURE TO DO SO WITHOUT COST TO OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SUPPORT HARDWARE FOR SECURELY FASTENING THE ELECTRICAL CONTROL DEVICES AND ENCLOSURES TO THE BUILDING STRUCTURE. THE REQUIRED HARDWARE INCLUDES, BUT IS NOT LIMITED TO, INTERMEDIATE STEEL ANGLE, UNISTRUT, FASTENERS, JOISTS CLAMPS, ETC. MOUNT STARTERS, VFDs, DISCONNECTS, RELAYS, AND OTHER ELECTRICAL CONTROL DEVICES AND ENCLOSURES AT LOCATIONS INDICATED IN ELECTRICAL EQUIPMENT & CONTROL SCHEDULE(S). ALLOW MAINTENANCE ACCESS AND SERVICE SPACE AT EACH LOCATION.
- WHERE NEW CIRCUIT BREAKERS ARE REQUIRED FOR INSTALLATION IN EXISTING ELECTRICAL PANELS, CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS WHICH ARE COMPATIBLE WITH EXISTING ELECTRICAL PANELS. MATCH FRAME SIZES, IAC RATINGS, ETC.
- UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL PROVIDE COMPLETE, TYPE-WRITTEN, AND UP-TO-DATE PANELBOARD DIRECTORIES FOR ALL PANELBOARDS (NEW AND EXISTING) AFFECTED BY THIS PROJECT. PROVIDE OWNER WITH TWO COPIES OF UPDATED PANELBOARD CIRCUIT BREAKER DIRECTORIES.
- EACH RECEPTACLE, SWITCH AND JUNCTION BOX, PROVIDED OR ALTERED UNDER THIS CONTRACT, SHALL BE LABELED WITH THE CORRESPONDING POWER PANEL NAME AND CIRCUIT BREAKER NUMBER. ALL LABELING SHALL BE TYPEWRITTEN USING A LABEL MAKER AND SHALL BE PERMANENTLY AFFIXED TO EACH FACEPLATE. HANDWRITTEN LABELS WILL NOT BE ACCEPTED. PRIOR TO START OF LABELING, MEET WITH OWNER TO DETERMINE LABELING SCHEME TO BE UTILIZED. PROVIDE LABELING TO MEET OWNER REQUIREMENTS.
- ALL ITEMS THAT REQUIRE ACCESS, SUCH AS FOR OPERATING, CLEANING, SERVICING, MAINTENANCE, AND CALIBRATION, SHALL BE EASILY AND SAFELY ACCESSIBLE BY PERSONS STANDING AT FLOOR LEVEL, OR STANDING ON PERMANENT PLATFORMS, WITHOUT THE USE OF PORTABLE LADDERS. EXAMPLES OF THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, ALL TYPES OF SWITCHES, PANELBOARDS, OCCUPANCY SENSORS, CONTROL DEVICES, ETC. PRIOR TO COMMENCING INSTALLATION WORK, REFER CONFLICTS BETWEEN THIS REQUIREMENT AND CONTRACT DRAWINGS TO OWNER FOR RESOLUTION.
- REFER TO LIGHT FIXTURE SCHEDULE ON ARCHITECTURAL REFLECTED CEILING PLAN DRAWING FOR LIGHT FIXTURE MANUFACTURER, MODEL NUMBER, CONFIGURATION, ETC.

**9**  
T-1  
NO SCALE

**ELECTRICAL GENERAL RENOVATION NOTES**

**TESTING**

- TEST SANITARY DRAINAGE AND VENT PIPING ACCORDING TO PROCEDURES OF AUTHORITIES HAVING JURISDICTION OR, IN ABSENCE OF PUBLISHED PROCEDURES, AS FOLLOWS.
  - TEST FOR LEAKS AND DEFECTS IN NEW PIPING AND PARTS OF EXISTING PIPING THAT HAVE BEEN ALTERED, EXTENDED, OR REPAIRED. IF TESTING IS PERFORMED IN SEGMENTS, SUBMIT SEPARATE REPORT FOR EACH TEST. COMPLETE WITH DIAGRAM OF PORTION OF PIPING TESTED.
  - LEAVE UNCOVERED AND UNCONCEALED NEW, ALTERED, EXTENDED, OR REPLACED DRAINAGE AND VENT PIPING UNTIL IT HAS BEEN TESTED AND APPROVED. EXPOSE WORK THAT WAS COVERED OR CONCEALED BEFORE IT WAS TESTED.
- ROUGH-IN PLUMBING TEST PROCEDURE: TEST DRAINAGE AND VENT PIPING EXCEPT OUTSIDE LEADERS ON COMPLETION OF ROUGH-IN. CLOSE OPENINGS IN PIPING SYSTEM AND FILL WITH WATER TO POINT OF OVERFLOW, BUT NOT LESS THAN 10-FOOT HEAD OF WATER. FROM 15 MINUTES BEFORE INSPECTION STARTS TO COMPLETION OF INSPECTION, WATER LEVEL MUST NOT DROP. INSPECT JOINTS FOR LEAKS.
- FINISHED PLUMBING TEST PROCEDURE: AFTER PLUMBING FIXTURES HAVE BEEN SET AND TRAPS FILLED WITH WATER, TEST CONNECTIONS AND PROVE THEY ARE GASTIGHT AND WATERTIGHT. PLUG VENT-STACK OPENINGS ON ROOF AND BUILDING DRAINS WHERE THEY LEAVE BUILDING. INTRODUCE AIR INTO PIPING SYSTEM EQUAL TO PRESSURE OF 1-INCH WG. USE U-TUBE OR MANOMETER INSERTED IN TRAP OF WATER CLOSET TO MEASURE THIS PRESSURE. AIR PRESSURE MUST REMAIN CONSTANT WITHOUT INTRODUCING ADDITIONAL AIR THROUGHOUT PERIOD OF INSPECTION. INSPECT PLUMBING FIXTURE CONNECTIONS FOR GAS AND WATER LEAKS.
- REPAIR LEAKS AND DEFECTS WITH NEW MATERIALS AND RETEST PIPING, OR PORTION THEREOF, UNTIL SATISFACTORY RESULTS ARE OBTAINED.
- PREPARE REPORTS FOR TESTS AND REQUIRED CORRECTIVE ACTION.

**6**  
T-1  
NO SCALE

**PLUMBING TESTING NOTES**

**ZAUSMER-FRISCH SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS

7000 BURDETT AVENUE, SUITE 20505 NEW YORK, NY 10019  
TEL: 212-697-1111 FAX: 212-697-1111

**PURPLE BANANA**  
746754 S. CROUSE AVE.  
SYRACUSE, NY 13210

**CODE REVIEW & GENERAL NOTES**



THE ARCHITECT CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE, FIRE CODE AND PROPERTY MAINTENANCE CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE ALL DATED 2020 AND APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS, TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE CONSTRUCTION DOCUMENTS ARE IN COMPLIANCE THERETH.

REGISTERED ARCHITECT  
020575  
NY REG. NO. DATE

IT IS A VIOLATION FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION: ALTERED BY FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

© Copyright Craig Polhamus, Architect, 2021

Date: 9-10-2021  
Scale:  
Project Number: 21044  
Drawn by: CEE

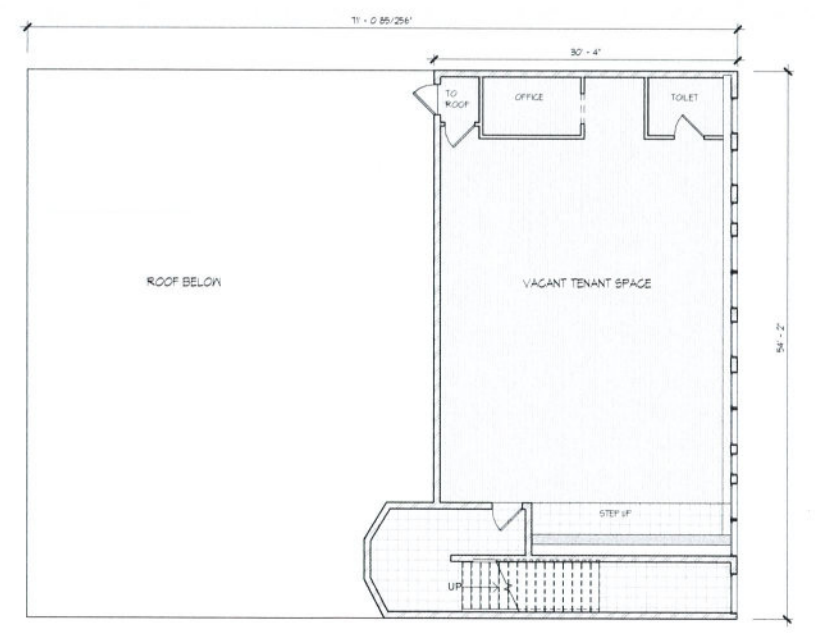
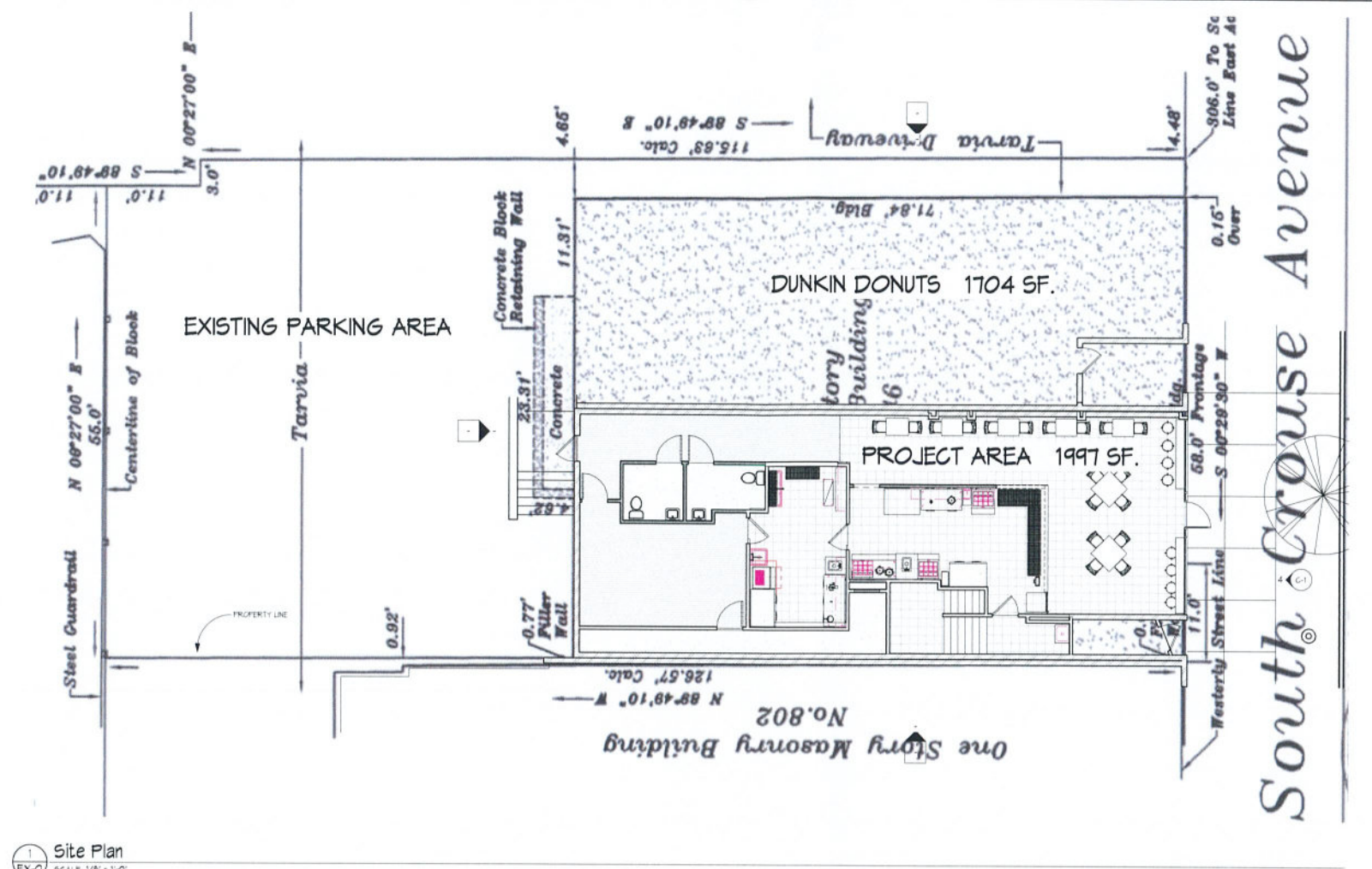
**SHEET NUMBER**  
**T-1**

REVISION	No.	Date	Revision Description

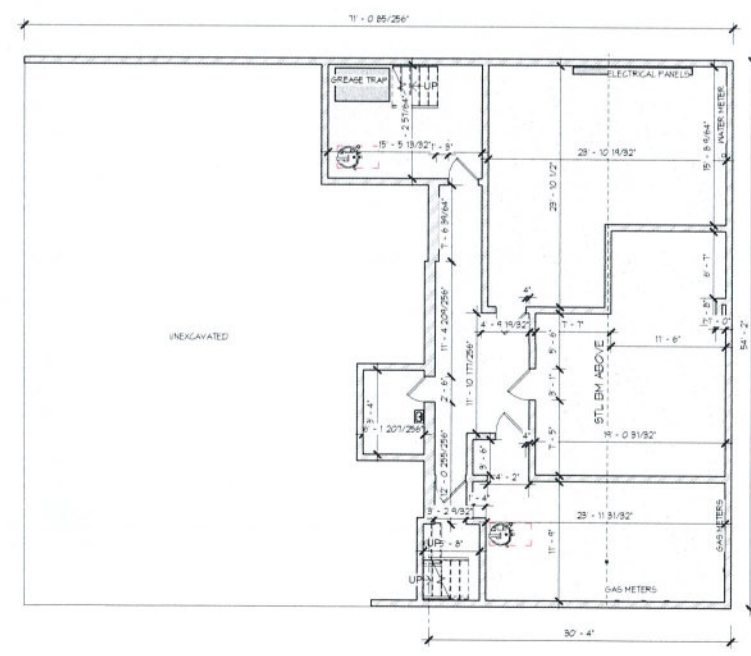








TOTAL 1669 SF



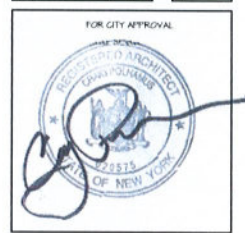
TOTAL 1130 SF

**ZAUSMER · FRISCH  
SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS

210 S. CROUSE AVENUE, SUITE 101, NEW YORK, NY 13210  
TEL: 315.487.1000 FAX: 315.487.1001

PROJECT: **PURPLE BANANA**  
746/754 S. CROUSE AVE.  
SYRACUSE, NY 13210

TITLE: **EXISTING BUILDING KEY PLANS**



THE ARCHITECT CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE, FIRE CODE AND PROPERTY MAINTENANCE CODE. THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE ALL DATED 2020 AND APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE CONSTRUCTION DOCUMENTS ARE IN COMPLIANCE THEREWITH.

REGISTERED ARCHITECT  
020575  
NY REG. NO. DATE

IT IS A VIOLATION FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

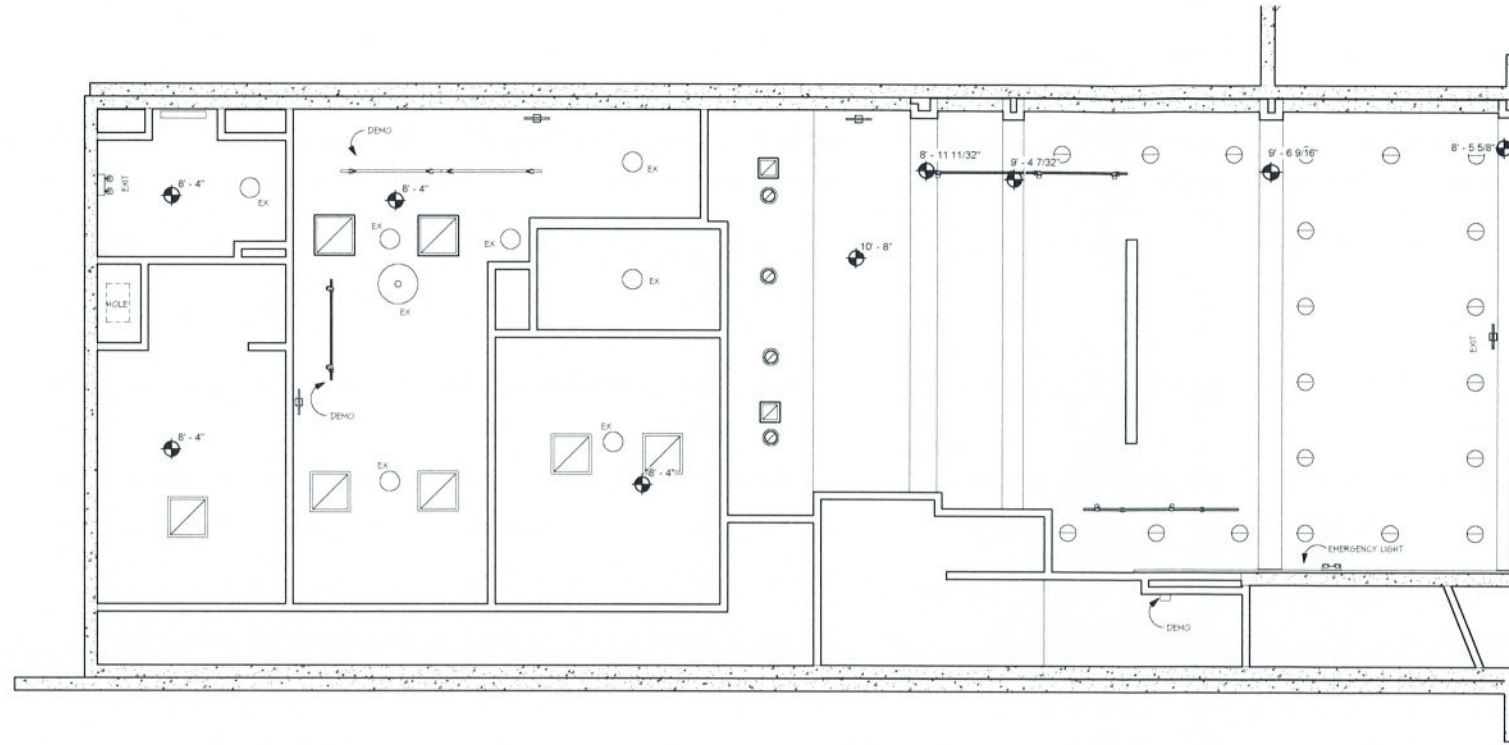
© Copyright Craig Polhamus, Architect, 2021

Date: 9-10-2021 Scale: 1/8" = 1'-0"  
Project Number: 21044 Drawn by: CEE

SHEET NUMBER	
EX-0	
REVISION	REVISION DESCRIPTION
No.	Date

08/0721





CEILING LEGEND	
[Symbol]	RETURN DIFFUSER
[Symbol]	SUPPLY DIFFUSER
[Symbol]	2x4 LIGHT
[Symbol]	2x2 LIGHT
[Symbol]	SPEAKER
[Symbol]	SMOKE DETECTOR
[Symbol]	HEAT DETECTOR
[Symbol]	PENDANT LIGHTING
[Symbol]	EMERGENCY LIGHTING

[Symbol]	EXIT SIGN
[Symbol]	RECESSED CAN
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	ELECTRICAL SWITCHING LINES (GRAPHICAL ONLY)
[Symbol]	HVAC GRILL
[Symbol]	LED LIGHT
[Symbol]	ELEVATION REFERENCE MARK
[Symbol]	EXHAUST FAN
[Symbol]	EXISTING LIGHT
[Symbol]	EXISTING TRACK LIGHTING

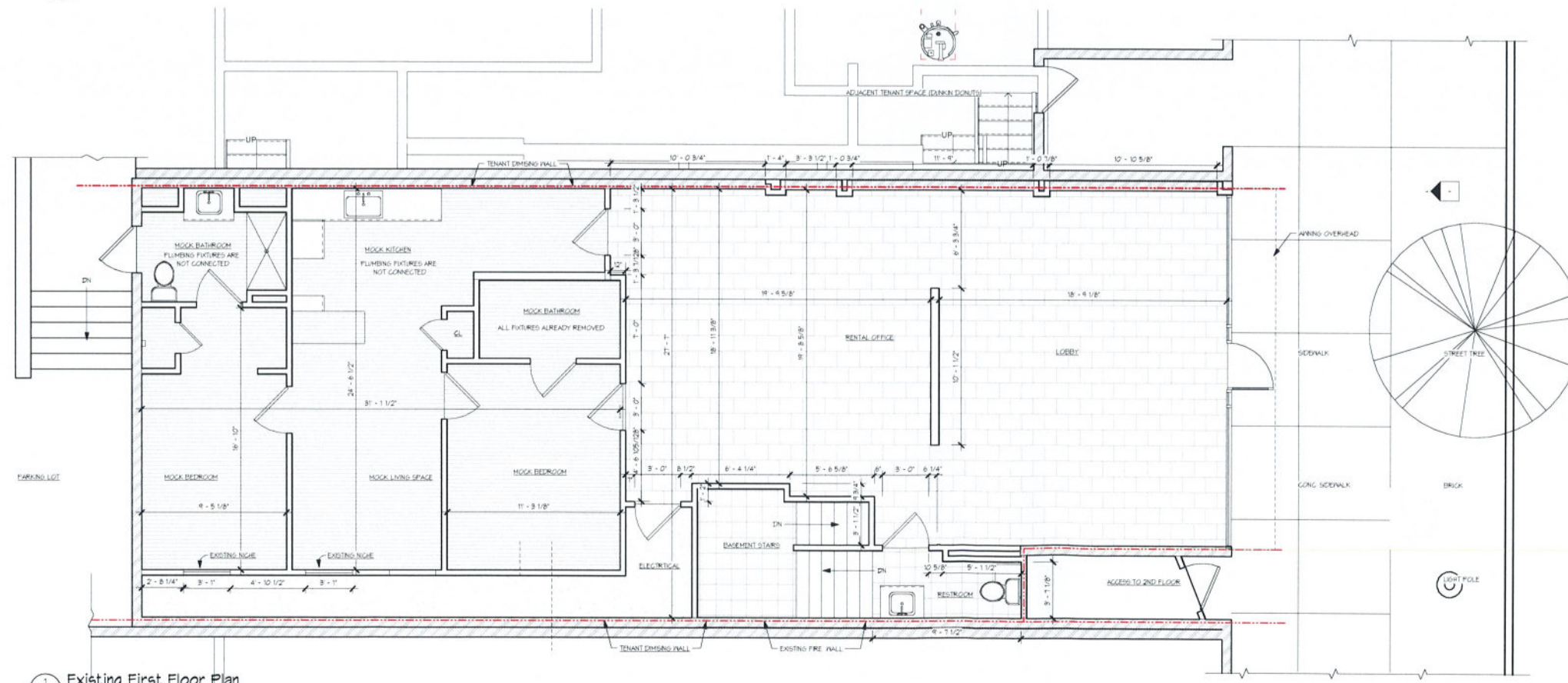
NOTE: OBJECTS DOTTED WITH DASHED LINES TO BE REMOVED

NOTE: REFER TO EQUIPMENT SUPPLIER DRAWINGS FOR EQUIPMENT INFORMATION

NOTE: ALL LIGHTING FEATURES TBD BY TENANT

CEILING LEGEND d-1  
SCALE 1/2" = 1'-0"

2 First Floor Existing RCP Plan  
EX-1 SCALE 1/4" = 1'-0"



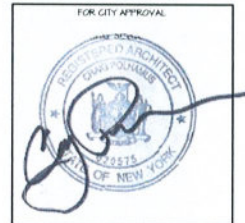
1 Existing First Floor Plan  
EX-1 SCALE 1/4" = 1'-0"

**ZAUSMER-FRISCH  
SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS

749 BURGESS AVENUE - SUITE 1004 - NEW YORK, NY 10017  
TEL: 212-693-8800 FAX: 212-693-8801

**PURPLE BANANA**  
746/754 S. CROUSE AVE.  
SYRACUSE, NY 13210

**EXISTING PLANS**



THE ARCHITECT CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE, FIRE CODE AND PROPERTY MAINTENANCE CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE ALL DATED 2020 AND APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, AND REGULATIONS, TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE CONSTRUCTION DOCUMENTS ARE IN COMPLIANCE THEREWITH.

REGISTERED ARCHITECT  
020575  
NY REG. NO. DATE

IT IS A VIOLATION FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL, AND THE NOTATION ALTERED BY FOLLOWING BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

© Copyright Craig Polhemus, Architect, 2021

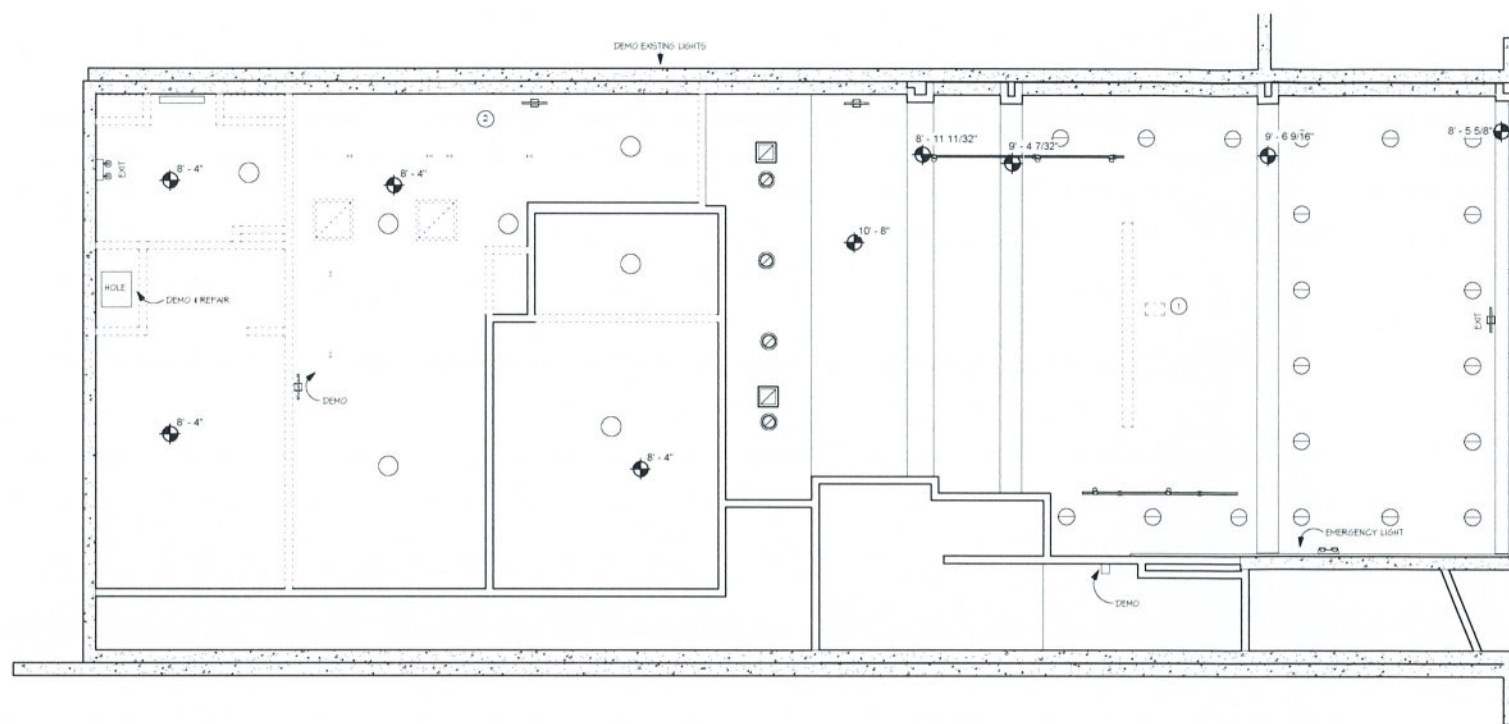
Date: 9-10-2021  
Scale: As indicated

Project Number: 21044  
Drawn by: CEE

SHEET NUMBER	
<b>EX-1</b>	
REVISION	REVISION DESCRIPTION
No.	Date

08/06/21





[Symbol]	RETURN DIFFUSER
[Symbol]	SUPPLY DIFFUSER
[Symbol]	2x4 LIGHT
[Symbol]	2x2 LIGHT
[Symbol]	SPEAKER
[Symbol]	SMOKE DETECTOR
[Symbol]	HEAT DETECTOR
[Symbol]	PENDANT LIGHTING
[Symbol]	EMERGENCY LIGHTING

[Symbol]	EXIT SIGN
[Symbol]	RECESSED CAN
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	ELECTRICAL SWITCHING LINES (GRAPHICAL ONLY)
[Symbol]	HVAC GRILL
[Symbol]	LED LIGHT
[Symbol]	ELEVATION REFERENCE MARK
[Symbol]	EXHAUST FAN
[Symbol]	EXISTING LIGHT
[Symbol]	EXISTING TRACK LIGHTING

NOTE: OBJECTS DENOTED WITH DASHED LINES TO BE REMOVED

NOTE: REFER TO EQUIPMENT SUPPLIER DRAWINGS FOR EQUIPMENT INFORMATION

NOTE: ALL LIGHTING FEATURES TIED BY TENANT

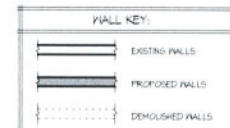
CEILING LEGEND d-1  
SCALE: 1/2" = 1'-0"

OVERALL DEMOLITION AND PATCHING NOTES:

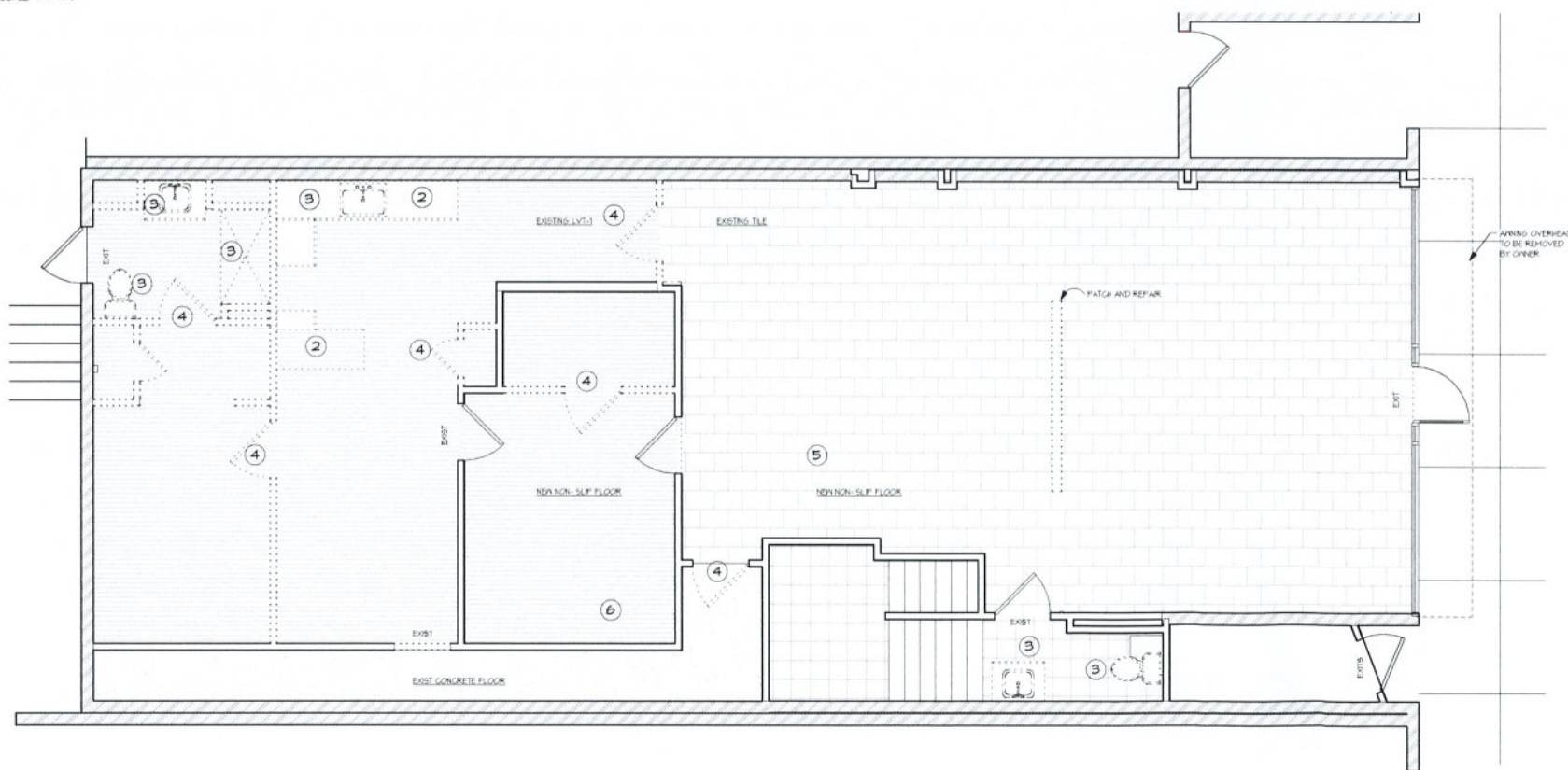
- THESE NOTES REFER TO THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED
1. Refer to all trades specific demolition notes and coordinate between trades and drawings for related work, as indicated on drawings, specifications, details and schedules.
  2. The Contractor shall provide all labor and materials required to complete the demolition removals and/or reuse of all items shown on the drawings.
  3. All work demolished shall be removed from the premises on a daily basis, except for items to be reused or returned to the Owner or as otherwise directed.
  4. If during the course of the demolition work any hazardous materials is encountered, including but not limited to asbestos, lead paint, PCB's, etc., the Contractor shall immediately cease work and notify the Architect immediately in writing. The Contractor shall insure that barriers include the migration of hazardous materials, dust, fumes, or debris. The Contractor shall also post warning signs and shall not resume work until hazardous conditions have been treated in accordance with all local regulations.
  5. Where walls have been removed General Contractor to patch to match existing adjacent undamaged finishes at floors, walls and ceiling and prepare surface to accept new finishes as scheduled. Where new work abuts existing work, new paint scheduled finish shall not only apply to new work but to existing work. If required to provide proper blend of wall finish. Terminate painting work to a natural break line where there would be no noticeable difference between the existing paint finish and the new finish.
  6. All existing interior walls to remain are to be patched, sanded, primed and painted (unless otherwise noted).
  7. Noted existing and new surfaces are to be prepared to receive new finishes including finish patching of new and existing holes, voids, cracks, cleaning or surfaces as per manufacturer's instructions, etc. Touch-in where patching structural steel, brick or block (unless otherwise detailed or noted).
  8. At all times that work is in progress, dust tight partitions (fire retardant) shall be installed around the work area. Maintain egress corridors and fire ratings. Coordinate extent and location of these partitions w/ Owner. Construction partitions & doors to be painted a vinyl base on exposed public side.
  9. Work shall not interfere with legal fire exists. All corridors and fire exit stairs shall be maintained at all times.
  10. Cover and protect existing and/or new smoke detectors (no plastic) during construction.
  11. Where interior partitions are to be removed and not replaced, Contractor is responsible for providing a level transition between the 2 adjacent floors. In no case shall a slope be greater than 1/8" per foot pitch. Patch floors and walls to match existing construction.
  12. All existing finishes, work, equipment and structure to remain are to be protected from damage. All existing surfaces, work, equipment and structure to remain shall be protected from damage to demo or new work shall be repaired and patched with matching construction and finishes.
  13. Remove all abandoned utility connections and other miscellaneous items including but not limited to, clocks, speakers, telephones, toilet accessories, backboards, pegboards, shelving and brackets attached to walls, floors or structure not indicated to remain or to be removed by Owner. Consult Owner for disposal or storage of miscellaneous items, above.
  14. All existing removed fireproofing materials are to be patched to match existing, by Contractor. Maintain existing fire rating and its approved fireproofing materials.
  15. Remove existing exposed or accessible wirings and conduits from termination back to panel. Remove mechanical system distribution and electrical fixtures not required in new construction refer to drawings for any additional specific notes.

REQUIRED DEMO NOTES

1. REMOVE EXISTING ELECTRICAL BOX AND PATCH WALL AND FLOOR WHERE NEEDED
2. REMOVE CABINET IN THEIR ENTIRETY
3. REMOVE EXISTING PLUMBING FIXTURE
4. REMOVE EXISTING DOOR AND FRAME SAVE FOR POSSIBLE REUSE AS DETERMINED BY TENANT
5. REMOVE AND PREP FOR NEW TILE
6. REMOVE EXISTING LVT FLOORING CAREFULLY IN ORDER TO REUSE FOR PATCHING



2 First Floor - DEMOLITION RCP  
SCALE: 1/4" = 1'-0"



1 First Floor - Demolition Plan  
SCALE: 1/4" = 1'-0"

**ZAUSMER-FRISCH  
SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS

200 BURGHEE AVENUE, SYRACUSE, NY 13202  
TEL: 315-442-1111 FAX: 315-442-1112

**PURPLE BANANA**  
746/754 S. CROUSE AVE.  
SYRACUSE, NY 13210

PROJECT TITLE: DEMOLITION PLANS



THE ARCHITECT CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE, FIRE CODE AND PROPERTY MAINTENANCE CODE. THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE ALL DATED 2020 AND APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE CONSTRUCTION DOCUMENTS ARE IN COMPLIANCE THEREWITH.

REGISTERED ARCHITECT  
020575  
NY REG. NO. DATE

IT IS A VIOLATION FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

© Copyright Craig Polhamus, Architect, 2021

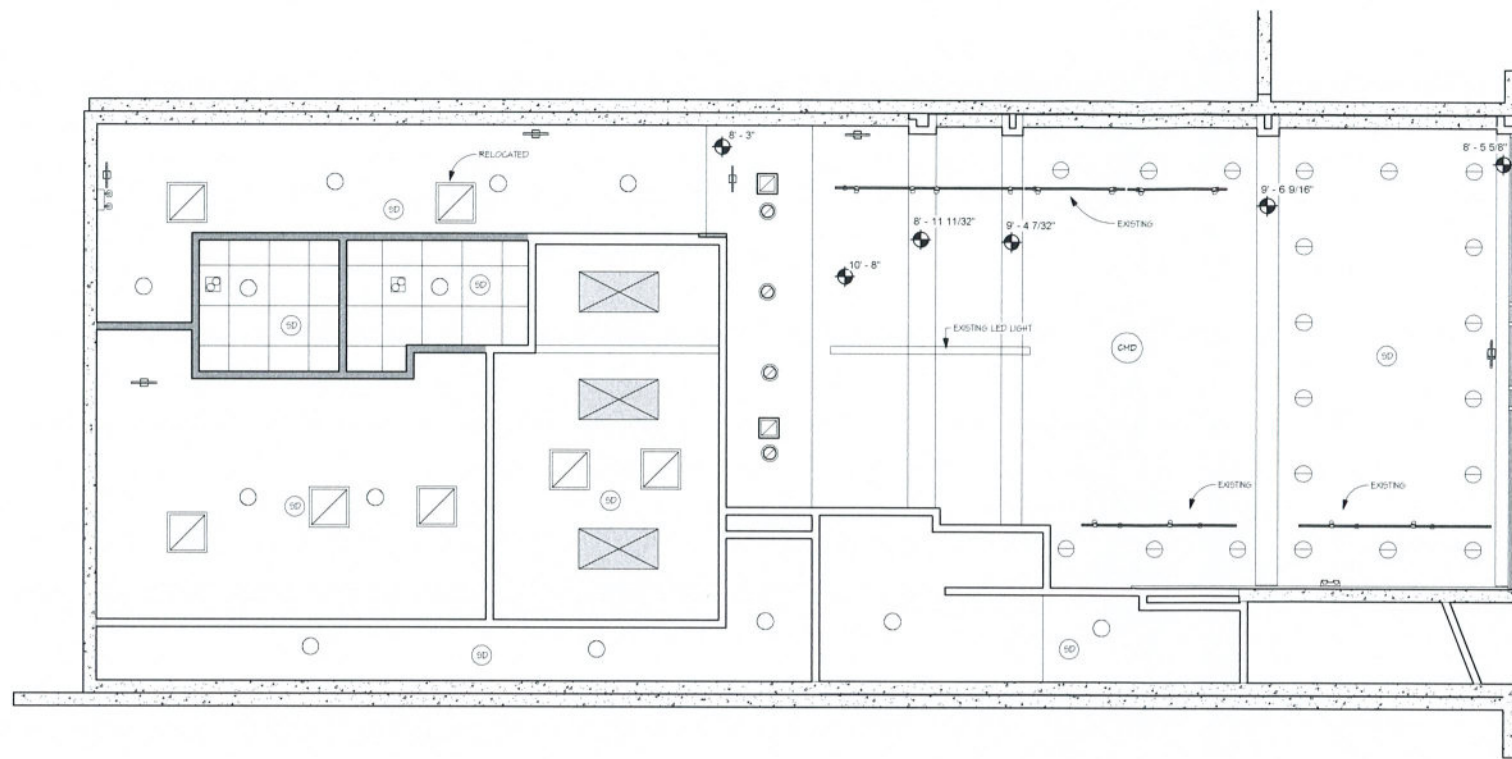
Date: 9-10-2021  
Project Number: 21044

Scale: As indicated  
Drawn by: CEE

REVISION	
No.	Revision Description

08/06/21





2 First Floor RCP  
SCALE: 1/4" = 1'-0"

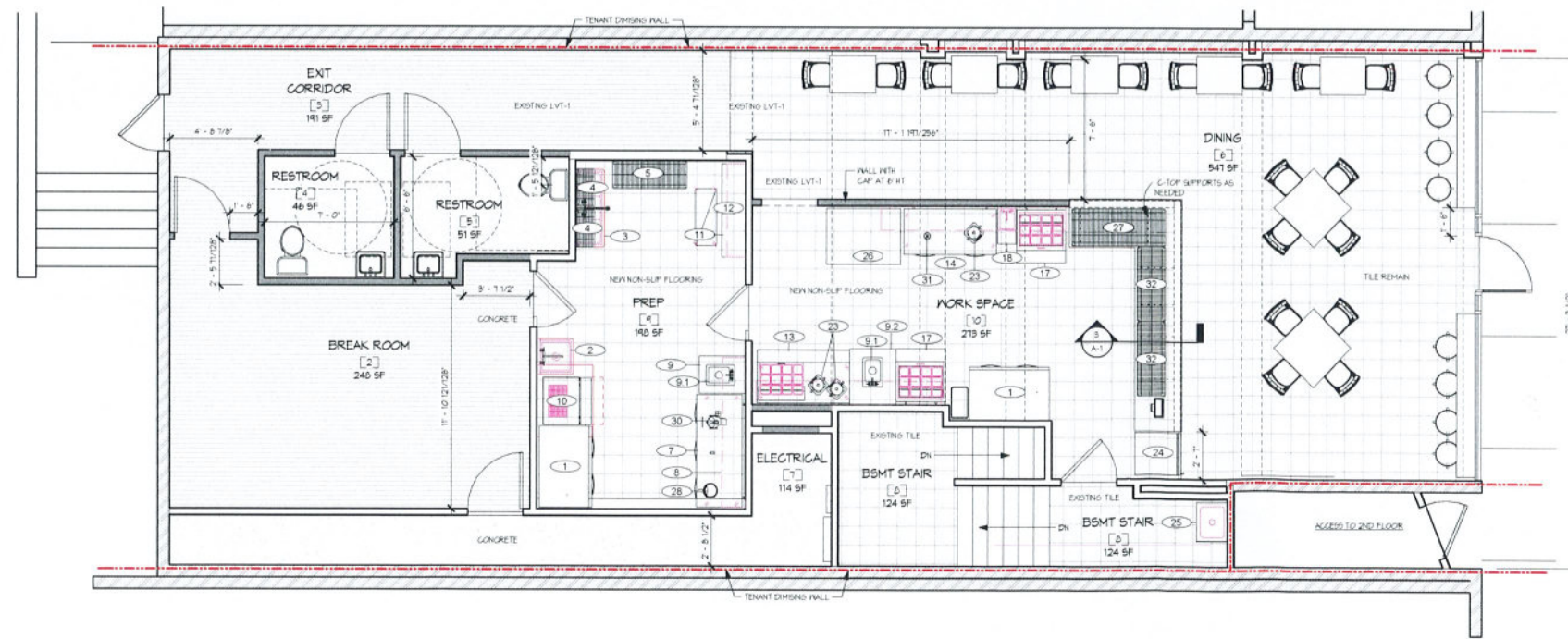
CEILING LEGEND	
[Symbol]	RETURN DIFFUSER
[Symbol]	SUPPLY DIFFUSER
[Symbol]	2x4 LIGHT
[Symbol]	2x2 LIGHT
[Symbol]	SPEAKER
[Symbol]	SMOKE DETECTOR
[Symbol]	HEAT DETECTOR
[Symbol]	PENDANT LIGHTING
[Symbol]	EMERGENCY LIGHTING
[Symbol]	EXIT SIGN
[Symbol]	RECESSED CAN
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	ELECTRICAL SWITCHING LINES (GRAPHICAL ONLY)
[Symbol]	HVAC GRILL
[Symbol]	LED LIGHT
[Symbol]	ELEVATION REFERENCE MARK
[Symbol]	EXHAUST FAN
[Symbol]	EXISTING LIGHT
[Symbol]	EXISTING TRACK LIGHTING

NOTE: OBJECTS DENOTED WITH DASHED LINES TO BE REMOVED

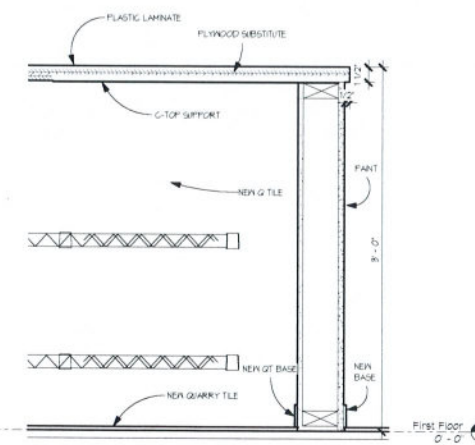
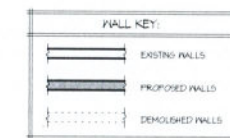
NOTE: REFER TO EQUIPMENT SUPPLIER DRAWINGS FOR EQUIPMENT INFORMATION

NOTE: ALL LIGHTING FEATURES TBD BY TENANT

SEE A101.1 FOR LIGHTING FIXTURE SCHEDULE



1 First Floor Plan  
SCALE: 1/4" = 1'-0"



3 COUNTERTOP SECTION  
SCALE: 1/2" = 1'-0"

**ZAUSMER · FRISCH  
SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS



**PURPLE BANANA**  
746/754 S. CROUSE AVE.  
SYRACUSE, NY 13210

TITLE PROPOSED PLANS

FOR CITY APPROVAL



THE ARCHITECT CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE, FIRE CODE AND PROPERTY MAINTENANCE CODE. THE NEW YORK STATE EMERGENCY CONSERVATION CONSTRUCTION CODE ALL DATED 2020, AND APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE CONSTRUCTION DOCUMENTS ARE IN COMPLIANCE THEREWITH.

REGISTERED ARCHITECT  
020575  
NY REG. NO. DATE

IT IS A VIOLATION FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION: ALTERED BY FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

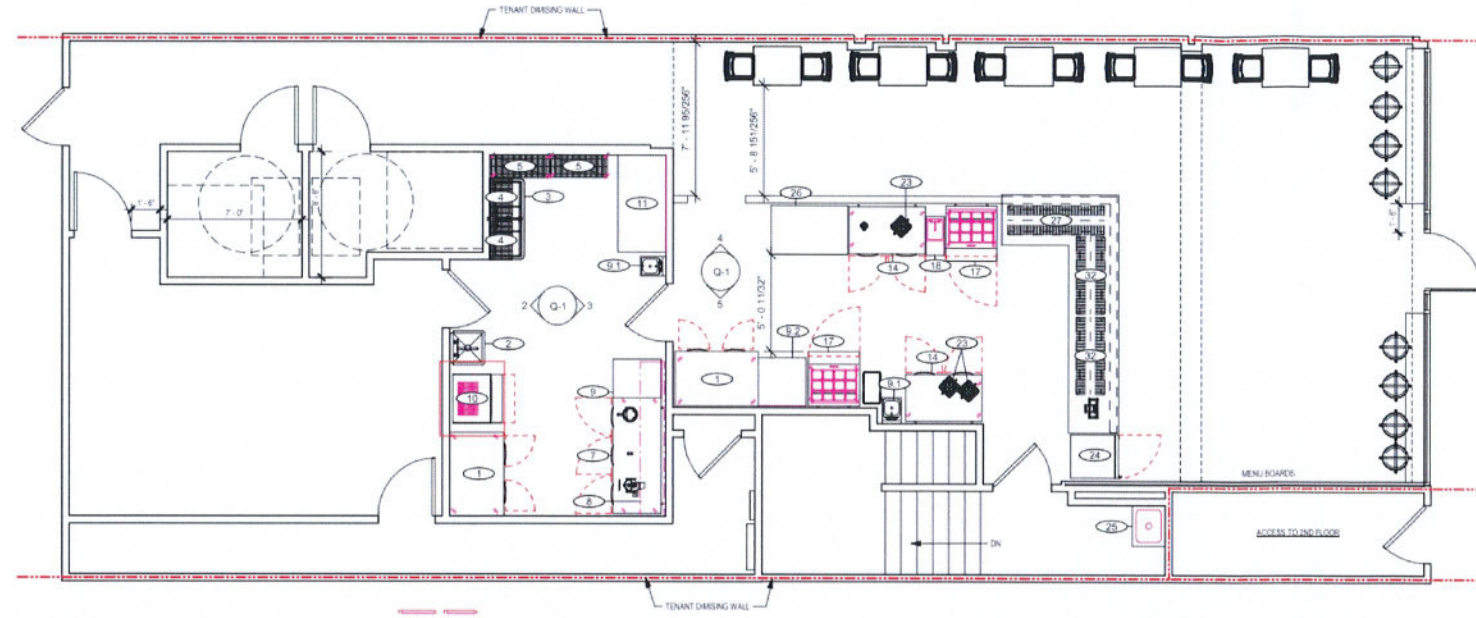
© Copyright Craig Polhamus, Architect, 2021

Date: 9-10-2021  
Scale: As indicated  
Project Number: 21044  
Drawn by: CEE

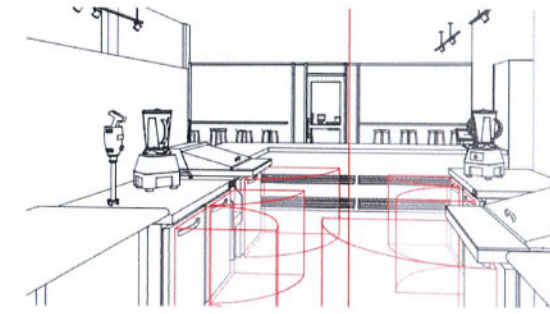
SHEET NUMBER	
<b>A-1</b>	
REVISION	REVISION DESCRIPTION
No.	Date

08/09/21



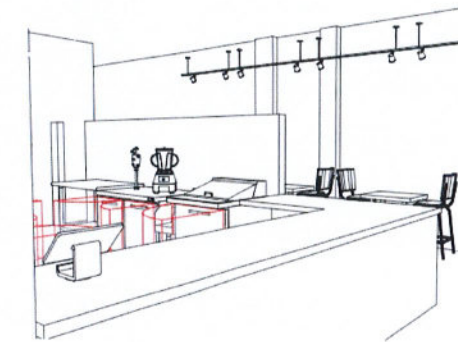


1 EQUIPMENT LAYOUT  
1/4" = 1'-0"



8 3D View 3

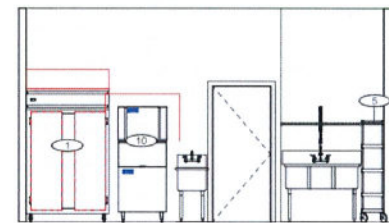
EQUIPMENT SCHEDULE					
ITEM #	QTY	DESCRIPTION	MANUFACTURER	MODEL	STATUS
1	2	Freezer, Reach-In	Atosa	MBF8002GR	
2	1	FABRICATED NSF SINK, 1-COMPARTMENT, NO DRAINBOARDS, BOWL SIZE 18" X 18" X 14" DEEP	BK Resources	BK8BS-1-18-14	
3	1	FABRICATED NSF SINK, 3-COMPARTMENT, NO DRAINBOARDS, BOWL SIZE 15" X 15" X 14" DEEP	BK Resources	BKS-3-15-14	
4	2	Shelving, Wire	Olympic	J1424K	
5	2	Shelving, Wire	Olympic	J1436K	
6	1	Spare Number			
7	1	Worktop Refrigerator	Continental Refrigerator	SW72N	
8	1	Wall Shelf	BK Resources	BKWSE-1696	
9	1	Work Table	Advance Tabco	FAG-302	
9.1	2	Hand Sink	Advance Tabco	7-PS-22	
9.2	1	Work Table	Advance Tabco	FAG-300	
10	1	Ice Maker, Cube Style	Ice-O-Matic	CIM0430A	
11	1	Work Table	BK Resources	BKDC-1560	
12	1	Spare Number			
13	1	Spare Number			
14	2	Worktop Freezer	Atosa	MGF8406GR	
15	1	Spare Number			
16	1	Spare Number			
17	2	Sandwich Unit, Refrigerated	Atosa	MSF8305GR	
18	1	Add-On Blender Station	Krowne Metal	KR18-12BD	
19	1	Spare Number			
20	1	Spare Number			
21	1	Spare Number			
22	1	Spare Number			
23	3	ONE GALLON COMMERCIAL BLENDER	Vitamix	062828	
24	1	Refrigerator Merchandiser	Atosa	MCF8722GR	
25	1	Mop Sink	BK Resources	MKNS-1620-12	
26	1	Work Table	Advance Tabco	ELAG-304-X	
27	2	Shelving, Wire	Olympic	J1860K	
28	1	Spare Number			
29	1	Spare Number			
30	1	Spare Number			
31	1	Spare Number			
32	4	Shelving, Wire	Metro	1848NK3	



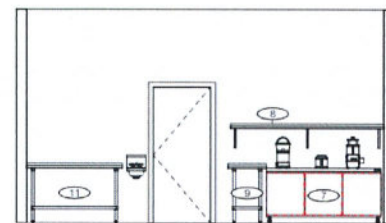
7 3D View 2



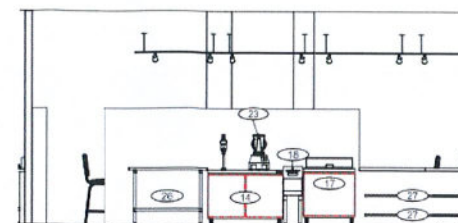
6 3D View 1



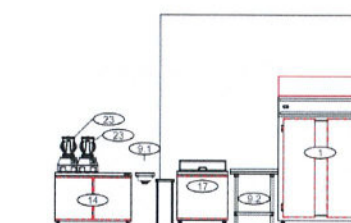
2 KITCHEN ELEVATION  
1/4" = 1'-0"



3 PREP  
1/4" = 1'-0"



4 SERVING COUNTER 1  
1/4" = 1'-0"



5 SERVING COUNTER 2  
1/4" = 1'-0"

NO.	REVISION	DATE
1.	Revision	07/20/2021
2.	Revision	07/28/2021
3.	Revision	07/30/2021



**Purple Banana**  
EQUIPMENT LAYOUT

Syracuse, NY

DATE	07/15/2021	DRAWN BY	RHE
JOB NO.	21-904.CG	CHECKED BY	PL/CG
DRAWING NO.	Q-1	SCALE	AS NOTED



# **JUSTIFICATION OF WAIVERS**

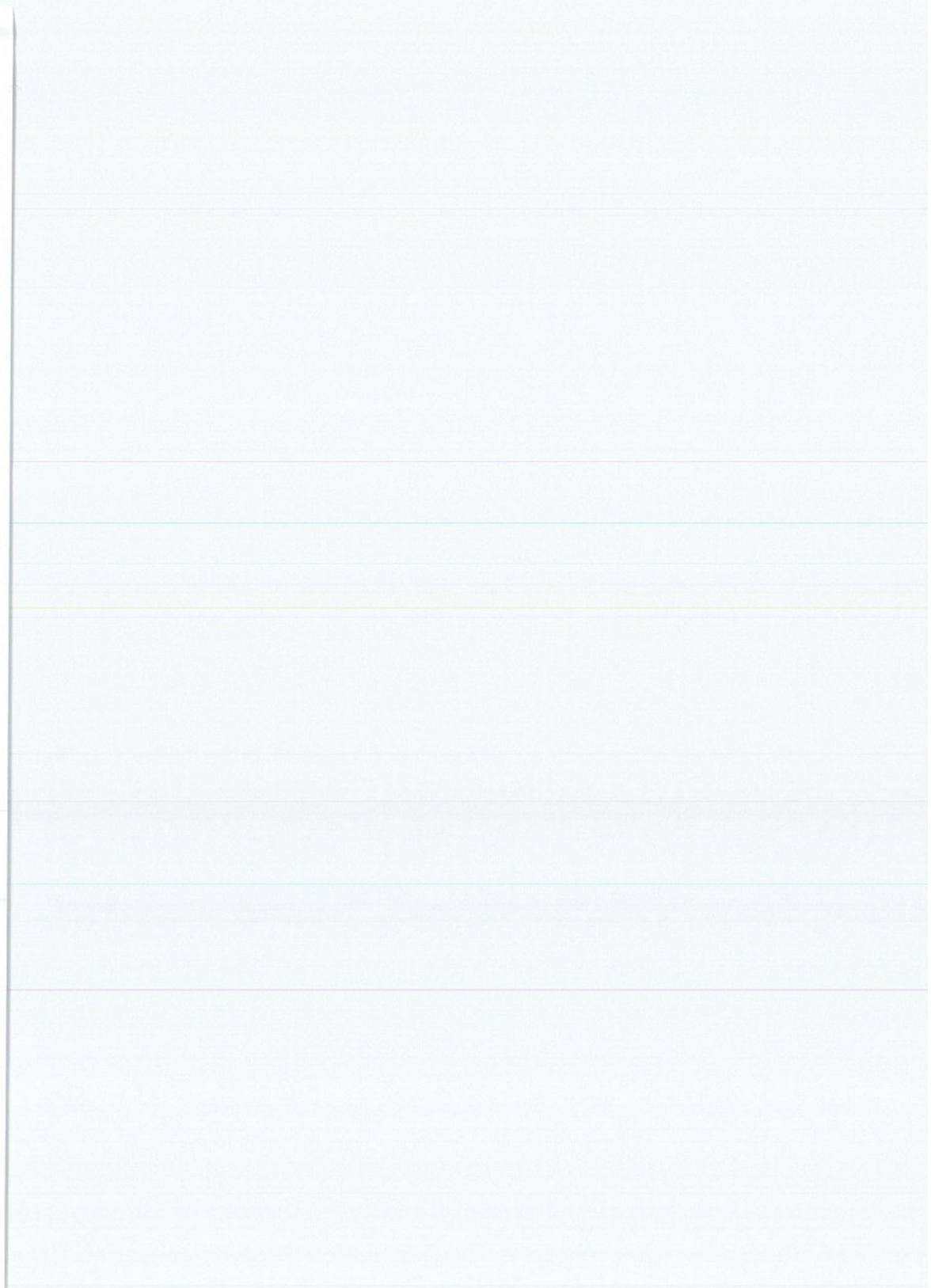
**In a short summary, note why waivers are requested in this special permit application. For example: Additional signage (more than allowed), parking requirements (less than needed) etc.**

**Parking Waiver: Applicant requests the waiver of onsite parking as patrons are exclusively pedestrians from Syracuse University and nearby Hospitals. There is also abundant on street parking available along South Crouse and Marshal Streets.**













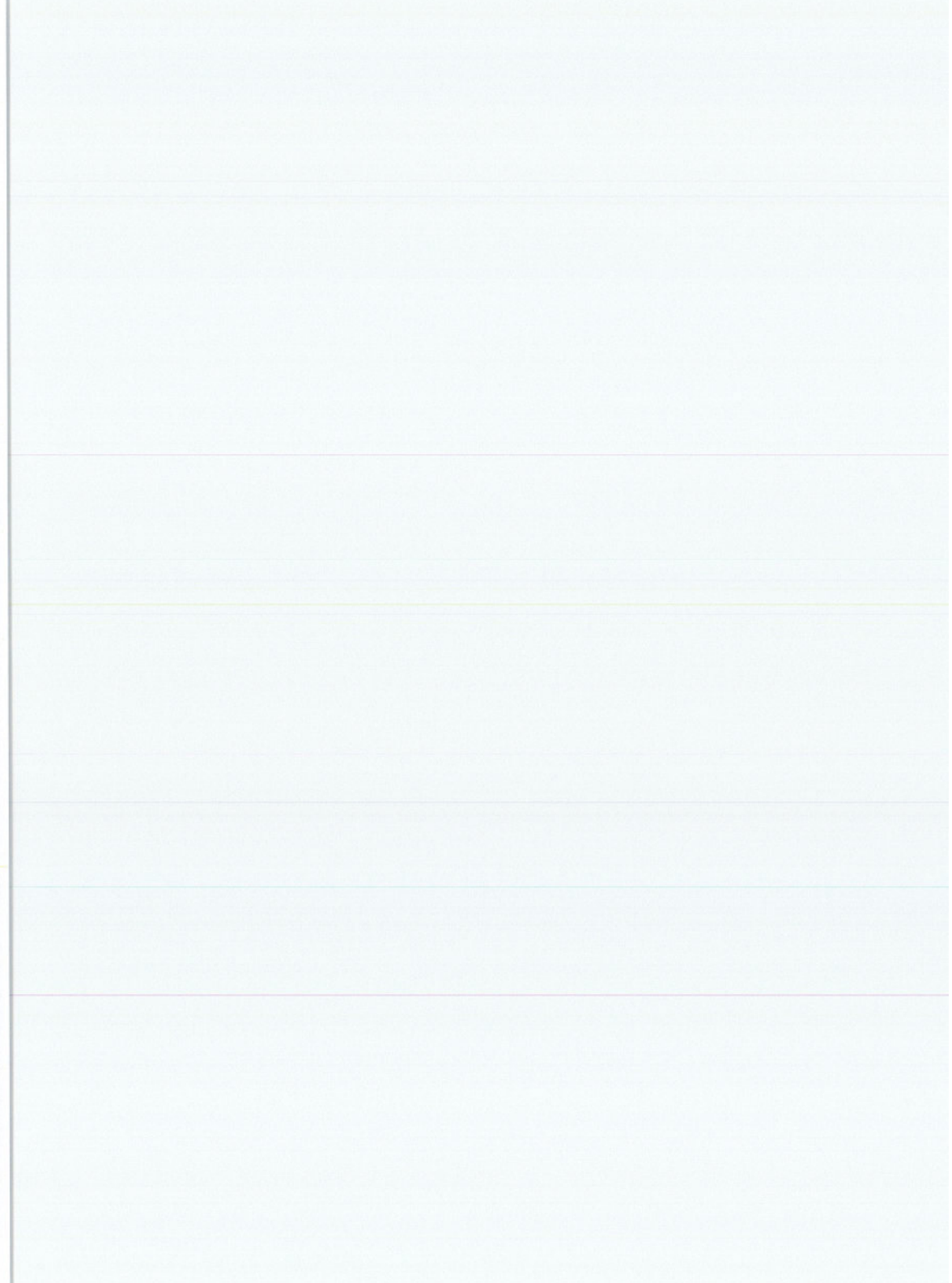


















## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.


Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Purple Banana			
Project Location (describe, and attach a location map): 746/754 S. Crouse Ave., Syracuse, NY 13210			
Brief Description of Proposed Action: Remodel of existing tenant space into a Restaurant			
Name of Applicant or Sponsor: Luke Nicolette		Telephone: 315-935-4032	
		E-Mail: purplebananallc@gmail.com	
Address: c/o DB Real Estate Crouse LLC, 802 S. Crouse Ave.			
City/PO: Syracuse		State: NY	Zip Code: 13210
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .17 acres			
b. Total acreage to be physically disturbed? _____ 0 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .17 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			



5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: No change to existing building envelope. Interior remodel only.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,  a. Will storm water discharges flow to adjacent properties?  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Luke Nicolette</u> Date: <u>9/8/2021</u>  Signature: <u></u> Title: <u>Owner / Tenant</u>		