

City of Syracuse
Office of Zoning Administration

RESUBDIVISION / LOT ALTERATION APPLICATION

City Hall Commons - Room 500 * 201 E. Washington Street * Syracuse, NY 13202-1426
315-448-8640 * zoning@syrgov.net * www.syrgov.net/Zoning.aspx

Office Use Filing Date: 10/22/21 Case: 2-21-54 Zoning District: 1A

REQUESTED (Check applicable and provide the subdivision name, existing and proposed number of lots, and total area.)

	<u>Subdivision Name</u>	<u>Number of Lots</u>	<u>Total Area</u>
<input checked="" type="checkbox"/> Resubdivision:	1970 W Fayette St.	5	1.4 Acres
<input type="checkbox"/> Lot Alteration:			

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) 1970 Fayette St W & St Marks A	112.-25-04.0	1970 W Fayette, LLC	2021
2) 1515 Erie Blvd W & Harbor St	112.-25-01.0	1970 W Fayette, LLC	2021
3) 1501 Erie Blvd W & Harbor St	112.-25-02.0	1970 W Fayette, LLC	2021
4) 1950 Fayette St	111.-10-04.2	1970 W Fayette, LLC	2021
5) 1499 Erie Blvd W	112.-25-03.0	1970 W Fayette, LLC	2021

COMPANION ZONING APPLICATION(S) (List any related City Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

1) Project Site Review 2) 3)

PROJECT CONSTRUCTION (Check all that apply and briefly describe, as applicable.)

<input checked="" type="checkbox"/> Demolition (full and partial):	demolition of existing 1900sf metal structure.
<input checked="" type="checkbox"/> New Construction:	relocation of existing 1900sf structure.
<input checked="" type="checkbox"/> Façade (Exterior) Alterations:	Updates to exterior facade. See architectural plans.
<input checked="" type="checkbox"/> Site Changes:	alterations to the existing parking lots and hardscape improvement

PROJECT INFORMATION (Briefly describe, as applicable.)

Project Name: 1970 W Fayette Multi-Use Project
Current Land Use(s): Vacant Industrial
Proposed Land Use(s): Commercial
Number of Dwelling Units: -
Days and Hours of Operation: 8 AM - 6 PM
Number of Onsite Parking Spaces: 50 Parking Spaces

PROJECT DESCRIPTION (Provide a brief description of the project, including purpose or need.)

The project includes the renovation of an existing 36,000+/- sf building on the corner of Erie Blvd. West and West Fayette Street. Site improvements will include alterations to the existing parking lots and hardscape improvements for accessibility and truck loading. Other site improvements will include lighting, green space improvements and street plantings. A storm water management system will be provided to meet city and state requirements. Utilities will be modified as necessary to meet the needs of the facility/site and will be designed to meet city code requirements.

City of Syracuse Office of Zoning Administration

PROPERTY OWNER(S) (required)

As listed in Department of Assessment property tax records (<http://syrgov.net/Assessment.aspx> - 315-448-8280). If not listed as the owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a letter describing the legal arrangement. If the property owner is a Corporation or Organization, the person signing must provide member verification. **Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.**

1970 W Fayette, LLC

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
208 N. Manlius St		Fayetteville	NY	13066	315-877-5113
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i> scottdumas107@gmail.com
* Signature: <i>Scott E. Dumas</i>			Date: 09/03/2021		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

*** OWNER SIGNATURE DECLARATION**
 I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

Scott	Dumas		Keplinger Freeman Associates LLC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
208 N. Manlius St		Fayetteville	NY	13066	315-877-5113
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i> scottdumas107@gmail.com

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

REPRESENTATIVE(S)/CONTACT(S) (if applicable)

Scott	Freeman	Landscape Arch.	Keplinger Freeman Associates LLC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
Scott	109	E. Syracuse	NY	13057	315-445-7980
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i> sf@keplingerfreeman.com

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

Resubdivision / Lot Alteration Application
INSTRUCTIONS AND REQUIRED SUBMITTALS

Incomplete applications will not be processed.

Applications together with the required submittals listed below must be submitted in **HARD COPY, SINGLE-SIDE** and **NOT BOUND**, to the City of Syracuse Office of Zoning Administration, City Hall Commons – Room 500, 201 East Washington St., Syracuse, NY 13202. E-mailed submissions will not be processed.

Please submit **ONE (1) COPY** of the following:

- APPLICATION** – filled out completely, dated, and **signed by property owner as instructed.**
- STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR) Short Environmental Assessment Form (SEAF) - Part One** - filled out to the best of your ability, dated, and signed by preparer..
- APPLICATION FEE** – \$0.

Please submit **FIVE (5) FULL-SIZE AND TO-SCALE** paper maps for review purposes, and **ONE (1) REDUCED (11X17" or smaller)** paper map for copying, of the following:

- RESUDIVISION/LOT ALTERATION MAP** (per the Syracuse-Onondaga County Guide 11-17-2011)
 - No larger than 36"x 44"
 - Five Signature Blocks (County Health Department, and City Planning Commission, Assessment, Finance, Engineering)
 - Tract name (cannot be Farm Lot or Military Lot)
 - Farm/Military Lot and/or block numbers
 - Municipality
 - Address (to be verified by Syracuse-Onondaga County Planning Agency Address Administration Certification)
 - Scale, Date, North arrow
 - Certificate of Licensed Land Surveyor: "We (or I) hereby certify that this is an accurate subdivision plat prepared by us (or me) on (date). This subdivision plat meets the current standards stated in the NYSAPLS Code of Practice for Land Surveys pertaining to All Boundary/Title Surveys. The subdivision boundary closure is (boundary closure precision). This map is not valid without the original seal of the surveyor."
 - Each new lot will have a definite designation number or letter per the new map.
 - Each amended lot will have a definite designation per the new map to avoid confusion with the original lot designation as shown on a previous subdivision map (e.g. Lot 10 becomes Lot 10A).
 - Existing parcels or lots to be added to or subtracted from will have a definite designation per the new map depicting all necessary conveyances.
 - Each line or curve of all new or amended lots must clearly show all necessary geometry.
 - Shorelines will have a tie line with geometry for closure.
 - The map shall have absolutely no disclaimers preventing the use of said map as a legal descriptor for any new or amended lot or lots shown.
 - All amended maps or resubdivision maps must recite which existing map # they are amending & clearly describe which lots or areas are being amended & why.
- AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries, easements, and current conditions including structures, fencing, parking surface, and retaining walls if not illustrated on the Resubdivision or Lot Alteration Map (**signed and stamped by a licensed surveyor**).
- SITE PLAN(S)** illustrating site alterations and post project conditions that are/will be different from the As Built Property Survey or Resubdivision / Lot Alteration Map:
 1. **Zoning Schedule** (density, setbacks, structure / parking surface coverage, screening, onsite parking, etc.)
 2. **demolitions** and **post demolition** conditions
 3. **structures, facilities, utilities** and **drainage**
 4. **parking areas** including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage
 5. **loading** dock and delivery areas
 6. **dumpsters** and/or trash receptacles
 7. **landscaping** including type, height, and number of plantings
 8. **screening/fencing** including type and height for parking, dumpsters, and site
 9. **lighting** including structure heights and luminaries wattage
 10. **ground signs**
 11. **STREET rights-of-way** conditions, existing and proposed, including curb cuts, driveways, sidewalks, and plantings
 12. **ENROACHMENTS**, existing or proposed, into the City rights-of-way including stairs, signs, and awning

Short Environmental Assessment Form

Part 1 - Project Information

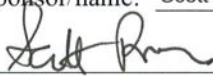
Instructions for Completing

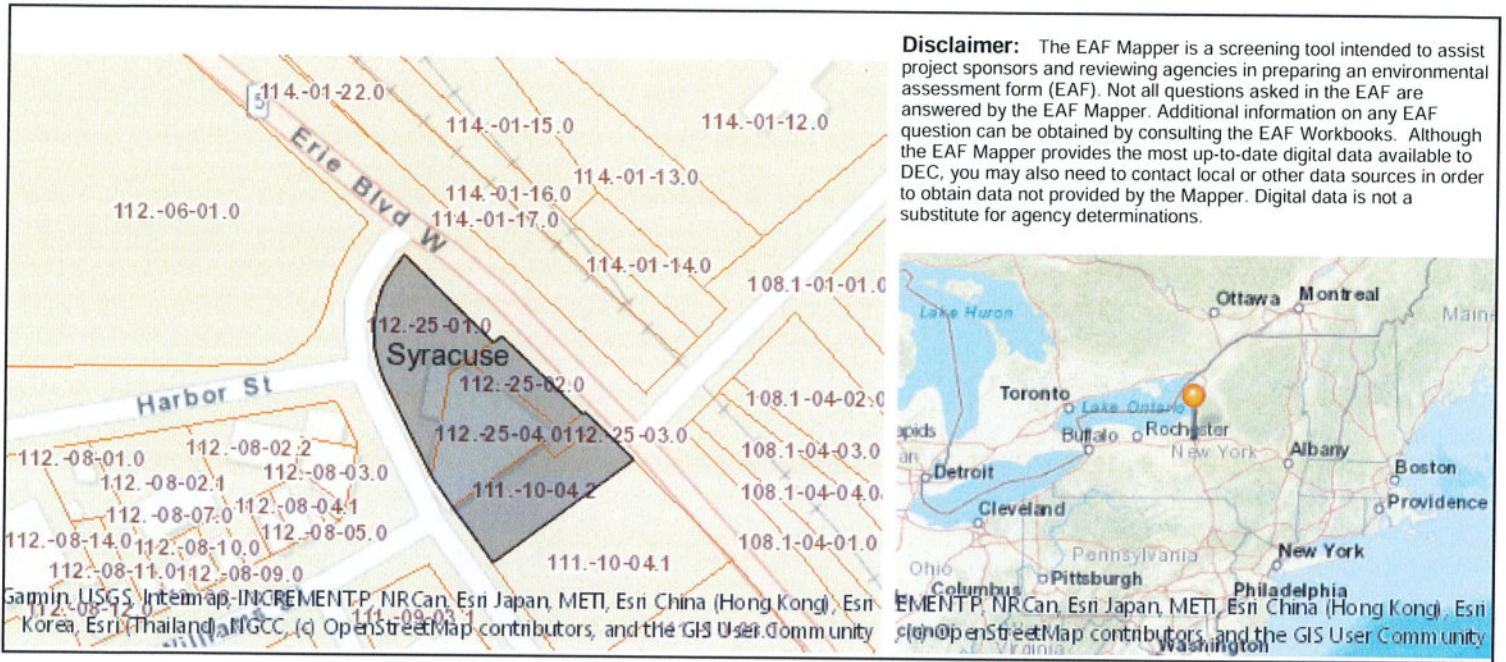
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: 1970 W Fayette, LLC Multi-Use Project				
Project Location (describe, and attach a location map): 1970 W. Fayette, Corner of Erie Blvd West and West Fayette Street (Tax Map ID: 112.-25-01.0; 112.-25-02.0; 112.-25-04.0, 111.-10-04.2, 112.-25-03.)				
Brief Description of Proposed Action: The project includes the renovation of an existing 36,000+/- sf building on the corner of Erie Blvd. West and West Fayette Street. Site improvements will include alterations to the existing parking lots and hardscape improvements for accessibility and truck loading. Other site improvements will include lighting, green space improvements and street plantings. A storm water management system will be provided to meet city and state requirements. Utilities will be modified as necessary to meet the needs of the facility/site and will be designed to meet city code requirements. A subdivision is required to combine 5 separate lots into 1.				
Name of Applicant or Sponsor: 1970 WFayette, LLC.		Telephone: 315-877-5113 E-Mail: scottdumas107@gmail.com		
Address: 208 N. Manlius Street				
City/PO: Fayetteville		State: NY	Zip Code: 13066	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse PB, OCWA, OCDWEP			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.352 acres		
b. Total acreage to be physically disturbed?		.93+/- acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.352 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands
<input type="checkbox"/> Wetland	<input checked="" type="checkbox"/> Urban	<input type="checkbox"/> Suburban
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO YES
Lake Sturgeon, Bald Eagle		<input type="checkbox"/> <input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?		NO YES
		<input checked="" type="checkbox"/> <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?		NO YES
If Yes,		<input type="checkbox"/> <input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?		<input checked="" type="checkbox"/> <input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?		<input type="checkbox"/> <input checked="" type="checkbox"/>
If Yes, briefly describe:		
Storm water will be directed to drainage structures and treated on site before exiting to municipal storm system.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?		NO YES
If Yes, explain the purpose and size of the impoundment:		<input checked="" type="checkbox"/> <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?		NO YES
If Yes, describe:		<input checked="" type="checkbox"/> <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?		NO YES
If Yes, describe:		<input type="checkbox"/> <input checked="" type="checkbox"/>
unknown		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: Scott Freeman		Date: 09/03/2021
Signature: 		Title: Landscape Architect



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Lake Sturgeon, Bald Eagle
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



LANDSCAPE ARCHITECTURE & LAND PLANNING
 6320 FLY ROAD, SUITE 201, EAST SYRACUSE, NEW YORK 13057
 PHONE: (315) 445-7980 FAX: (315) 445-7981

TRANSMITTAL

DATE: 28 September 2021

TO: City of Syracuse Department of Zoning
 201 E. Washington St., Rm. 500
 Syracuse NY 13202

ATTN: Heather Lamendola, Jeff Harrop

PROJECT: 1970 West Fayette Street
 Syracuse NY

REF. Resubdivision Submission

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN;
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input checked="" type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input type="checkbox"/> As Requested	<input type="checkbox"/> Returned After Loan
<input type="checkbox"/> Change Order	<input checked="" type="checkbox"/> Review and Comment	<input type="checkbox"/> Resubmit
<input checked="" type="checkbox"/> Plans		<input type="checkbox"/> Submit
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned
<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Returned for Correction
<input type="checkbox"/> Other:	<input type="checkbox"/> Separate Cover Via:	<input type="checkbox"/> Due Date:

ITEM	COPIES	DATE	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	09/03/21			Resubdivision Application	
2	1	09/03/21			SEQRA	
3	6	09/07/21			Resubdivision Plat (1) 11x17 and (5) full size	
4	1	-			Deed Information	
5	6	09/24/20			Survey (1) 11x17 and (5) full size	
6	6	09/20/21			Site Plans (1) 11x17 and (5) full size	

REMARKS:

Documents submitted for Subdivision Review. Additional Documents can be sent via email from nl@keplingerfreeman.com. Please contact KFA offices to get additional hard copies of submitted material.

CC:

SIGNED: Nathan LaPierre

ONONDAGA COUNTY CLERK'S OFFICE
M. ANN CIARPELLI - COUNTY CLERK
401 Montgomery St - Room 200
Syracuse NY 13202

Phone: 315-435-2226
Fax: 315-435-3455

Submitted by: HANCOCK/ESTABROOK
Document type: DEED
Grantor: ONONDAGA CTY IND DEV AGENCY
Grantee: STRATHMORE PRODUCTS INC
Legal desc: CLA L88
Prop addr:

Receipt: 560125 MM
Instrument: 1391506
Book/Page: 04966/0753
Date filed: 11/02/2006 at 02:42PM
Updated: 11/08/2006 HB
Record and return to:
STEVEN R SHAW ESQ
HANCOCK & ESTABROOK
PO BOX 4976
SYRACUSE NY 13221-4976

RECORDING FEES

Addl pages: 5 x 3.00 \$ 15.00
Addl names: x \$
Addl refs: x \$
Misc: \$
Basic: \$ 8.50
=====
Total: \$ 23.50

MISCELLANEOUS FEES

RMI: \$ 20.00
TP 584: \$ 5.00
RP5217: \$ 165.00
Affts: \$
=====
Total: \$ 190.00

MORTGAGE TAX

Mortgage: \$
Basic: \$
Insurance fund: \$
Net add: \$
Misc: \$
=====
Total: \$

DEED TRANSFER TAX

Consideration: \$ 0.00
Transfer tax: \$ 0.00
SWIS:
Map #:
.....
TOTAL PAID: \$213.50
Control no: 4594

WARNING - This sheet constitutes the Clerk's endorsement, required by Section 319 of the Real Property Law of the State of New York. Do not detach. Taxes imposed on this instrument at time of recording were paid. Certain information contained in this document is not verified by this office.

M. ANN CIARPELLI
Onondaga County Clerk



5
\$0.00
Stamps

5

DEED

This deed made this 22nd day of March, 2000 between **ONONDAGA COUNTY INDUSTRIAL DEVELOPMENT AGENCY**, a New York benefit corporation, 421 Montgomery Street, 14th Floor, Syracuse, New York 13202 ("Grantor") and **STRATHMORE PRODUCTS, INC.**, a New York general partnership, 1970 W. Fayette Street, Syracuse, New York

WITNESSETH, that the Grantor, in consideration of ONE DOLLAR (\$1.00) and other good and valuable consideration paid by the Grantee, does hereby grant and release unto the Grantee, the heirs or successors and assigns of the Grantee forever, the premises described in Schedule A attached hereto and made a part hereof.


TOGETHER, with the appurtenances and all the estate and rights of the Grantor in and to said premises.

TO HAVE AND TO HOLD the premises herein granted unto the Grantee, the heirs or successors and assigns of the Grantee forever.

This deed is subject to the trust fund provisions of Section 13 of the Lien Law. The words Grantor and Grantee shall be construed to read in the plural whenever the sense of this deed so requires. Said premises do not constitute all or substantially all of the assets of the Grantor.

IN WITNESS WHEREOF, the grantor has executed this deed the day and year first above written.

ONONDAGA COUNTY INDUSTRIAL
DEVELOPMENT AGENCY

By 
(Vice) Chairman

Record: Return to: Steven Shaw
Haverhill & Eschbrook
1500 Monty Plaza, Syracuse

15590

14:42 11/02/06 1391506 MM DE-04966P-753

5

State of New York)
) ss.:
County of Onondaga)

On the 22nd day of March, in the year 2000, before me, the undersigned, personally appeared Robert Baldwin, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Moira K. Kerr
Notary Public
MOIRA K. KERR
Notary Public, State of New York
Qualified in Onon. Co. No. 01KE5060751
Commission Expires May 20, 2000

SCHEDULE A

Parcel I

ALL THAT TRACT OR PARCEL OF LAND situate in the Town of Clay, County of Onondaga and State of New York, being part of Farm Lot 88 of said Town of Clay, and being more particularly bounded and described as follows: BEGINNING at a point in the south line of said Lot 88 where the same is intersected by the easterly line of the lands now or formerly owned by Penn-Central Railroad, said point also being the southwest corner of the premises conveyed to Harold S. Burr by deed dated March 30, 1962 and recorded in the Onondaga County Clerk's Office in Book 2085 of Deeds at page 245; running thence N 02° 49' 00" E along the easterly line of the aforesaid Railroad Parcel and the westerly line of the aforesaid Burr property a distance of 1,219.61 feet to the southwest corner of the premises conveyed to Maximus Properties Co., Inc., by deed recorded in the Onondaga County Clerk's Office in Book 2496 of Deeds at page 702; thence running along the southerly line of the said Maximus parcel on a curve to the right having a radius of 444.28 feet, a length of arc of 533.84 feet to a point; thence N 02° 33' 13" W a distance of 0.92 feet to a point in the north line of the premises conveyed to Harold S. Burr by deed dated May 1, 1962 and recorded in the Onondaga County Clerk's Office in Book 2089 of Deeds at page 115; running thence N. 87° 26' 47" E. along the north line of the aforesaid Burr premises and the north line of the premises conveyed to Harold S. Burr by deed dated July 7, 1964 and recorded in the Onondaga County Clerk's Office in Book 2005 of Deeds at page 585 a distance of 875.89 feet to the northeast corner of the last above mentioned Burr parcel; running thence S. 01° 27' 55" E. along the easterly line of the last mentioned Burr parcel a distance of 1,383.04 feet to a point in the center line of Vine Street; running thence southerly along the center line of Vine Street a distance of 203.6 feet more or less to the point of intersection of said center line with the southerly line of Burr Drive; running thence in a northwesterly direction along the southerly line of said Burr Drive a distance of 146.60 feet to a point of curve; thence continuing along said southerly line a distance of 73.91 feet to a point of curve; thence continuing again along said southerly street line a distance of 88.21 feet to the northeast corner of the premises conveyed to Ruth M. Burr by deed dated February 8, 1978 and recorded in the Onondaga County Clerk's Office on February 9, 1978; running thence S. 42° 50' 58" W. along the northwesterly line of the said Ruth S. Burr parcel a distance of 375.06 feet to the south line of Farm Lot 88 of the Town of Clay; running thence S. 87° 26' 53" W. along the said southerly Farm Lot line a distance of 77.29 feet to the point and place of beginning.

TOGETHER with an easement from Maximus Properties Company, Inc. to Harold Burr recorded in the Onondaga County Clerk's Office on March 2, 1973, in the Book 2496 of Deeds at page 704&c.

SCHEDULE A

Parcel II

GED SW
All that tract or parcel of land, situate in the Village of Geddes, being part of Lot 1 Block 27 in said village and a piece of abandoned canal land conveyed to R. Nelson Gere, all of said land bounded and described as follows: Commencing at a point at the intersection of Bridge and Furnace Streets, running thence southerly along the easterly line of Furnace Street 46-07/100 ft.; thence northeasterly and at right angles to Furnace Street to the enlarged Erie Canal; thence westerly along the south line of the Erie Canal to Bridge St.; thence southerly along the easterly line of Bridge St. to the place of beginning.

SYR ERIE CANAL SW
Also, All that tract or parcel of Erie Canal Lands, situate in the City of Syracuse, County of Onondaga and State of New York, and being more particularly described as follows:

Beginning at a point in the southerly Blue Line of the former Erie Canal, said point being S. 50° 07' 46" E. measured along said Blue Line a distance of 100.92 feet from its intersection with the westerly line of Harbor Street. Said last mentioned point being also N. 37° 43' 10" E. measured along said westerly street line of Harbor Street a distance of 49.71 feet from a point of deflection in said westerly street line; thence N. 52° 06' 22" E. a distance of 17.53 feet to a point; thence S. 51° 36' 15" E. a distance of 48.57 feet to a point; thence S. 76° 39' 33" E. a distance of 14.53 feet to a point; thence S. 52° 02' 25" E. a distance of 82.78 feet to a point; thence S. 53° 26' 12" W. a distance of 28.42 feet to a point in said southerly Blue Line of said Former Erie Canal; then N. 50° 07' 45" W. along said southerly Blue Line a distance of 141.42 feet to the place of beginning, containing 3216 square feet of land, more or less.

Q
Also, ALL THAT TRACT OR PARCEL OF LAND situate in the City of Syracuse, County of Onondaga and State of New York, being a portion of St. Marks Avenue in Said City, and being more particularly bounded and described as follows:

BEGINNING at the intersection of the present northeasterly line of West Fayette Street with the present easterly line of St. Marks Avenue, which point is also a corner of the premises now or formerly owned by Claire U. Haverly, recorded in Book 1037 of Deeds at page 534 &c; thence N. 27°-18'-17" W., 133.99 feet to a point; thence northerly, along a curve to the right, said curve having a radius of 141.0 feet, a distance of 169.03 feet to a point of tangency; thence N. 40°-58'-32" E., a distance of 5.0 feet to its intersection with the present southwesterly line of Erie Boulevard West; thence S. 46°-27'-00" E., along said southwesterly line of Erie Boulevard West, a distance of 157.18 feet to its intersection with said easterly line of St. Marks Avenue, which point is also a northeasterly corner of property now or formerly owned by Claire U. Haverly; thence S. 52°-06'-22" W., along said easterly line of St. Marks Avenue, a distance of 67.85 feet to an angle point in said line; thence S. 9°-18'-10" W., along said easterly line of St. Marks Avenue, a distance of 132.0 feet, said last two courses are also the northerly and westerly lines of the property now or formerly owned by Claire U. Haverly to the place of beginning.

SCHEDULE A

EXCEPTING AND RESERVING to the City of Syracuse a permanent easement for the purpose of operation, maintenance, construction and reconstruction of the existing sewer lines, over, under, across, upon and through a parcel of land as shown for said purposes on a map entitled "Proposed Abandonment of a portion of St. Marks Avenue", dated December 27, 1974 and filed in the office of the City Engineer, said permanent easement lying 15.0 feet southerly of and parallel to the centerline of the present most southerly existing sewer line and the northerly boundary of said permanent easement to be 20.0 feet northerly of and parallel to the centerline of the present most northerly existing sewer line in said portion of St. Marks Avenue.

de Also, All that tract or parcel of land located in the City of Syracuse, County of Onondaga and State of New York, described as follows: Beginning at a point in the southerly line of Erie Boulevard West, said point being 118.06 feet easterly measured along the southerly line of Erie Boulevard West from the point of intersection of the southerly line of Erie Boulevard West and the westerly line of Harbor Street; Thence southerly $52^{\circ} 06' 22''$ west 50.32 feet to a point, said point being the northwesterly corner of lands conveyed to Syracuse Trust Company by City of Syracuse dated June 19, 1942 and recorded in Onondaga County Clerk's Office on or about September 30, 1942; Thence south $51^{\circ} 36' 15''$ east 48.57 feet; Thence south $76^{\circ} 39' 33''$ east 14.53 feet; Thence south $52^{\circ} 02' 25''$ east 82.78 feet along the northerly line of lands conveyed to Syracuse Trust Company; Thence north $53^{\circ} 26' 12''$ east 33.42 feet to the southerly line of Erie Boulevard West; Thence north $47^{\circ} 37' 34''$ west along the south line of Erie Boulevard West 141.68 feet to the place of beginning.

GED SW Also, All that tract or parcel of land situate in the City of Syracuse, County of Onondaga, State of New York, being part of Block 27 of the former Village of Geddes, bounded and described as follows: Beginning at a point in the southerly line of lands of the party of the second part, 186.07 feet from the intersection of the easterly line of West Fayette Street with the southerly line of St. Marks Avenue, as measured on the following courses and distances: S. $36^{\circ} 38' 30''$ E. along the easterly line of West Fayette Street, 46.7 feet, and N. $53^{\circ} 21' 30''$ E. along the southerly line of the lands of the party of the second part, 140 feet; running thence S. $36^{\circ} 38' 30''$ E. a distance of 24.0 feet, thence N. $53^{\circ} 21' 30''$ E. a distance of 69.16 feet to the westerly line of Erie Boulevard West, thence N. $47^{\circ} 37' 34''$ W. along the westerly line of Erie Boulevard West, a distance of 24.45 feet to the southerly line of lands of party of the second part, thence S. $53^{\circ} 21' 30''$ W. a distance of 64.5 feet to the place of beginning.

SUBJECT to easements and restrictions of record.

ONONDAGA COUNTY CLERK'S OFFICE
M. ANN CIARPELLI - COUNTY CLERK
401 Montgomery St - Room 200
Syracuse, NY 13202

Phone: 315-435-2226
Fax: 315-435-3455

Doc Type: DEED
Grantor: SYRACUSE NEW YORK EASTWOOD U
Grantee: STRATHMORE PRODUCTS INC

Receipt: 958605 RS
Book/Page: 05179/0722 Inst: 39745
Date Filed: 10/31/2011 at 11:46AM
Updated: 11/01/2011 LV
Record and Return To:

Legal Desc: SYR L27356 B27 RASSELAS PLAZA
RESUB GED

HANCOCK & ESTABROOK
1500 AXA TOWER I
100 MADISON ST
SYRACUSE NY 13202

Prop Address: 1950 WEST FAYETTE ST

Submitted by: STEWART

Recording Fees		Miscellaneous Fees	
Addl pages:	2 x 5.00 = \$ 10.00	RMI:	\$ 20.00
Addl Names:	0 x 0.50 = \$ 0.00	TP 584:	\$ 5.00
Addl Refs:	0 x 0.50 = \$ 0.00	RP5217:	\$ 250.00
Misc:	0.00	AFFTS:	\$ 0.00
Basic	\$25.50		
TOTAL: \$35.50		TOTAL: \$ 275.00	
MORTGAGE TAX		DEED TRANSFER TAX	
Mortgage:		Consideration	\$15000.00
Basic:	\$0.00	Transfer Tax:	\$60.00
Ins Fund:	\$0.00	SWIS:	3115
Net Add:	\$0.00	Map #:	111-10-04.0
Misc:	\$0.00		
TOTAL	\$0.00	Total Paid	\$ 370.50
		Control no	2840

WARNING - This sheet constitutes the Clerk's endorsement, required by Section 319 of the Real Property Law of the State of New York. Do not detach. Taxes imposed on this instrument at time of recording were paid. Certain information contained in this document is not verified by this office.

M. ANN CIARPELLI
Onondaga County Clerk

Book/Page 05179 / 0722 Instrument no.: 39745



Syr L 27356 B07 Rawelas Plaza Resub bed

WARRANTY DEED

THIS INDENTURE made this 24th day of October, 2011 between

Syracuse, New York, Eastwood Unit of Jehovah's Witnesses, a New York religious corporation, having its principal address at 109 Florida Road North, Mattydale, New York 13211, grantor, and

Strathmore Products, Inc., a New York corporation having its principal address at 1970 West Fayette Street, Syracuse, New York 13204, grantee..

WITNESSETH, that the grantor, in consideration of One and 00/100 Dollars (\$1.00), paid by grantee, hereby grants and releases unto the grantee, the heirs or successors and assigns of the grantee forever,

ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Syracuse, County of Onondaga and State of New York, and more particularly described on Schedule "A" attached hereto.

TOGETHER with the appurtenances and all the estate and rights of the grantor in and to said premises.

TO HAVE AND TO HOLD the premises herein granted unto the grantee, the heirs or successors and assigns of the grantee forever.

AND the grantor covenants as follows:

FIRST, the grantee shall quietly enjoy the said premises;

SECOND, the grantor will forever warrant the title to said premises;

This deed is subject to the trust provisions of Section 13 of the Lien Law. The words "grantor" and "grantee" shall be construed to read in the plural whenever the sense of this deed so requires.

This transaction does not constitute a sale of all or substantially all of the assets of this grantor.

This conveyance has been authorized pursuant to Section 12(1) of the Religious Corporations Law of the State of New York, and Section 511(d) of the Not-for-Profit Corporation Law of the State of New York by an Order of the Supreme Court, Onondaga County (Hon. Donald A. Greenwood) dated August 23, 2011 and entered in the Onondaga County Clerk's Office on August 24, 2011, under Index Number 2011-4106.

IN WITNESS WHEREOF, the grantor has executed this deed the day and year first above written.

Syracuse, New York, Eastwood
Unit of Jehovah's Witnesses

By: Jeffrey A. Case
Jeffrey A. Case
Chairman

STATE OF NEW YORK)
COUNTY OF ONONDAGA)ss.:

On the 24th day of October 2011, before me, the undersigned, a notary public in and for said State, personally appeared, Jeffrey A. Case, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he has executed the same in his capacity, and that by his signature on the instrument, the individual, or the person on behalf of which the individual acted, executed the instrument.

Michael J. Kawa
Notary Public

MICHAEL J. KAWA
Notary Public in the State of New York
Qualified in Onondaga County, No. 4500632
My Commission Expires August 31, 20 13

* Record and Return to:
08120 (SRS)

SCHEDULE "A"

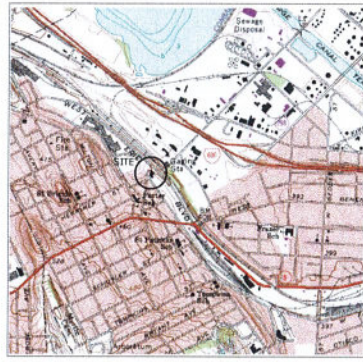
ALL THAT TRACT OF PARCEL OF LAND situate in the City of Syracuse, County of Onondaga and State of New York and being Lot No. 27356 according to a Resubdivision Final Plan Map of Lot 27354 into New Lots 27355 & 27356 prepared by Cottrell Land Surveyors, P.C. dated February 9, 2011, last revised April 25, 2011 and filed in the Onondaga County Clerk's Office on June 15, 2011 as Map No. 11361,

Being 0.379 acres ± and known as 1950 West Fayette Street, Syracuse, New York.

Subject to easements, covenants and restrictions of record.

Being a part of the premises conveyed to the grantor herein by Rasselas Associates, LLC by Warranty Deed dated November 9, 2007 and recorded in the Onondaga County Clerk's Office on November 9, 2007 in Book 5022 of Deeds at page 170.

P 01K 27-35 Geddes
Ac Sub P 955-145 P 192A (Map # 5719)



Location Map - U.S.G.S. Quadrangle - Syracuse West

The subject property lies within flood zone "X" as plotted on FEMA Firm Map Community Panel 36067C0216F dated November 4, 2016 and, based thereon except as specially noted on the survey, no part of the subject property lies within any area designated as "flood prone area," "special flood hazard area" or "100-year flood plain" by the Federal Emergency Management Agency, the United States Army Corps of Engineers, the U.S. Department of Housing and Urban Development, the State of New York, City of Syracuse and County of Onondaga or any other governmental agency or authority having jurisdiction over the subject property nor is any portion of the subject property located within any lake or any creek, stream, river or other watercourse required to be undisturbed by an appropriate governmental agency or authority.

Reference Maps

- 1.) RESUBDIVISION - RASSELAS PLAZA PREPARED BY JACK W. COTTRELL, L.S. DATED NOVEMBER 1, 1977 AND RECORDED IN THE ONONDAGA COUNTY CLERK'S OFFICE AS FILED MAP NO. 5719.
2.) RESUBDIVISION OF LOTS 27352 & 27353 OF BLOCKS 27 & 25 PREPARED BY COTTRELL LAND SURVEYORS, P.C. DATED NOVEMBER 1, 1977, REVISED 8/31/2007 AND RECORDED IN THE ONONDAGA COUNTY CLERK'S OFFICE AS FILED MAP NO. 10750.
3.) RESUBDIVISION OF LOTS 27354 - FILED MAP 5719 INTO NEW LOTS 27355 & 27356 PREPARED BY COTTRELL LAND SURVEYORS, P.C. DATED 11/10/2004, LAST REVISED 04/23/2011 AND RECORDED IN THE ONONDAGA COUNTY CLERK'S OFFICE AS FILED MAP NO. 11281.

Miscellaneous Notes

- 1.) NORTH ORIENTATION IS BASED ON GRID NORTH PER RTK GPS OBSERVATION. RECORD BEARINGS WILL BE SHOWN IN PARENTHESES FOR TITLE COMPARISON.
2.) VERTICAL DATUM IS BASED ON NAVD 1988 DATUM FROM RTK GPS OBSERVATIONS.
3.) THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY C. T. MALE ASSOCIATES ENGINEERING, SURVEYING ARCHITECTURE, LANDSCAPE ARCHITECTURE & GEOLOGY, D.P.C. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY, AND TITLE REFERENCE IS MADE TO A TITLE COMMITMENT BY STEWART TITLE INSURANCE COMPANY, TITLE NO. 76115333, EFFECTIVE DATE OF JULY 30, 2020. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, COVENANTS, AND RESTRICTIONS AS RECORDED THEREIN AND IS FURTHER SUBJECT TO ANY FINDINGS OR TRANSACTIONS REVEALED OR CONDUCTED FROM THE DATE OF SAID CONTINUATION TO THE PRESENT.
4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PHOTOGRAPHY AND RECORDS. LAND SURVEY TESTIMONY, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNRECORDED UTILITIES. THE EXISTENCE OR WHETHER ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNRECORDED UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
5.) FIELD WORK PERFORMED BETWEEN JULY 15-30, 2020.
6.) PARCEL LIES IN "ZONE X" (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) COMMUNITY PANEL MAP NUMBER 36067C0216F, EFFECTIVE DATE OF NOV. 4, 2016.
7.) THERE ARE NO STIPED PARKING SPACES VISIBLE ON SUBJECT PARCEL.
8.) NO DIVISIONS OR PARTY WALLS ARE FOUND ON SITE.
9.) NO OBSERVED CEMETERIES WITHIN 100' OF SURVEYED PARCEL.
10.) NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE FOUND.
11.) NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL WAS NOTED.
12.) NO PROPOSED CHANGES TO STREET RIGHT OF WAY OR RECENT REPAIRS TO STREETS WERE FOUND.
13.) NO WETLAND AREAS WERE OBSERVED IN FIELD AND NO WETLAND DELINEATION WAS FOUND IN FIELD.
14.) BOUNDARY LINE DIMENSIONS AS SHOWN ON THE SURVEY FORM A MATHEMATICALLY CLOSED FIGURE WITH A CLOSURE ERROR OF LESS THAN 0.1 FOOT +/-.

Schedule A - Legal Description (Commitment No.: 76115333)

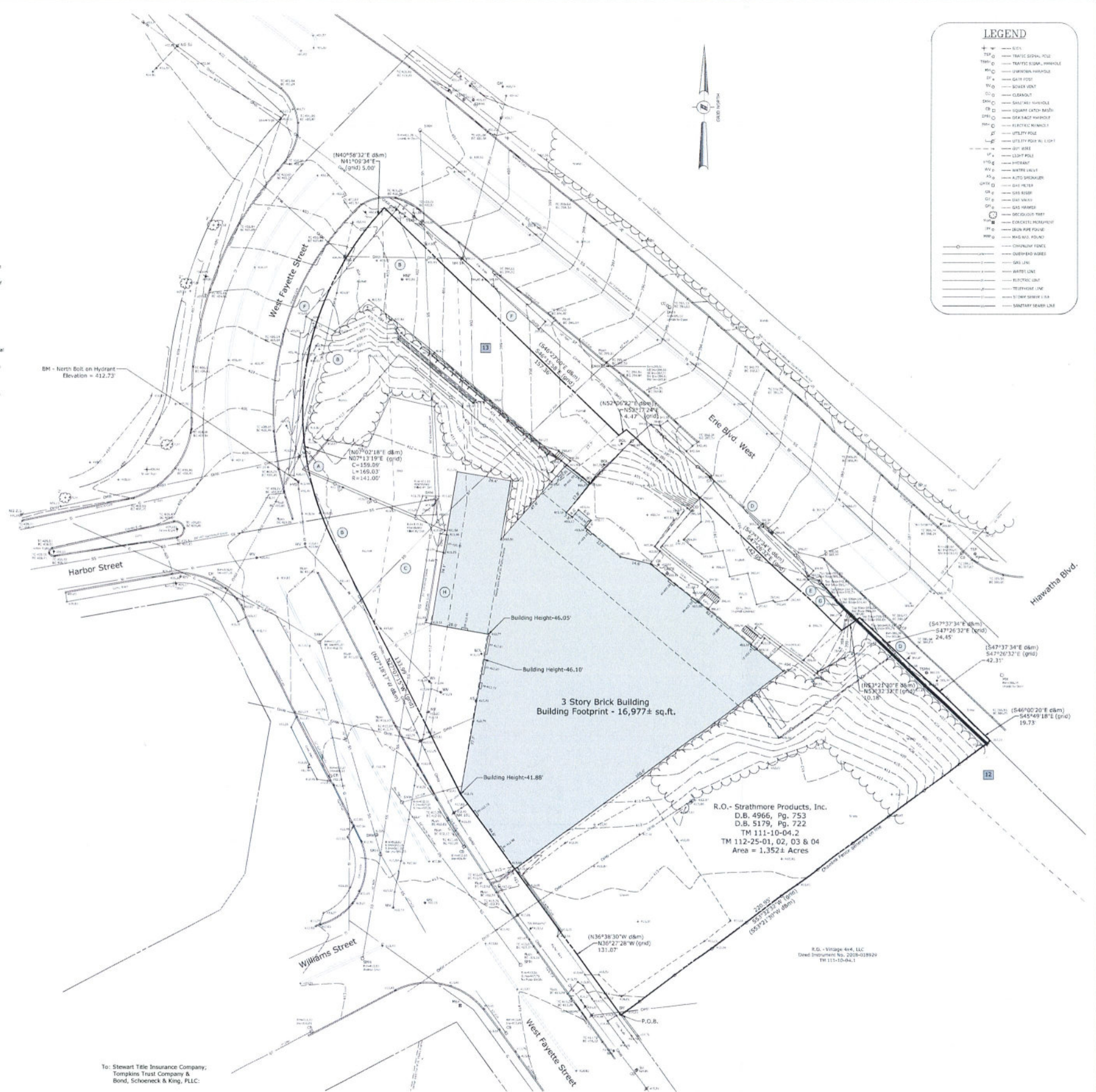
ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Syracuse, County of Onondaga, State of New York, being part of Lot 2 of Block 27 in the former Village of Geddes and a piece of abandoned canal land conveyed to R. Nelson Gene, all of said land bounded and described as follows: Commencing at a point at the intersection of Bridge and Furnace Streets, running thence southerly along the easterly line of Furnace Street 46-07'00" (L); thence northeasterly and at right angles to Furnace Street to the enlarged Erie Canal; thence westerly along the south line of the Erie Canal to Bridge St.; thence southerly along the easterly line of Bridge St. to the place of beginning.
ALSO, ALL THAT TRACT OR PARCEL OF ERIE CANAL LANDS, situate in the City of Syracuse, County of Onondaga and State of New York, and being more particularly described as follows: Beginning at a point in the southerly Blue Line of the former Erie Canal, said point being S. 52° 27' 42" E., measured along said Blue Line a distance of 100.52 feet from its intersection with the westerly line of Harbor Street. Said last mentioned point being also N. 37° 43' 10" E., measured along said westerly street line of Harbor Street a distance of 49.73 feet from a point of deflection in said westerly street line; thence N. 52° 18' 22" E., a distance of 11.23 feet to a point; thence S. 51° 36' 13" E., a distance of 46.52 feet to a point; thence S. 74° 20' 33" E., a distance of 14.53 feet to a point; thence S. 52° 42' 25" E., a distance of 62.76 feet to a point; thence S. 33° 42' 11" W., a distance of 24.24 feet to a point in the said southerly Blue Line of said former Erie Canal; thence N. 52° 17' 45" W., along said southerly Blue Line a distance of 141.42 feet to the place of beginning.
ALSO, ALL THAT TRACT OR PARCEL OF LAND situate in the City of Syracuse, County of Onondaga and State of New York, being a portion of St. Marks Avenue in said City and being more particularly bounded and described as follows: BEGINNING at the intersection of the present northeasterly line of West Fayette Street with the present easterly line of St. Marks Avenue, which is also a corner of the premises now or formerly owned by Claire U. Heaverly, recorded in Book 1037 of Deeds at page 534 & c.; thence N. 27° 10' 17" W., 133.96 feet to a point; thence northerly, along a curve to the right, said curve having a radius of 141.6 feet a distance of 168.03 feet to a point of tangency; thence N. 40° 19' 32" E., a distance of 3.0 feet to its intersection with the present southeasterly line of Erie Boulevard West; thence S. 49° 17' 00" E., along said southeasterly line of Erie Boulevard West, a distance of 137.38 feet to its intersection with said easterly line of St. Marks Avenue, which point is also a northeasterly corner of property now or formerly owned by Claire U. Heaverly; thence S. 50° 03' 02" W., along said easterly line of St. Marks Avenue, a distance of 67.85 feet to an angle point in said line; thence S. 9° 18' 10" W., along said easterly line of St. Marks Avenue, a distance of 32.2 feet, said last two courses are also the northerly and westerly lines of the property now or formerly owned by Claire U. Heaverly to the place of beginning.
ALSO, ALL THAT TRACT OR PARCEL OF LAND located in the City of Syracuse, County of Onondaga and State of New York, described as follows: BEGINNING at a point in the southerly line of Erie Boulevard West, said point being 118.04 feet easterly measured along the southerly line of Erie Boulevard West from the point of intersection of the southerly line of Erie Boulevard West and the westerly line of Harbor Street; thence southerly 22° 46' 22" west 50.32 feet to a point, said point being the northeasterly corner of the premises conveyed to Syracuse Trust Company by City of Syracuse dated June 19, 1942 and recorded in Onondaga County Clerk's Office on or about September 30, 1942; thence south 51° 30' 11" west 46.71 feet; thence south 59° 39' 31" west 14.53 feet; thence south 53° 12' 45" west 32.72 feet along the northerly line of lands conveyed to Syracuse Trust Company; thence north 53° 16' 12" west 22.42 feet to the southerly line of the Boulevard West; thence north 47° 27' 38" west along the south line of the Boulevard West 142.68 feet to the place of beginning.
ALSO, ALL THAT TRACT OR PARCEL OF LAND situate in the City of Syracuse, County of Onondaga, State of New York, being part of Block 27 of the former Village of Geddes, bounded and described as follows: BEGINNING at a point in the southerly line of west part of the second part, 189.07 feet from the intersection of the easterly line of West Fayette Street with the southerly line of St. Marks Avenue, as measured on the following courses and distances: S. 30° 20' 30" E., along the easterly line of West Fayette Street, 41.7 feet; and to S. 62° 12' 30" E., along the southerly line of the lands of the party of the second part, 14.2 feet; thence thence S. 70° 38' 30" E., a distance of 24.2 feet; thence N. 53° 23' 30" E., a distance of 45.18 feet to the westerly line of Erie Boulevard West; thence N. 45° 27' 24" W., along the westerly line of Erie Boulevard West, a distance of 24.45 feet to the southerly line of lands of party of the second part; thence S. 53° 21' 30" W., a distance of 64.5 feet to the place of beginning.
ALSO, ALL THAT TRACT OR PARCEL OF LAND situate in the City of Syracuse, County of Onondaga and State of New York and being Lot No. 27356 according to a Resubdivision from the Map of Lot 27354 into new Lots 27355 & 27356 prepared by Cottrell Land Surveyors, P.C. dated February 9, 2011, last revised April 25, 2011 and filed in the Onondaga County Clerk's Office on June 15, 2011 as Map No. 11281.

Notes to Title Commitment No. 76115333

- 12. Perpetual Easement acquired by Syracuse Grade Crossing Commission from Onondaga Railway Co. by Order dated December 24, 1947 and filed in the Onondaga County Clerk's Office on December 30, 1947, Case No. 10278. (Plotted)
13. Permanent Easement reserved by the City of Syracuse in a deed made by the City of Syracuse to State of Harold S. Bur dated January 6, 1976 and recorded January 3, 1976 in the Onondaga County Clerk's Office in Book 2572 of Deeds at page 422. (Plotted)
14. Right of Way and Easement granted by Robert V. Hunter and First Trust & Deposit Company, Trustee of Rasselas Trust, vol'd 802 March 24, 1976, to Niagara Hotbeek Power Corporation and New York Telephone Company dated October 21, 1976 and recorded October 25, 1976 in the Onondaga County Clerk's Office in Book 2593 of Deeds at page 236. (Unable to plot - deed refers to sketch not provided. Would affect southeasterly half of property - utilities not apparent in field)
15. Permanent Easements acquired by AT&T pursuant to Notice of Supplemental Final Order and Judgment dated May 20, 2009 and recorded October 13, 2009 in the Onondaga County Clerk's Office in Book 5103 of Deeds at page 529. (Unable to plot - appears to affect northerly portion of property being the former Erie Canal lands)
16. Easement Deed by Court Order in Settlement of Landowner Action granted by Stratmore Products, Inc. to Level 3 Communications, LLC, dated November 21, 2012 and recorded February 23, 2013 in the Onondaga County Clerk's Office in Book 5228 of Deeds at page 418. (Unable to plot - Affect TM 111-10-04.2 & TM 112-25-01 & 02 - utilities not apparent in field)
17. Covered and reservation contained in Letters Patent from the People of the State of New York to the City of Syracuse dated March 1, 1924 and recorded April 26, 1924 in the Onondaga County Clerk's Office in Book 537 of Deeds at page 143. (Unable to plot - affects northerly portion of property being the former Erie Canal lands)

Encroachments

- A. Chainlink fence and brick pavement extends into the street right of way.
B. Overhead wires cross over subject property and no recorded easement for lines was provided in title report or abstract.
C. No easement found for sanitary sewer line.
D. Chainlink fence lies within the street right of way.
E. No easement for retaining wall provided.
F. Asphalt pavement encroaches onto street right of way.
G. Concrete dock encroaches onto street right of way.
H. Portions of building lie within the sanitary sewer right of way.



LEGEND: Symbols for various features including utility poles, easements, and boundaries. Includes a north arrow and graphic scale.



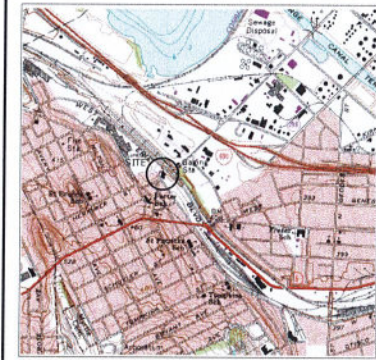
ONLY COPIES OF THIS MAP ISSUED IN RED INK AND EMBOSSED WITH THE SEAL OF AN OFFICER OF C.T. MALE ASSOCIATES.

To: Stewart Title Insurance Company, Tompkins Trust Company & Bond, Schoenbeck & King, PLLC.
This is to certify that this map or plat and the Survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016 and includes Item 1, 2, 3, 4, 5, 7(a), 7(b), 8, 9, 10a, 11, 13, 14 and 16(2) in Table A hereof. The field work was completed on July 30, 2020.
DATE OF MAP: October 5, 2020
SIGNED: David M. Sliski, P.L.S. Registration No. - NY 50105 - expires 2/28/2021

Table with columns: DATE, REVISIONS RECORD/DESCRIPTION, DRAFTER, CHECK, APPR. Includes a revision log and a signature block for David M. Sliski.

ALTA/NSPS LAND TITLE SURVEY FOR THE LANDS NOW OR FORMERLY OF STRATHMORE PRODUCTS, INC. 1499, 1501 & 1515 ERIE BOULEVARD WEST. Includes project details, scale, and date.

DATE: 09/24/2020 10:40:00 AM



Location Map - U.S.G.S. Quadrange - Syracuse West

The subject property lies within flood zone "X" as plotted on FEMA Firm Map Community Panel 36067C0216F dated November 4, 2016 and, based thereon except as specially noted on the survey, no part of the subject property lies within any area designated as "flood prone area," "special flood hazard area" or "100-year flood plain by the Federal Emergency Management Agency, the United States Army Corps of Engineers, the U.S. Department of Housing and Urban Development, the State of New York, City of Syracuse and County of Onondaga or any other governmental agency or authority having jurisdiction over the subject property nor is any portion of the subject property located within any lake or any creek, stream, river or other watercourse required to be undisturbed by an appropriate governmental agency or authority.

Reference Maps

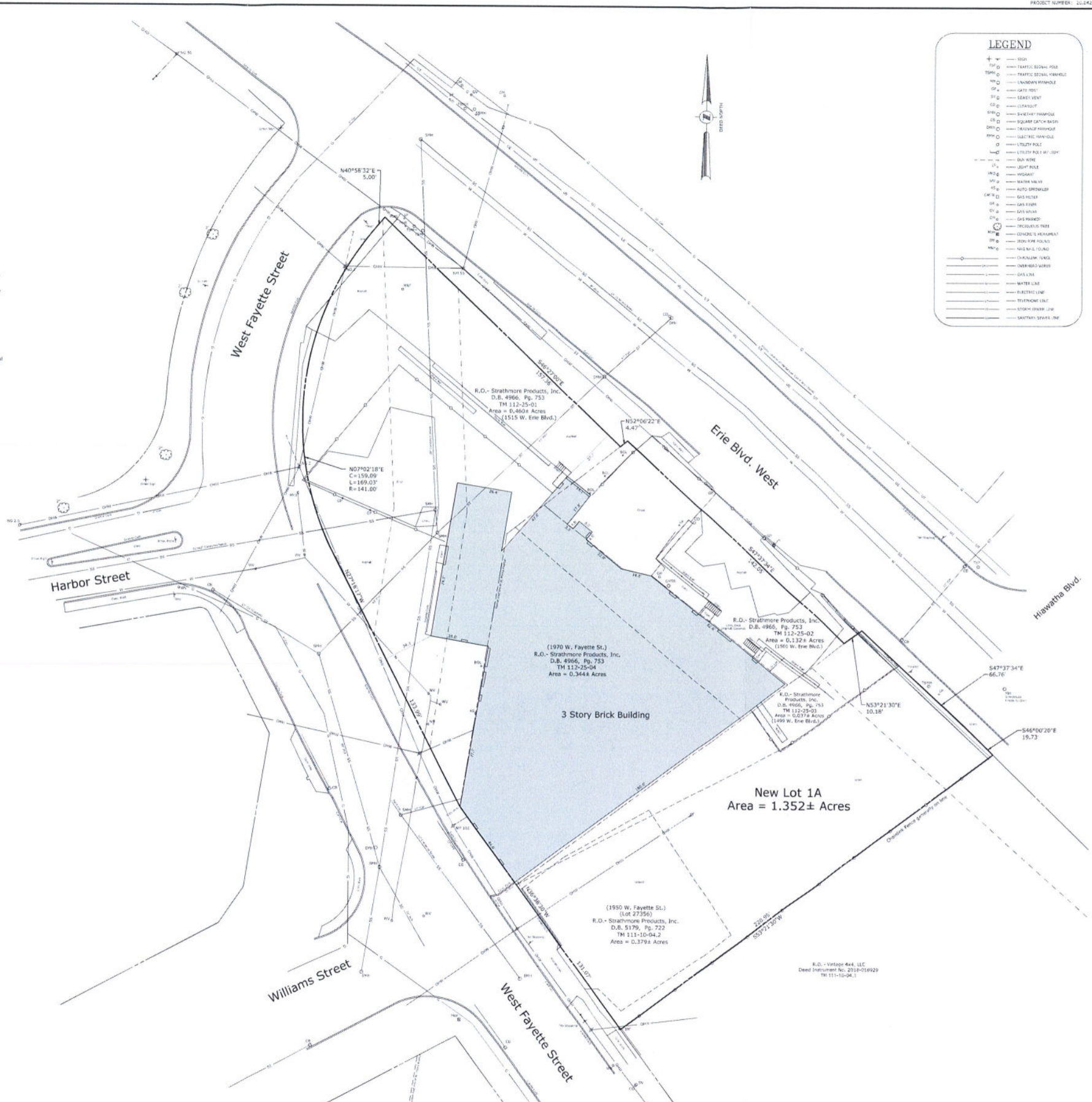
- 1.) RESUBDIVISION - BASSELAS PLAZA PREPARED BY JACQ. W. COTTRELL, L.S., DATED NOVEMBER 1, 1977 AND RECORDED IN THE ONONDAGA COUNTY CLERK'S OFFICE AS FILED MAP NO. 5114.
2.) RESUBDIVISION OF LOTS 27302 & 27303 OF BLOCKS 27 & 28 PREPARED BY COTTRELL LAND SURVEYORS, P.C., DATED NOVEMBER 1, 1977, REVISED 4/31/2007 AND RECORDED IN THE ONONDAGA COUNTY CLERK'S OFFICE AS FILED MAP NO. 30795.
3.) RESUBDIVISION OF LOTS 27354 - FILED MAP 5719 INTO NEW LOTS 27355 & 27356 PREPARED BY COTTRELL LAND SURVEYORS, P.C., DATED 11/20/2004, LAST REVISED 04/25/2011 AND RECORDED IN THE ONONDAGA COUNTY CLERK'S OFFICE AS FILED MAP NO. 11391.

Notes to Title Commitment No. 76115333

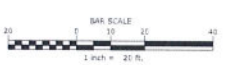
- 1.) Renewed Easement acquired by Syracuse Grade Crossing Commission from Onondaga Pottery Co. by Order dated December 4, 1947 and filed in the Onondaga County Clerk's Office on December 30, 1947. Case No. 10379. (Plotted)
2.) Permanent Easement reserved by the City of Syracuse in a deed made by the City of Syracuse to Estate of Harold E. Burr dated January 6, 1978 and recorded January 3, 1978 in the Onondaga County Clerk's Office in Book 2572 of Deeds at page 422. (Plotted)
3.) Right of Way and Easement granted by Robert V. Huber and First Trust & Deposit Company, Trustee of Kasebeer Trust, w/f 201 March 24, 1976, to Niagara Mohawk Power Corporation and New York Telephone Company dated October 21, 1976 and recorded October 25, 1976 in the Onondaga County Clerk's Office in Book 2597 of Deeds at page 339. (unable to plot - deed refers to sketch not provided. Would affect southerly half of property - utilities not apparent in field)
4.) Permanent Easements acquired by AT&T pursuant to Notice of Supplemental Final Order and Judgment dated May 20, 2009 and recorded October 13, 2009 in the Onondaga County Clerk's Office in Book 8123 of Deeds at page 529. (unable to plot - appears to affect northerly portion of property being the former Erie Canal lands)
5.) Easement Deed by Court Order in Settlement of Landowner Action granted by Strathmore Products, Inc. to Level 3 Communications, LLC, dated November 21, 2012 and recorded February 13, 2013 in the Onondaga County Clerk's Office in Book 5224 of Deeds at page 436. (unable to plot - affect TM 11133-04-2 & TM 112-25-02 & C3 - utilities not apparent in field)
6.) Covenant and reservation contained in Letters Patent from the People of the State of New York to the City of Syracuse dated March 7, 1918 and recorded April 28, 1918 in the Onondaga County Clerk's Office in Book 337 of Deeds at page 163. (unable to plot - affects northerly portion of property being the former Erie Canal lands)

Miscellaneous Notes

- 1.) NORTH ORIENTATION IS BASED ON DEED NORTH PER RECORD TITLE.
2.) VERTICAL DATUM IS BASED ON NAVD 1988 DATUM FROM RTK GPS OBSERVATIONS.
3.) THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY C. T. MALE ASSOCIATES ENGINEERING, SURVEYING ARCHITECTURE, LANDSCAPE ARCHITECTURE & GEOLOGY, D.P.C., TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY, AND TITLE REFERENCE IS MADE TO A TITLE COMMITMENT BY STEWART TITLE INSURANCE COMPANY; TITLE NO. 76115333, EFFECTIVE DATE OF JULY 26, 2020. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, COVENANTS, AND RESTRICTIONS AS RECITED THEREIN AND IS FURTHER SUBJECT TO ANY FINDINGS OR TRANSACTIONS REVEALED OR CONDUCTED FROM THE DATE OF SAID CONTINUATION TO THE PRESENT.
4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY, THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
5.) FIELD WORK PERFORMED BETWEEN JULY 15-20, 2020.
6.) PARCEL LIES IN "ZONE X" (AREA DETERMINED TO BE OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) COMMUNITY PANEL MAP NUMBER 36067C0216F, EFFECTIVE DATE OF NOV. 4, 2016.
7.) THERE ARE NO STAPLED PARKING SPACES VISIBLE ON SUBJECT PARCEL.
8.) NO DIVISIONS OR PARTY WALLS ARE FOUND ON SITE.
9.) NO OBSERVED CENTERLINES WITHIN 100' OF SURVEYED PARCEL.
10.) NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE FOUND.
11.) NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL WAS NOTED.
12.) NO PROPOSED CHANGES TO STREET RIGHT OF WAY OR RECENT REBAR TO STREETS WERE FOUND. ERIE BOULEVARD WEST AND WEST FAYETTE STREET ARE PUBLIC HIGHWAYS.
13.) NO WETLAND AREAS WERE OBSERVED IN FIELD AND NO WETLAND DELINEATION WAS FOUND IN FIELD.
14.) BOUNDARY LINE CORNERINGS AS SHOWN ON THE SURVEY FORM A MATHEMATICALLY CLOSED FIGURE WITH A CLOSURE ERROR OF LESS THAN 0.1 FOOT +/- .
15.) SITE HAS LEGAL ACCESS TO ERIE BOULEVARD WEST AND WEST FAYETTE STREET WHICH ARE PUBLIC HIGHWAYS. SITE HAS CURB CUTS ON ERIE BOULEVARD WEST AND WEST FAYETTE STREET.
16.) PARCEL IS AT THE INTERSECTION OF ERIE BOULEVARD WEST AND WEST FAYETTE STREET.



LEGEND
- ROAD
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL VEHICLE
- LANDMARK MONUMENT
- CURB CUT
- SEWER VENT
- CULVERT
- SKEWED THROUGH
- SQUARE CULVERT
- TRANSVERSE FENCE
- ELECTRIC HANGOVER
- UTILITY POLE
- UTILITY POLE W/ JOINT
- SIGN
- SIGN W/ LIGHT
- LIGHT POLE
- HIGHWAY
- BRIDGE MARK
- AUTO SPREADER
- GAS PETER
- GAS VALVE
- GAS VALVE
- GAS METER
- DECIDUOUS TREE
- CONIFER (RECURVAT)
- REDUCTION POLES
- GAS METER (GAS)



I HEREBY CERTIFY THAT THIS IS AN ACCURATE RESUBDIVISION PLAT PREPARED BY US ON SEPTEMBER 7, 2021. THIS RESUBDIVISION PLAT MEETS THE CURRENT STANDARDS STATED IN THE NATIONAL CODE OF PRACTICE FOR LAND SURVEYS PERTAINING TO BOUNDARY SURVEYS. THE SUBDIVISION BOUNDARY CLOSURE IS GREATER THAN 1:10,000. THIS MAP IS NOT VALID WITHOUT THE ORIGINAL SET OF THE SURVEYING.

Table with columns: DATE, REVISIONS RECORD/DESCRIPTION, DRAFTER, CHECK, APPR. Includes a signature of David M. Sleski and a date of Sept. 7, 2021.

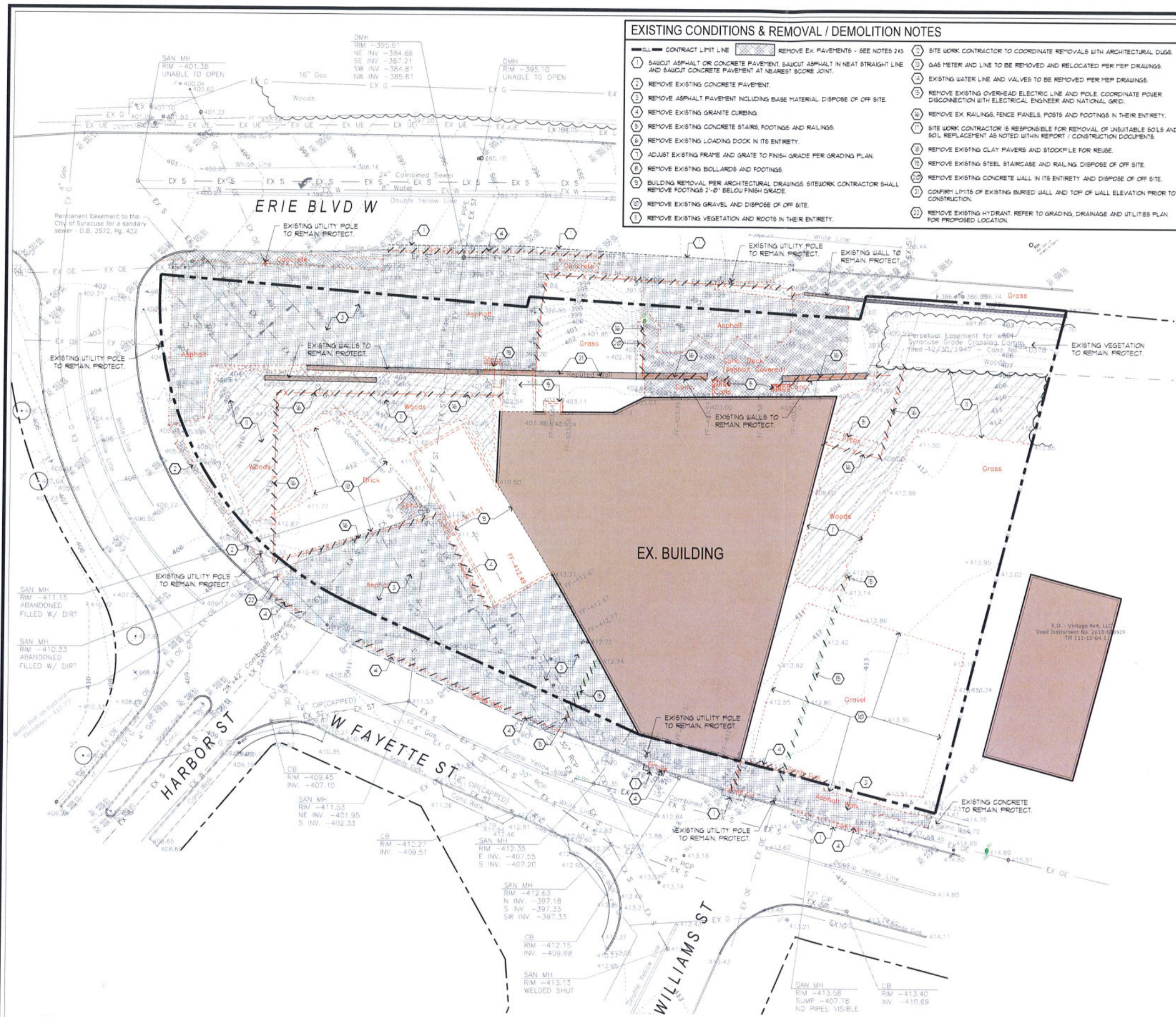
RESUBDIVISION PLAT FOR THE LANDS OF STRATHMORE PRODUCTS, INC. 1499, 1501 & 1515 ERIE BOULEVARD WEST & 1950 & 1970 FAYETTE STREET WEST LOTS 1 & 27356 AND PART OF LOT 2 IN CITY BLOCK 27 INTO NEW LOT 1A OF CITY BLOCK 27. CITY OF SYRACUSE, ONONDAGA COUNTY, NEW YORK. C.T. MALE ASSOCIATES ENGINEERING, SURVEYING ARCHITECTURE, LANDSCAPE ARCHITECTURE & GEOLOGY, D.P.C.

GENERAL NOTES X-STRATHMORE-GEN NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY C.T. MALE ASSOCIATES, L.L.C. LAND SURVEYING, D.P.C., NORTH SYRACUSE, NY, DATED SEPTEMBER 24, 2020.
2. OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS, BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.
3. ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.
4. PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.
5. ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.
6. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-7980.
7. ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.
8. ALL NON-PAVED AREAS ARE TO BE LAWN UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE WITHIN THE CONTRACT LIMIT LINE. EXISTING LAWNS SHALL BE MOVED AS MUCH AS PRACTICAL TO KEEP AREA FROM LOOKING UNSIGHTLY. ALL TRASH AND DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY.

EXISTING CONDITIONS & REMOVAL / DEMOLITION NOTES

- 1. SAUCUT ASPHALT OR CONCRETE PAVEMENT. SAUCUT ASPHALT IN NEAT STRAIGHT LINE AND SAUCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
- 2. REMOVE EXISTING CONCRETE PAVEMENT.
- 3. REMOVE ASPHALT PAVEMENT INCLUDING BASE MATERIAL. DISPOSE OF OFF SITE.
- 4. REMOVE EXISTING GRANITE CURBING.
- 5. REMOVE EXISTING CONCRETE STAIRS, FOOTINGS AND RAILINGS.
- 6. REMOVE EXISTING LOADING DOCK IN ITS ENTIRETY.
- 7. ADJUST EXISTING FRAME AND GRATE TO FINISH GRADE PER GRADING PLAN.
- 8. REMOVE EXISTING BOLLARDS AND FOOTINGS.
- 9. BUILDING REMOVAL PER ARCHITECTURAL DRAWINGS. SITEWORK CONTRACTOR SHALL REMOVE FOOTINGS 2'-0" BELOW FINISH GRADE.
- 10. REMOVE EXISTING GRAVEL AND DISPOSE OF OFF SITE.
- 11. REMOVE EXISTING VEGETATION AND ROOTS IN THEIR ENTIRETY.
- 12. SITE WORK CONTRACTOR TO COORDINATE REMOVALS WITH ARCHITECTURAL DUGS.
- 13. GAS METER AND LINE TO BE REMOVED AND RELOCATED PER MEP DRAWINGS.
- 14. EXISTING WATER LINE AND VALVES TO BE REMOVED PER MEP DRAWINGS.
- 15. REMOVE EXISTING OVERHEAD ELECTRIC LINE AND POLE. COORDINATE POWER DISCONNECTION WITH ELECTRICAL ENGINEER AND NATIONAL GRID.
- 16. REMOVE EX. RAILINGS, FENCE PANELS, POSTS AND FOOTINGS IN THEIR ENTIRETY.
- 17. SITE WORK CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF UNSUITABLE SOILS AND SOIL REPLACEMENT AS NOTED WITHIN REPORT / CONSTRUCTION DOCUMENTS.
- 18. REMOVE EXISTING CLAY PAVERS AND STOCKPILE FOR REUSE.
- 19. REMOVE EXISTING STEEL STAIRCASE AND RAILING. DISPOSE OF OFF SITE.
- 20. REMOVE EXISTING CONCRETE WALL IN ITS ENTIRETY AND DISPOSE OF OFF SITE.
- 21. CONFIRM LIMITS OF EXISTING BURIED WALL AND TOP OF WALL ELEVATION PRIOR TO CONSTRUCTION.
- 22. REMOVE EXISTING HYDRANT. REFER TO GRADING, DRAINAGE AND UTILITIES PLAN FOR PROPOSED LOCATION.



LEGEND X-STRATHMORE-LEGEN

EXISTING	PROPOSED	DESCRIPTION
-00-	-	CONTOUR
+377.2	-	SPOT ELEVATION
CT/CE	-	CURB TAPER/END
TC/BC	-	TOP/BOTTOM OF CURB
TUBW	-	TOP/BOTTOM OF WALL
EG	-	EXISTING GRADE
HP/LP	-	HIGH / LOW POINT
TP-1	-	TEST PIT
-	-	GUIDERAIL
-	-	FENCE
UT	-	UTILITY POLE
WL	-	WATER LINE
FD	-	FIRE HYDRANT
ST	-	STORM PIPE
UD	-	UNDERDRAIN
SP	-	SANITARY PIPE
OE	-	OVERHEAD ELECTRIC
UE	-	UNDERGROUND ELECTRIC
-	-	TELEPHONE
ST TH	-	STORM STRUCTURE
DW	-	DRYWELL
DI	-	INLET
CB	-	CATCH BASIN/MANHOLE
CO	-	CLEAN OUT
SM	-	SANITARY MANHOLE
AS	-	ASPHALT PAVEMENT-SYRACUSE STREET CUT REPAIR
AP	-	ASPHALT PAVEMENT-PARKING
CP	-	CONCRETE PAVEMENT
AD	-	ASPHALT PAVEMENT-DRIVE
TS	-	TRAFFIC SIGN
LP	-	LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
CF	-	CURB FLUSH (REVEAL UNLESS OTHERWISE NOTED)
BF	-	B&T FENCE
T	-	TREE
SH	-	SHRUB
PK	-	PLANT KEY
V	-	VEGETATION

CLIENT:
Scott Dumas

ISSUED AND REVISIONS NOTIFICATION

No.	Rev.	Description	Date
1			
2			
3			
4			
5			
6			
7			

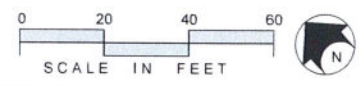
Drawn By	NL, SF
Checked By	NL, SF
Proj. No.	42007
Date	SEPT. 20, 2021
Scale	A5 NOTED

Title:

SITE PREPARATION PLAN

L1.00

1 SITE PREPARATION PLAN
L1.00

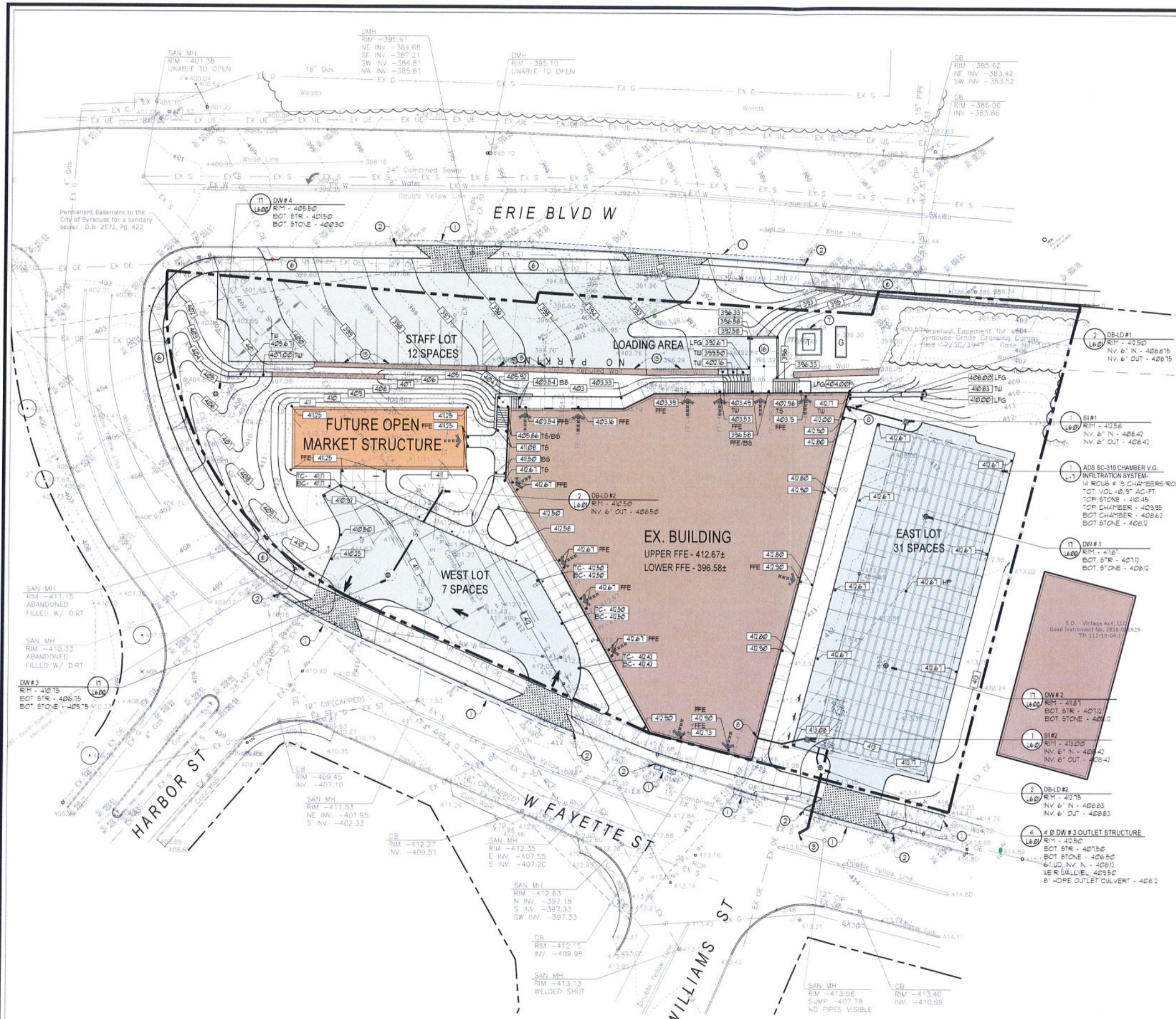


GRADING, DRAINAGE & UTILITY GENERAL NOTES

1. ANY/FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
2. WHEREVER EXISTING STORY# STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
3. ALL CONCRETE PAVING AT ALL EXISTING AND NEW DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOULED TO FOUNDATION WALL PER DETAILS.

GRADING, DRAINAGE & UTILITY NOTES

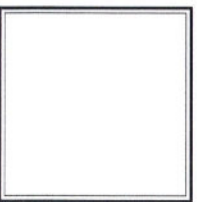
1. MEET EXISTING LINE AND GRADE.
2. MEET TOP AND FACE OF EXISTING GRANITE CURB.
3. CONNECT PROPOSED 8" HDPE TO EXISTING PIPE WITH WATER TIGHT CONNECTION. SUBMIT EXISTING PIPE INVERT PRIOR TO CONSTRUCTION (ASSUME 408.00 OR LOWER).
4. MAINTAIN MIN. 6" CURB REVEAL AT EXISTING CURB.
5. FIELD VERIFY PIPE INVERTS AND SIZES PRIOR TO COMMENCEMENT OF STORY# PIPE INSTALLATION. REPORT RESULTS TO LANDSCAPE ARCHITECT.
6. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%. PROVIDE 2% MAXIMUM CROSS SLOPE.
7. INSTALL TRANSFORMER/ GENERATOR PER MEP DRAWINGS.
8. INSTALL ROOF DRAINS PER ARCHITECTURAL PLANS.
9. WATER LATERAL SHOWN FOR COORDINATION PURPOSES. COORDINATE TAP LOCATION WITH CITY OF SYRACUSE WATER DEPARTMENT. REFER TO MEP DRAWINGS FOR BUILDING CONNECTION.
10. INSTALL PARKING LOT BUILDING MOUNTED LIGHTS, LIGHT POLES, FIXTURES, BASES, CONDUIT AND WIRING PER ELECTRICAL DRAWINGS.
11. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR WORK WITHIN THE CITY ZONE.
12. GAS LATERAL SHOWN FOR COORDINATION PURPOSES. REFER TO MEP DRAWINGS.
13. COORDINATION NAD CONFIRM STORY# FIRE DEPARTMENT CONNECTION (FDC) AT BUILDING. SYRACUSE FIRE DEPARTMENT TO APPROVE FINAL LOCATION (ELTON DAVIS - 315-448-4711).
14. INSTALL KNOX BOX PER ARCHITECTURAL DRAWINGS. SYRACUSE FIRE DEPARTMENT TO APPROVE FINAL LOCATION (ELTON DAVIS - 315-448-4711).
15. CONFIRM EXISTING BOTTOM OF WALL ELEVATION PRIOR TO CONSTRUCTION. COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO PARKING LOT CONSTRUCTION.
16. LOADING DOCK PER STRUCTURAL DRAWINGS. FINISH GRADES AS SHOWN ON SITE PLANS.



1970 WEST FAYETTE ST.
1970 West Fayette Street
SYRACUSE, NY

CLIENT:
Scott Dumas

No. Rev	Description	Date
1		
2		
3		
4		
5		
6		
7		

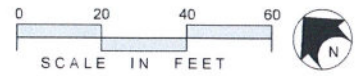


Drawn By: NL SF
Checked By: NL SF
Proj. No.: 40087
Date: SEPT. 20, 2021
Scale: AS NOTED

**GRADING
DRAINAGE AND
UTILITIES PLAN**

L2.00

1 GRADING, DRAINAGE, AND UTILITY PLAN
L2.00

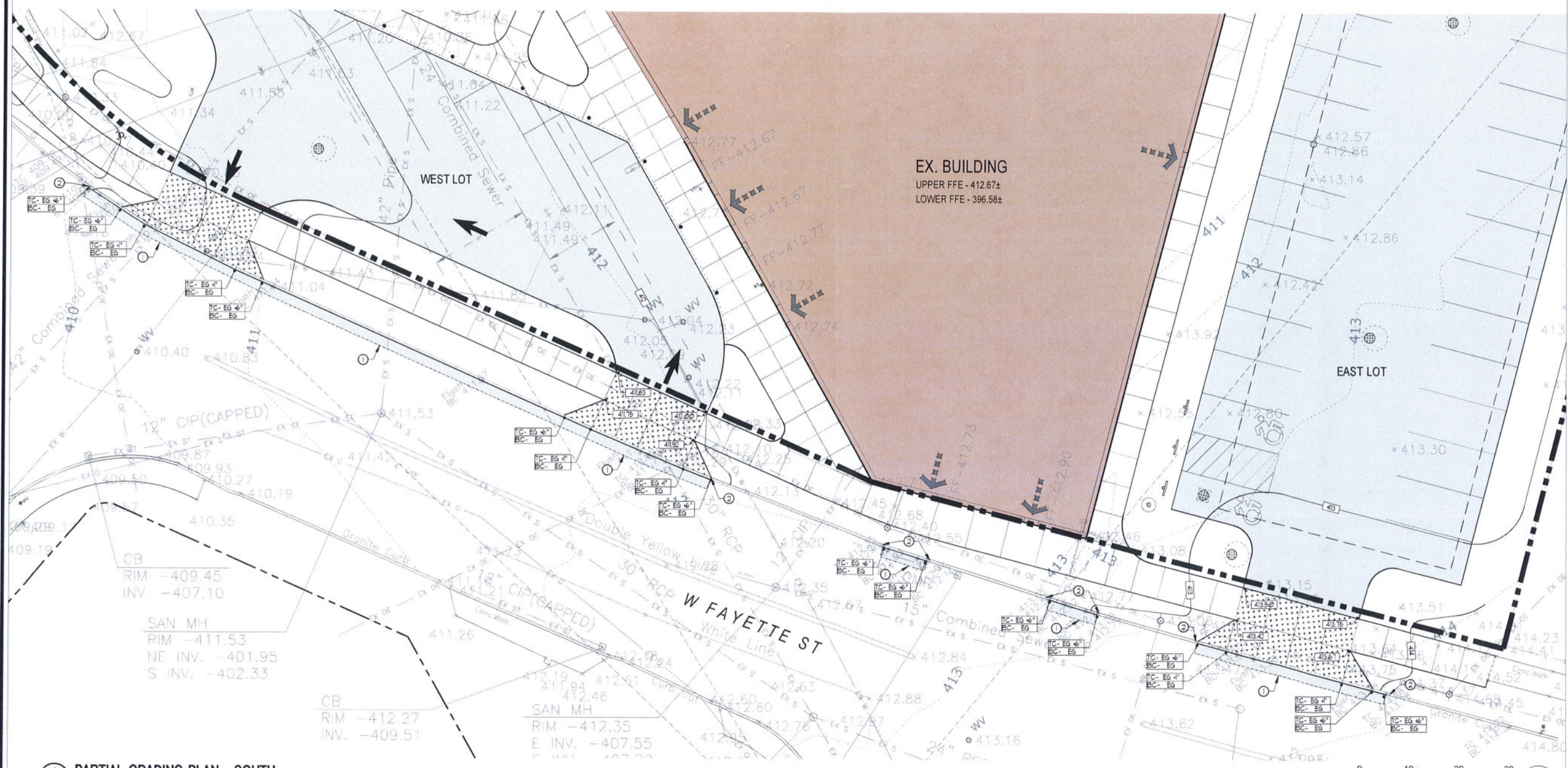


PARTIAL GRADING GENERAL NOTES

1. ANY/FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.

PARTIAL GRADING NOTES

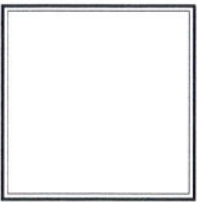
- ① MEET EXISTING LINE AND GRADE.
- ② MEET TOP AND FACE OF EXISTING GRANITE CURB.



1970 WEST FAYETTE ST.
1970 West Fayette Street
SYRACUSE, NY

CLIENT:
Scott Dumas

ISSUED AND REVISIONS NOTIFICATION	
No. / Rev.	Description / Date
1	
2	
3	
4	
5	
6	
7	



Drawn By: NL, GF
Checked By: NL, GF
Proj. No.: 42087
Date: SEPT. 20, 2021
Scale: AS NOTED

TITLE:
PARTIAL GRADING PLAN - SOUTH

L2.01

1 PARTIAL GRADING PLAN - SOUTH
L2.01

PARTIAL GRADING GENERAL NOTES
1. ANY/FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.

PARTIAL GRADING NOTES
① MEET EXISTING LINE AND GRADE.
② MEET TOP AND FACE OF EXISTING GRANITE CURB.

1970 WEST FAYETTE ST.
1970 West Fayette Street
SYRACUSE, NY

CLIENT:
Scott Dumas

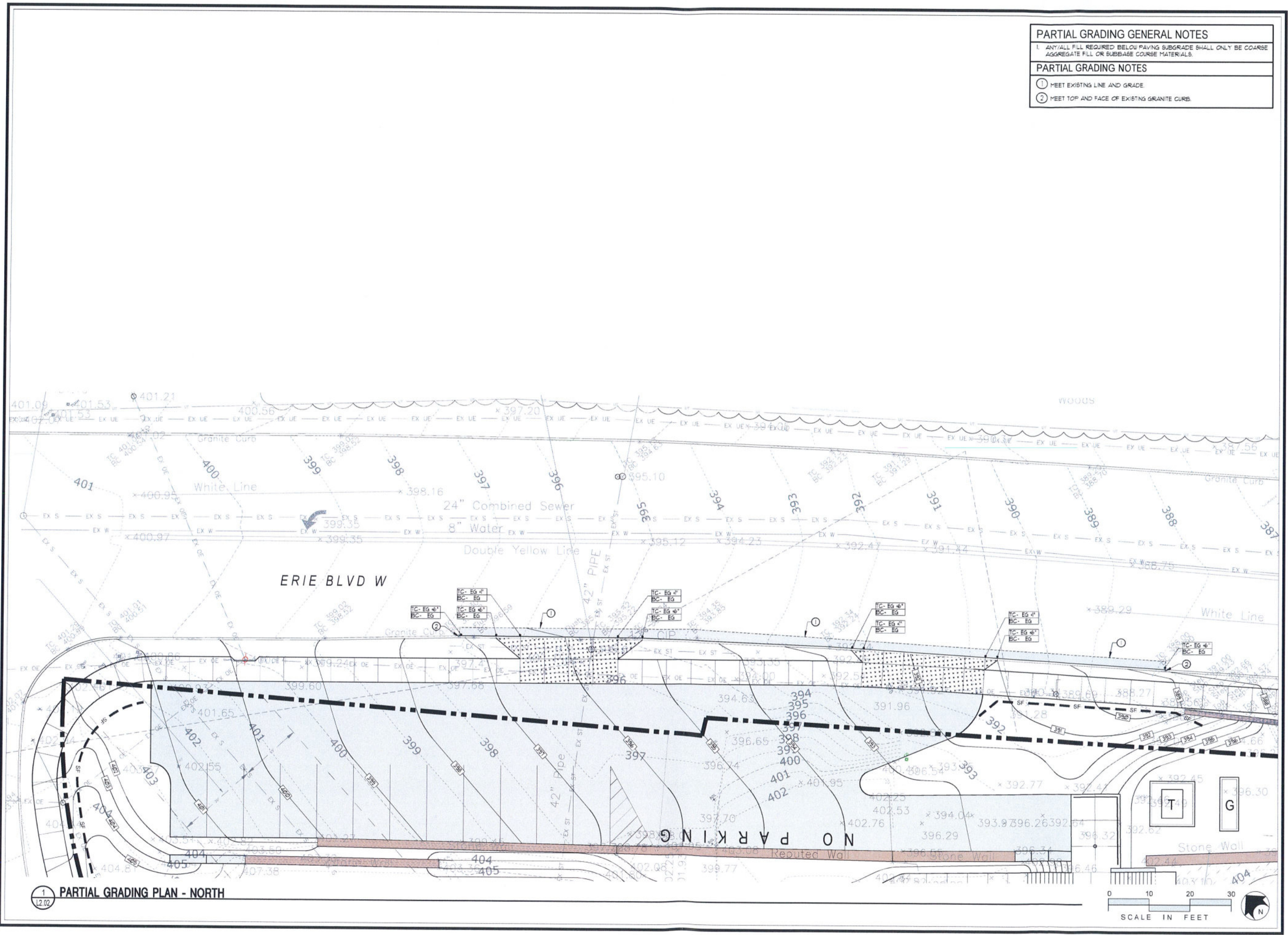
No.	Rev.	Description	Date
1			
2			
3			
4			
5			
6			
7			

--	--

Drawn By: NL, SF
Checked By: NL, SF
Proj. No: 42027
Date: SEPT. 20, 2021
Scale: AS NOTED

Title:
PARTIAL GRADING PLAN - NORTH

L2.02

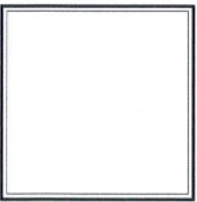


1 PARTIAL GRADING PLAN - NORTH
L2.02

1970 WEST FAYETTE ST.
1970 West Fayette Street
SYRACUSE, NY

CLIENT:
Scott Dumas

No.	Rev.	Description	Date
1			
2			
3			
4			
5			
6			
7			



Drawn By: NL SF
Checked By: NL SF
Proj. No: 42027
Date: SEPT. 20, 2021
Scale: AS NOTED

Title:
LAYOUT PLAN

L3.00

LAYOUT CONSTRUCTION NOTES

- 1 PAINT 3" HT. "NO PARKING" TEXT.
- 2 4" WIDE PAINTED LINES, (TYP.)
- 3 PAINT 4" WIDE LINES AT 45° ± 2' OC. (TYP.)
- 4 BUILDING LAYOUT BASELINE
- 5 INSTALL BOLLARD PER DETAIL 1/16.00
- 6 INSTALL SAFETY RAILING PER DETAIL.
- 7 INSTALL DOWELING AT DOORWAYS PER DETAIL 13/16.00.
- 8 MATCH EXISTING ROW STREET CUT ASPHALT PAVEMENT REPAIR PER DETAIL 0/16.00.
- 9 INSTALL BIKE RACK PER DETAIL 18/16.00.
- 10 INSTALL GRANITE CURB PER DETAIL 1/16.00.
- 11 INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT 2 FOUR (1' OVERALL APRON/ DRIVEWAY) PER DETAIL 16/16.00.
- 12 INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT 2 FOUR (5' OVERALL ± DUALK) PER DETAIL 10/16.00.
- 13 INSTALL CONCRETE PAVEMENT PER DETAILS 9/16.00 AND 14/16.00.
- 14 INSTALL ASPHALT PAVEMENT - PARKING PER DETAIL 6/16.00.
- 15 INSTALL CONCRETE STAIR PER DETAIL 6/16.01.
- 16 INSTALL CONCRETE MODULAR WALL PER DETAIL 3/16.01.

SIGN SCHEDULE

KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NYSDOT MUTCD NO. / COMMENTS
A	RESERVED PARKING W/ ACCESSIBLE SYMBOL	8" x 18" 7'-0" HT.	SIGN NO. P4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT/ BORDER. COMMENTS:
B	NO PARKING ANY TIME	8" x 18" 7'-0" HT.	SIGN NO. - R7-1 COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
C	STOP SIGN	24" x 24" 7'-0" HT.	SIGN NO. R1-C COLORS: RED BACKGROUND, WHITE TEXT AND BORDER

NOTES:
1 REFER TO TRAFFIC CONTROL SIGN DETAIL FOR INSTALLATION.
2 ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NYSDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

PARKING REGULATIONS - INDUSTRIAL (IA)

PARKING SPOT DIMENSIONS

EXISTING PARKING SPACE SIZE: VARIES
CODE PARKING STALL SIZE: 9'-0" x 18'-0"
PROJECT PARKING STALL SIZE: 9'-0" x 18'-0"

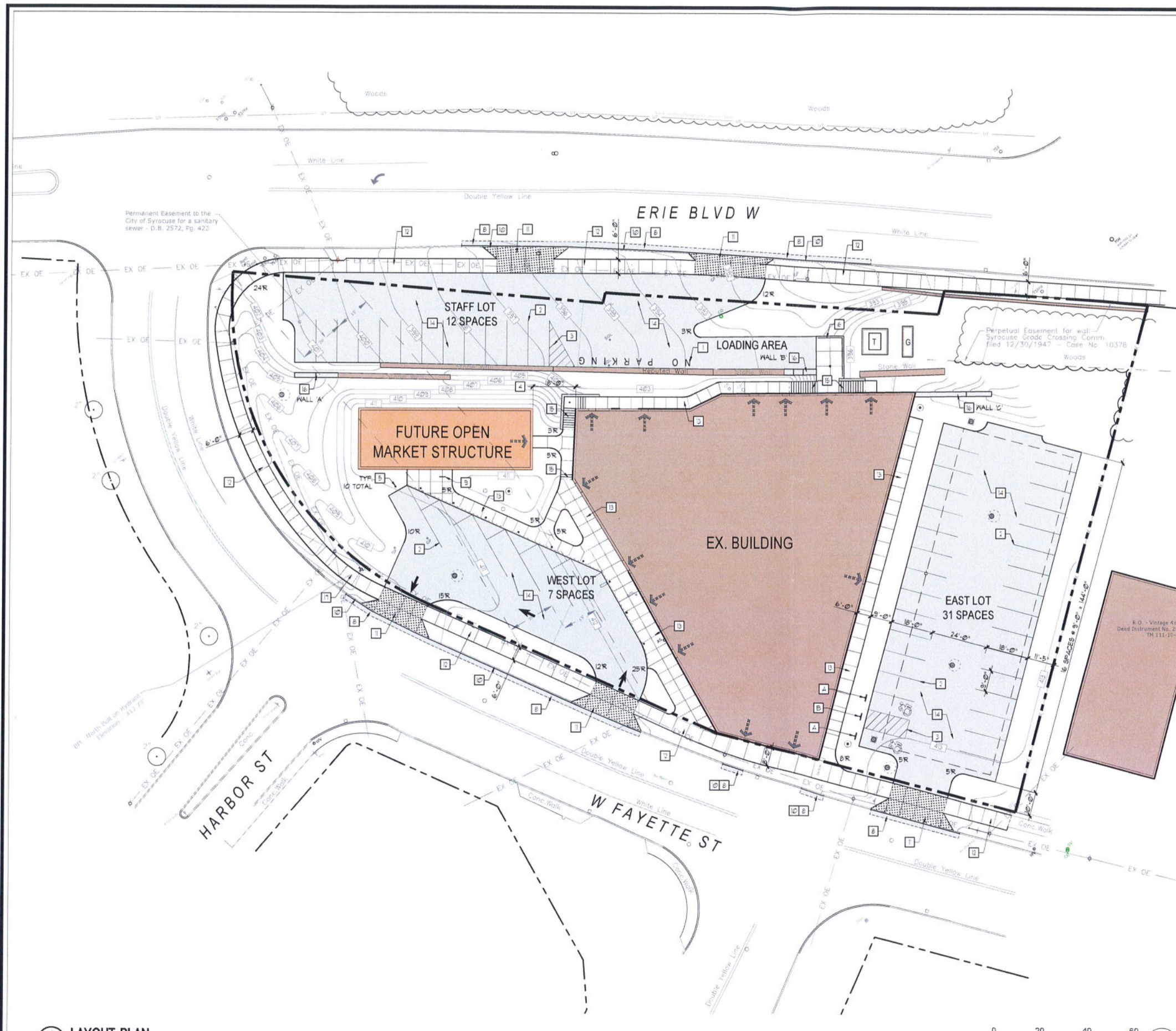
PARKING SPOT CONFIGURATION

EXISTING PARKING SPACE CONFIGURATION: VARIES
CODE REQUIRED: 90° DIAGONAL PARALLEL
PROJECT PROPOSED: 90° and DIAGONAL

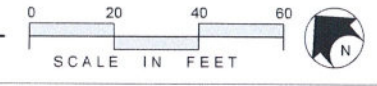
PARKING REQUIREMENTS

GROCERY - 1 SPACE PER 300 SF
RETAIL - 1 SPACE PER 300 SF
RESTAURANT - 1 SPACE PER 200 SF
OFFICE - 1 SPACE PER 500 SF
MEDICAL OFFICE - 3 SPACES PER DOCTOR/ PROFESSIONAL PRACTITIONER

PARKING COUNT	CODE REQUIRED	PROVIDED
GROCERY - 5,150 SF.	18 SPACES	11 SPACES
RETAIL - 2,724 SF.	10 SPACES	10 SPACES
RESTAURANT - 2,446 SF.	13 SPACES	13 SPACES
OFFICE - 1,560 SF.	16 SPACES	16 SPACES
TOTAL REQUIRED	57 SPACES	50 SPACES



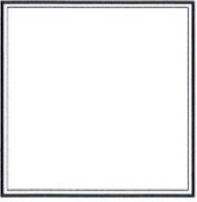
1 LAYOUT PLAN
L3.00



1970 WEST FAYETTE ST.
 1970 West Fayette Street
 SYRACUSE, NY

CLIENT:
 Scott Dumas

ISSUED AND REVISIONS NOTIFICATION	No./Rev.	Description	Date
	1		
	2		
	3		
	4		
	5		
	6		
	7		



Drawn By: NL, SF
 Checked By: NL, SF
 Plot No: 40087
 Date: SEPT. 20, 2021
 Scale: AS NOTED

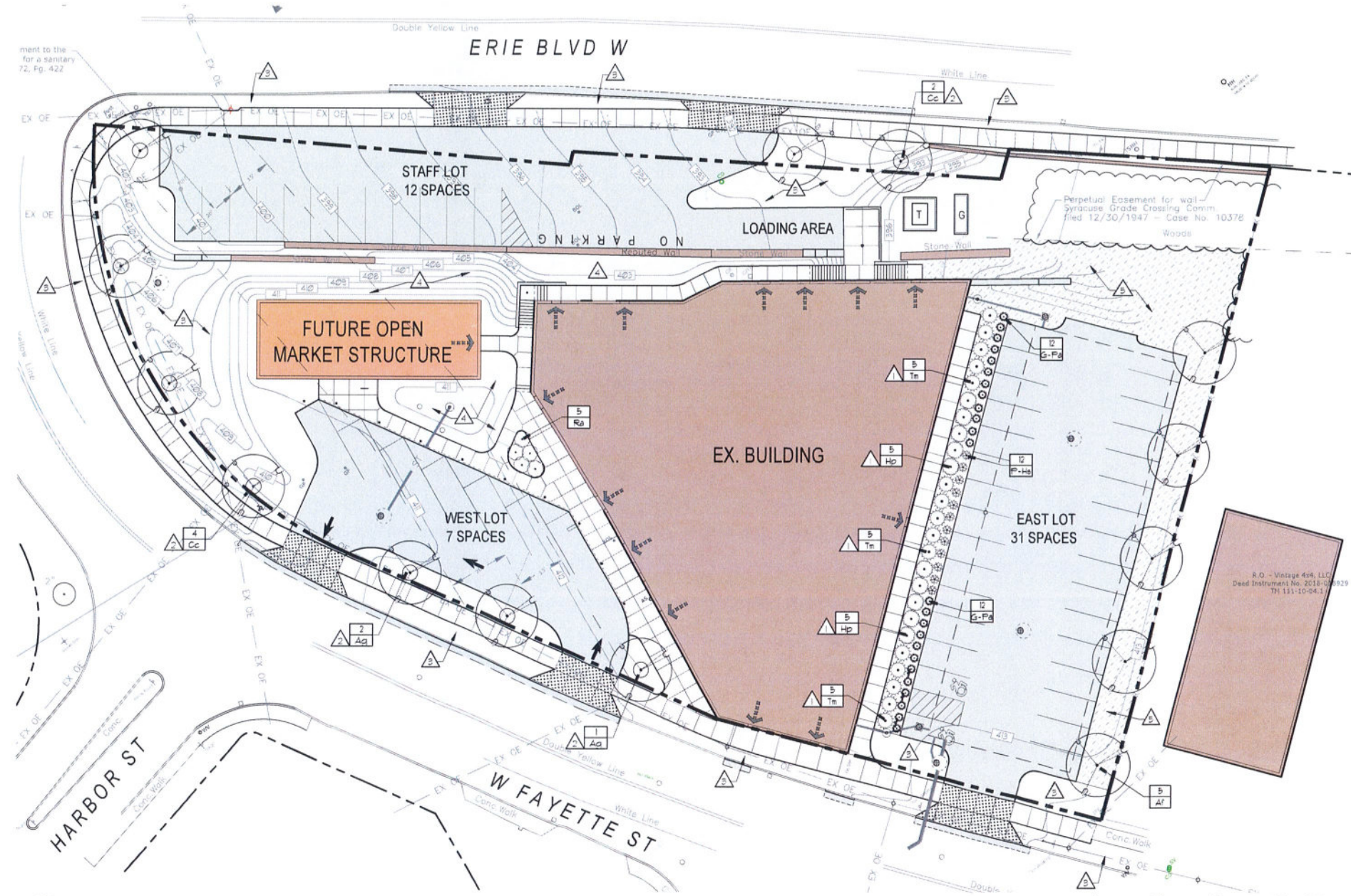
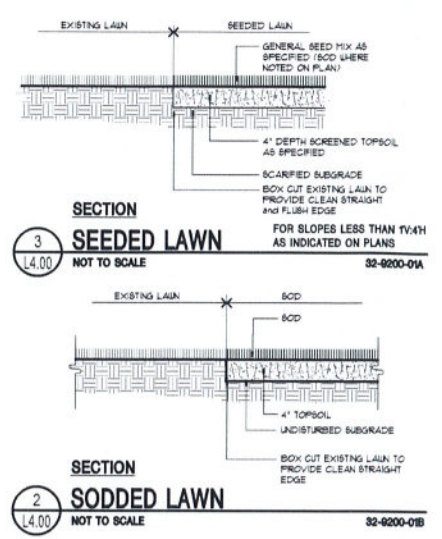
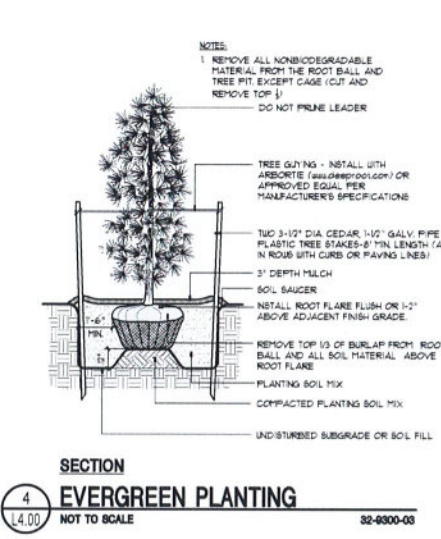
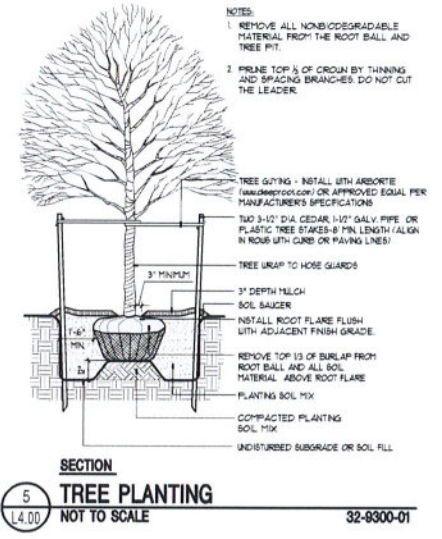
PLANTING PLAN

L4.00

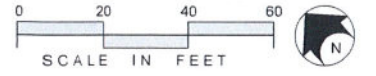
PLANT LIST						
KEY	COMMON NAME	BOTANICAL NAME	CALIPER	HT.	BRANCH HT.	CONDITION
TREES						
Af	FREEMAN MAPLE	ACER FREEMANII	2" CAL.	10'-15'	6'	B1B
Ag	SERVICEBERRY	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL.	8'-10'	6'	B1B, SINGLE STEM
Cc	AMERICAN HORNEBEAM	CARPINUS CAROLINIANA	2" CAL.	10'-15'	6'	B1B
SHRUBS						
Hp	LITTLE QUICK FIRE HYDRANGEA	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE'	--	--	--	3 GAL
Ra	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	--	--	--	3 GAL
Tm	TAUNTON'S YEW	TAXUS X MEDIA 'TAUNTONII'	--	--	--	3 GAL
ORNAMENTAL GRASSES & PERENNIALS						
G-Pa	FENNETUM ALOPEGURIDES 'HAMELN'	GALAMAGROSTIS AGUTIFLORA	--	--	--	2 GAL
P-Hs	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA DE ORO'	--	--	--	2 GAL

PLANT NOTES

- 1. 3" DEPTH SHREDDED BARK MULCH WITH 18" OF SCREENED TOPSOIL.
- 2. 5' DIAMETER CIRCLE WITH 3" OF SHREDDED BARK MULCH.
- 3. SEEDED LAWN PER DETAIL 3/L4.00 (ALL DISTURBED AREAS).
- 4. SEEDED LAWN PER DETAIL 2/L4.00.
- 5. INSTALL NORTHERN WILDFLOWER MIX (85% SHEEPSFOOT FESCUE AND 15% MISCELLANEOUS WILDFLOWERS) AS DISTRIBUTED BY NORTHERN NURSERIES, CICERO, NY.



1 PLANTING PLAN
 L4.00



SOIL RESTORATION NOTES

1. ACCORDING TO SECTION 5 OF THE NYS STORMWATER DESIGN MANUAL, SOIL RESTORATION PRACTICES MUST BE APPLIED ACROSS THE SITE IN AREAS OF SOIL DISTURBANCE.

2. **SOIL RESTORATION REQUIREMENTS:**

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	HSG A/B - APPLY 6 INCHES OF TOPSOIL HSG C/D - AERATE AND APPLY 6 INCHES OF TOPSOIL
AREAS OF CUT OR FILL	HSG A/B - AERATE AND APPLY 6 INCHES OF TOPSOIL HSG C/D - APPLY FULL SOIL RESTORATION*
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN ZONE 8-10 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)*
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.
TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING PIPEWORKS AREA WILL BE CONVERTED TO PREVIOUS AREA.

*AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COLTERS MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PROMOTE HIGH TRACTION LIKE A MINI-SUB-SOILER.

*PER "DEEP RIPPING AND DE-COMPACTION DEC 2008".


3. **SOIL RESTORATION PRACTICE IMPLEMENTATION:**

DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:

- APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
- TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 3 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC OR TILLAGE TONG, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
- ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEARED OFF THE SITE.
- APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
- VEGETATE AS REQUIRED BY APPROVED PLAN.
- COMPOST SHALL BE AGED FROM PLANT DERIVED MATERIALS, FREE OF VIABLE SEED. SEEDS HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A pH SUITABLE TO GROW DESIRED PLANTS.

FIGURES 5.6 AND 5.7 TO THE BELOW SHOW TWO IMPLEMENTS USED FOR SOIL DECOMPACTION, TILLING (STEP 2 ABOVE) SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATION THAT ARE WITHIN 24 INCHES OF THE SURFACE.

Figure 5.6 Soil aerator implement
 Figure 5.7 Soil aerator implement



- AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT.
- THE CONTRACTOR MUST KEEP THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER HEAVY LOADS. CONSIDER PEDESTRIAN FOOTPATHS (SOMETIMES IT MAY BE NECESSARY TO DE-THATCH THE TURF EVERY FIVE YEARS).
- ALL SOIL RESTORATION SHALL BE IN ACCORDANCE WITH NYSDCR REGULATIONS AND THE APPROVED BUFPF FOR THE PROJECT.

EROSION CONTROL NOTES and SEQUENCING

1. PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL AND THE BUFPF PREPARED FOR THE PROJECT, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

2. BARE SOILS SHALL BE MULCHED WITH HAY AT A RATE OF TWO TONS PER ACRE WITHIN 1 DAYS OF EXPOSURE. IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDED IMMEDIATELY.

3. SITE PREPARATION SHALL INCLUDE:

- SEEDBED PREPARATION - SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS LIME TO OR 48"
- SOIL ADJUSTMENTS
- FERTILIZE WITH 600 LBS OF 8-10-10 OR EQUIVALENT PER ACRE (1/4 LB/1000 SQ FT)
- SEED MIXTURES

TEMPORARY SEEDINGS	PERMANENT SEEDINGS
RYEGRASS (ANNUAL OR PERENNIAL) * 30 LBS/ACRE (0.1 LB/1000 SQ FT)	RYEGRASS (ANNUAL OR PERENNIAL) * 30 LBS/ACRE (0.1 LB/1000 SQ FT)
CERTIFIED "ARDOOSTOCK" WINTER RYE (CEREAL RYE) * 100 LBS/ACRE (1/2 LB/1000 SQ FT)	CERTIFIED "ARDOOSTOCK" WINTER RYE (CEREAL RYE) * 100 LBS/ACRE (1/2 LB/1000 SQ FT)
EMPIRE BIRDFOOT (TREFOIL OR CLOVER) * 10 LBS/ACRE (0.03 LB/1000 SQ FT)	EMPIRE BIRDFOOT (TREFOIL OR CLOVER) * 10 LBS/ACRE (0.03 LB/1000 SQ FT)
WHITE CLOVER PLUS TALL FESCUE PLUS RECTOR * 20 LBS/ACRE (0.06 LB/1000 SQ FT)	WHITE CLOVER PLUS TALL FESCUE PLUS RECTOR * 20 LBS/ACRE (0.06 LB/1000 SQ FT)
RYEGRASS (PERENNIAL) * 5 LBS/ACRE (0.015 LB/1000 SQ FT)	RYEGRASS (PERENNIAL) * 5 LBS/ACRE (0.015 LB/1000 SQ FT)
- METHOD OF SEEDING: BROADCASTING, DRILLING WITH CULTIPACK TYPE SEEDER OR HYDROSEEDING ARE ACCEPTABLE.

4. DISTURBED AREAS SHALL BE SEEDED AS NOTED ABOVE AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL ON SLOPES GREATER THAN 3:1. SEEDING AREAS SHALL BE STAKED WITH JUTE MESH OR SODDED.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.

6. ACCESS TO DISTURBED AREAS SHALL BE LIMITED TO THE AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN AND ANY OTHER LOCATIONS THE CONTRACTOR INTENDS TO ENTER THE SITE FROM THE ADJACENT ROADWAYS.

7. ANY EXISTING DRAINAGE FACILITIES DISRUPTED BY CONSTRUCTION OR IMPACTED BY INSTALLATION OF EROSION CONTROL MEASURES SHALL BE REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.

8. TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES - AS SEDIMENT ACCUMULATES TO THE DEPTH OF THE STORMWATER BASIN, SEDIMENT SHALL BE REMOVED AS OUTLINED IN THE NYS GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

9. DIRECT ACCESS SHALL BE PROVIDED TO ALL BASIN AREAS FOR MAINTENANCE AND REHABILITATION.

10. ALL DESIGN AND MAINTENANCE MEASURES OUTLINED IN THE BUFPF PREPARED FOR THIS PROJECT SHALL BE IMPLEMENTED AND CARRIED OUT BY THE PARTIES DEEMED RESPONSIBLE FOR THOSE DUTIES.

11. THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, VILLAGE OR NYSDCR.

12. PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJOINING PROPERTY, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK. COMPLY WITH THE LATEST EDITION OF NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, AND THE NYSDCR "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".

13. MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES AND EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (IF RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPAIRING OR REPLACING EROSION CONTROL, CLEANING OUT STRUCTURES AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.

14. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE. LAWS HAVE BECOME ESTABLISHED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.

15. CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

EROSION CONTROL and CONSTRUCTION SEQUENCE

THE PROJECT WILL CREATE A TOTAL SITE DISTURBANCE OF APPROXIMATELY 38 ACRES. THE SITE DISTURBANCE WILL BE PHASED TO LIMIT THE POTENTIAL FOR EROSION AND SEDIMENTATION DURING THE CONSTRUCTION PROCESS. BELOW IS A LISTING OF THE ANTICIPATED PHASING.

THE SEQUENCE OF CONSTRUCTION FOR EACH AREA SHALL BE:

- PRIOR TO ANY SITE DISTURBANCE CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT THE PROPOSED SITE ENTRANCE LOCATION AS SHOWN ON THE DRAWING.
- SILT FENCE - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLAN PRIOR TO EARTHWORK. SILT FENCE SHALL BE UTILIZED ONLY AS A TEMPORARY MEASURE. DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY FOLLOWING THE COMPLETION OF ANY EARTHWORK PHASE.
- CLEARING AND GRUBBING - REMOVE ALL TREES, STUMPS AND BRUSH PRIOR TO EARTHWORK.
- STORMWATER BASIN TO BE USED AS A TEMPORARY SEDIMENT TRAP, INCLUDING OUTLET PIPES AS SHOWN ON THE DRAWINGS. PROVIDE RIP RAP STONE PROTECTION APRONS AT OUTLET LOCATION AS SHOWN ON THE DRAWING. FINE GRADE SEED AND MULCH WITHIN SEVEN (7) DAYS OF DISTURBANCE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
- PROVIDE ALL DRAINAGE CHANNELS AND INSTALL EROSION CONTROL MEASURES WITHIN DRAINAGEWAYS. INSTALL CHECK DAMS WHERE INDICATED ON THE PLANS.
- STRIP AND STOCKPILE TOPSOIL IN AREA SHOWN ON PLAN AND / OR AGREED UPON LOCATION WITH OWNER. ENCLOSE TOPSOIL STOCKPILE AREAS WITH SILT FENCE.
- PROVIDE DRAINAGE STRUCTURES AND PIPING, INCLUDING DRAINAGE INLET PROTECTION AS SHOWN ON THE DRAWING. (DO NOT INSTALL BASIN PIPING)
- PREPARE BUILDING PAD AREA, DRIVEWAYS AND PARKING AREA SUBGRADE.
- EXCAVATE AND FILL REST OF SITE AREAS. FINE GRADE SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE FLOWED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
- REMOVE TEMPORARY CONSTRUCTION ENTRANCE AFTER ASPHALT BINDER COURSE IS PLACED.
- CLEAN STORMWATER BASIN AND AERATE SOILS AFTER ALL UPSTREAM CONTRIBUTORY DRAINAGE AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
- INSTALL BASIN INFILTRATION PIPING AND TRENCHING AFTER LOT STABILIZATION IS ACHIEVED. ADD SILT FENCING/STABILIZATION SOCK AROUND INFILTRATION TRENCH UNTIL BASIN VEGETATION IS ESTABLISHED.
- FINE GRADE AND SEED STORMWATER BASIN AS NOTED ON THE PLANTING PLAN AND ON THE DETAILS.
- REMOVE TEMPORARY SILT FENCING AND ROCK CHECK DAMS AFTER SITE IS COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED. PROVIDE UNDERDRAIN WITHIN DETENTION BASIN PER PLANS.

FINAL CLEAN UP & PREVENTATIVE MAINTENANCE

- REMOVE AND/OR MAINTAIN STOCKPILE AREAS.
- REMOVE EROSION CONTROL MEASURES FROM STABILIZED AREAS.
- FINAL CLEAN UP - REMOVE EROSION CONTROL MEASURES AND CLEAN OUT ALL DRAINAGE STRUCTURES AND PIPES AFTER LAWN IS WELL ESTABLISHED. OWNER IS RESPONSIBLE FOR MAINTAINING SITE UPON PROJECT CLOSURE.
- CONTRACTOR, ARCHITECT, AND OWNER TO REVIEW SITE FOR COMPLETION. CONTRACTOR TO ADDRESS FINAL COMMENTS ON FINAL LIST FROM ARCHITECT AND BUFPF INSPECTION REPORTS.

1970 WEST FAYETTE ST.
 1970 West Fayette Street
 SYRACUSE, NY

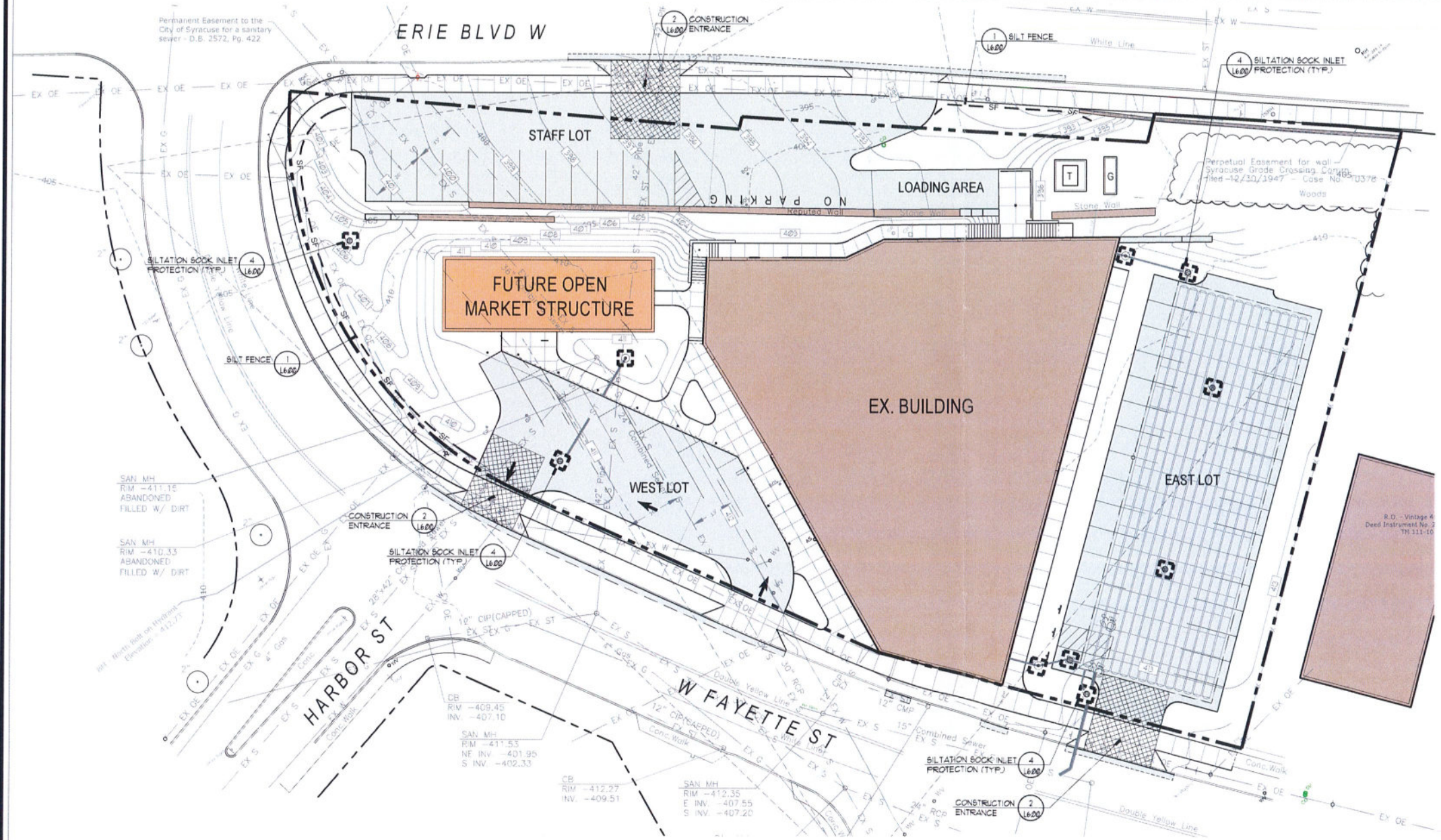
CLIENT:
 Scott Dumas

ISSUED AND REVISIONS NOTIFICATION	No.	Rev.	Description	Date
	1			
	2			
	3			
	4			
	5			
	6			
	7			

Drawn By:	NL, SF
Checked By:	NL, SF
Proj. No.:	42087
Date:	SEPT. 20, 2021
Scale:	AS NOTED

EROSION AND SEDIMENT CONTROL PLAN

L5.00



1 SITE PLAN
 L5.00

0 20 40 60
 SCALE IN FEET

1970 WEST FAYETTE ST.
 1970 West Fayette Street
 SYRACUSE, NY

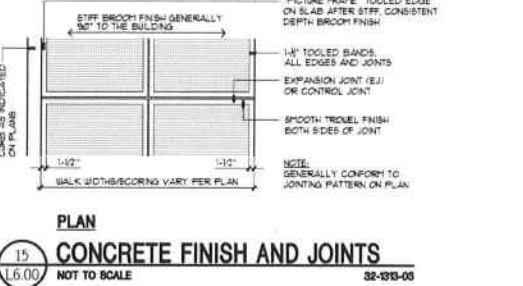
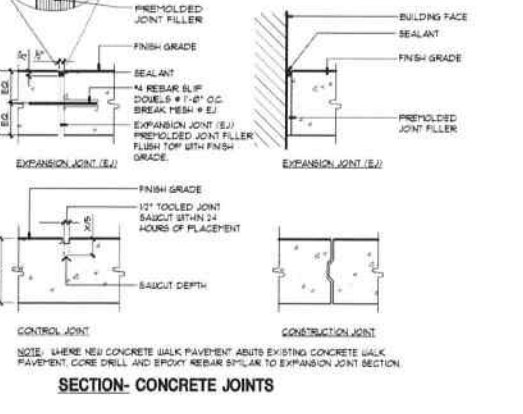
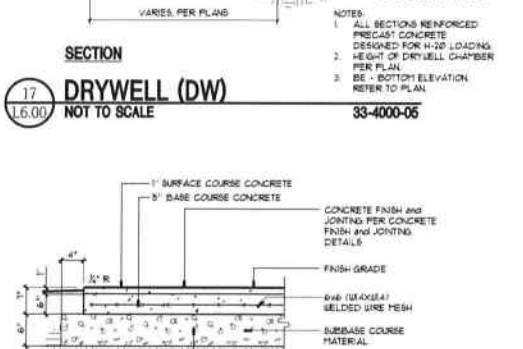
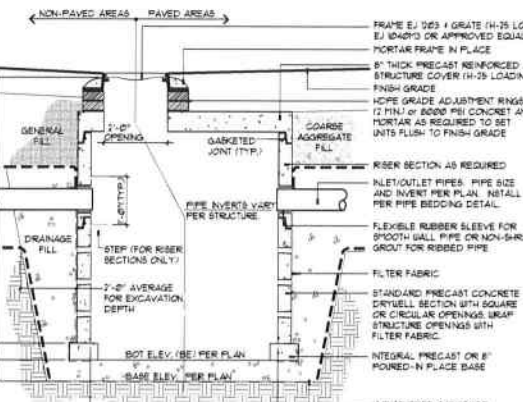
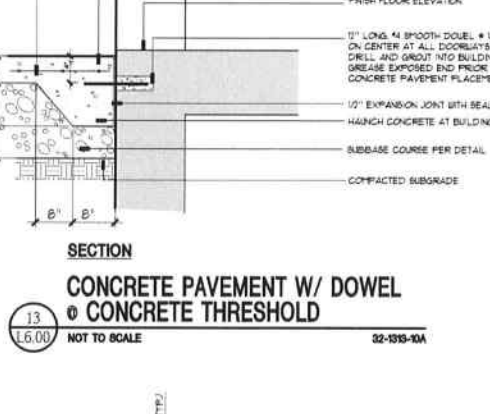
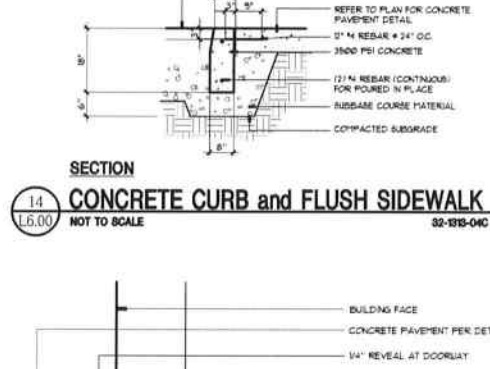
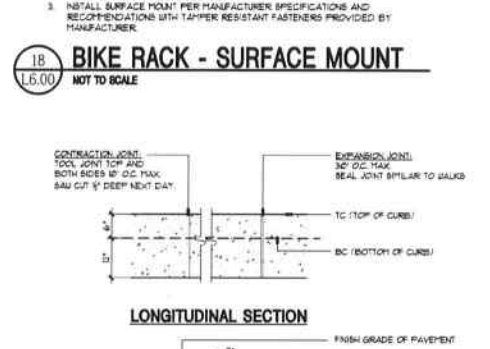
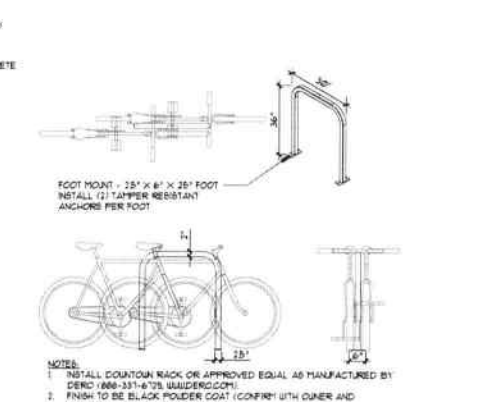
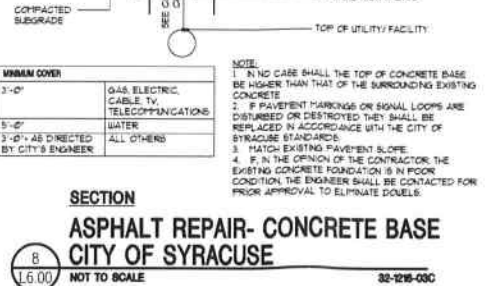
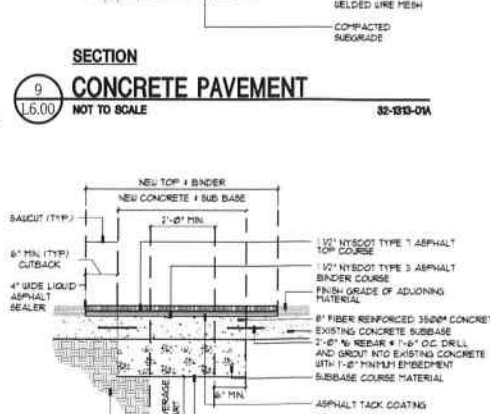
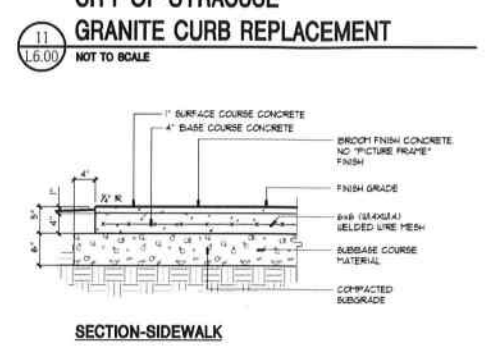
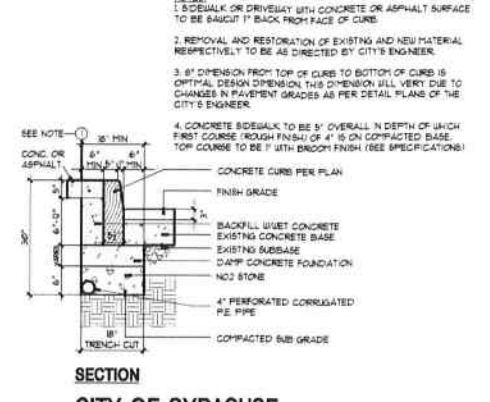
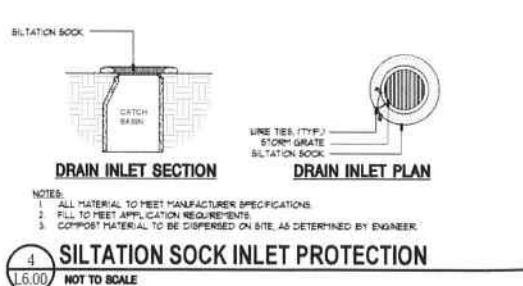
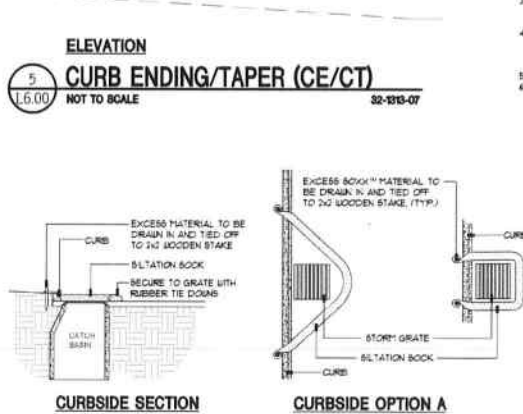
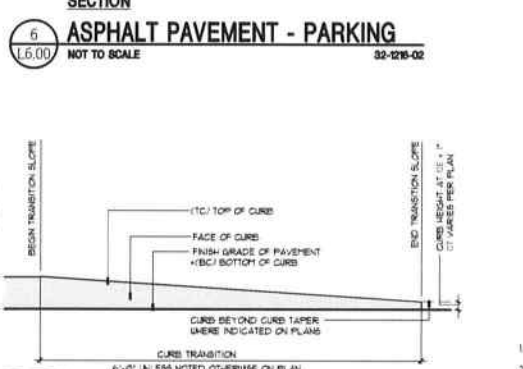
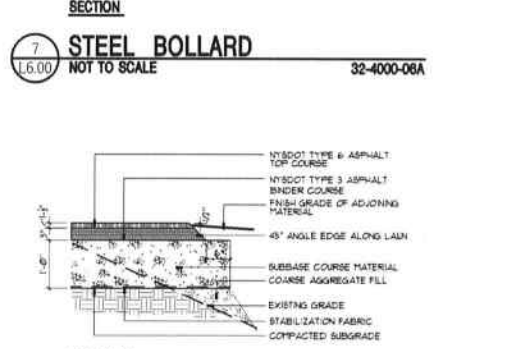
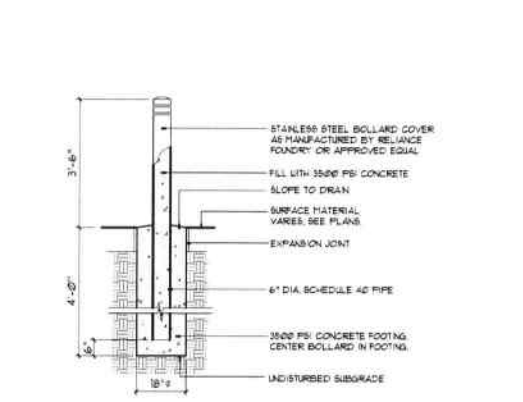
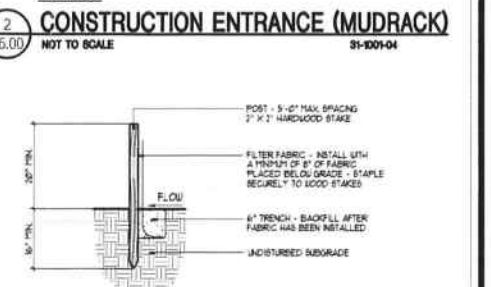
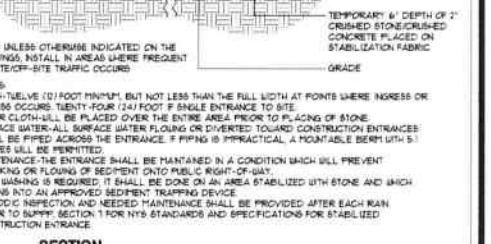
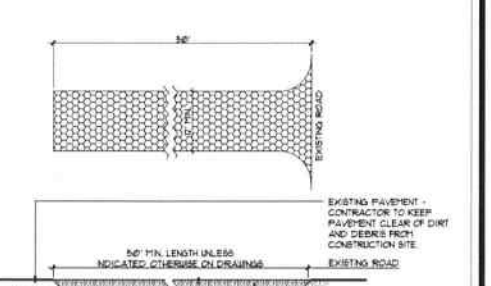
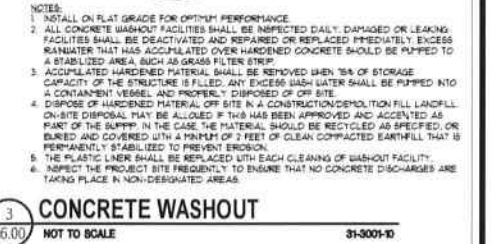
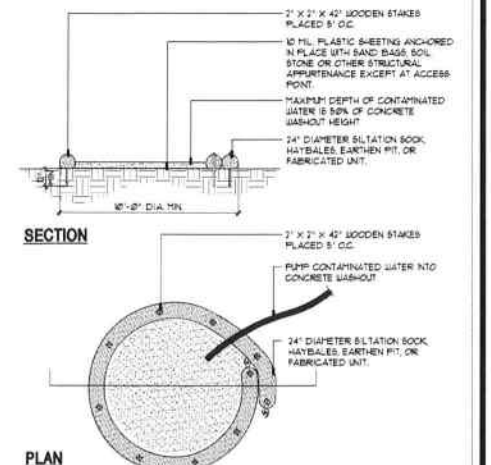
CLIENT
 Scott Dumas

ISSUED AND REVISIONS NOTIFICATION		
No./Rev.	Description	Date
1		
2		
3		
4		
5		
6		
7		

Drawn By:	NL, SF
Checked By:	NL, SF
Plot No:	40287
Date:	SEPT. 10 2021
Scale:	AS NOTED

DETAILS

L6.00

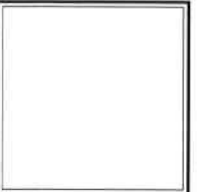


L6.00

1970 WEST FAYETTE ST.
1970 West Fayette Street
SYRACUSE, NY

CLIENT:
Scott Dumas

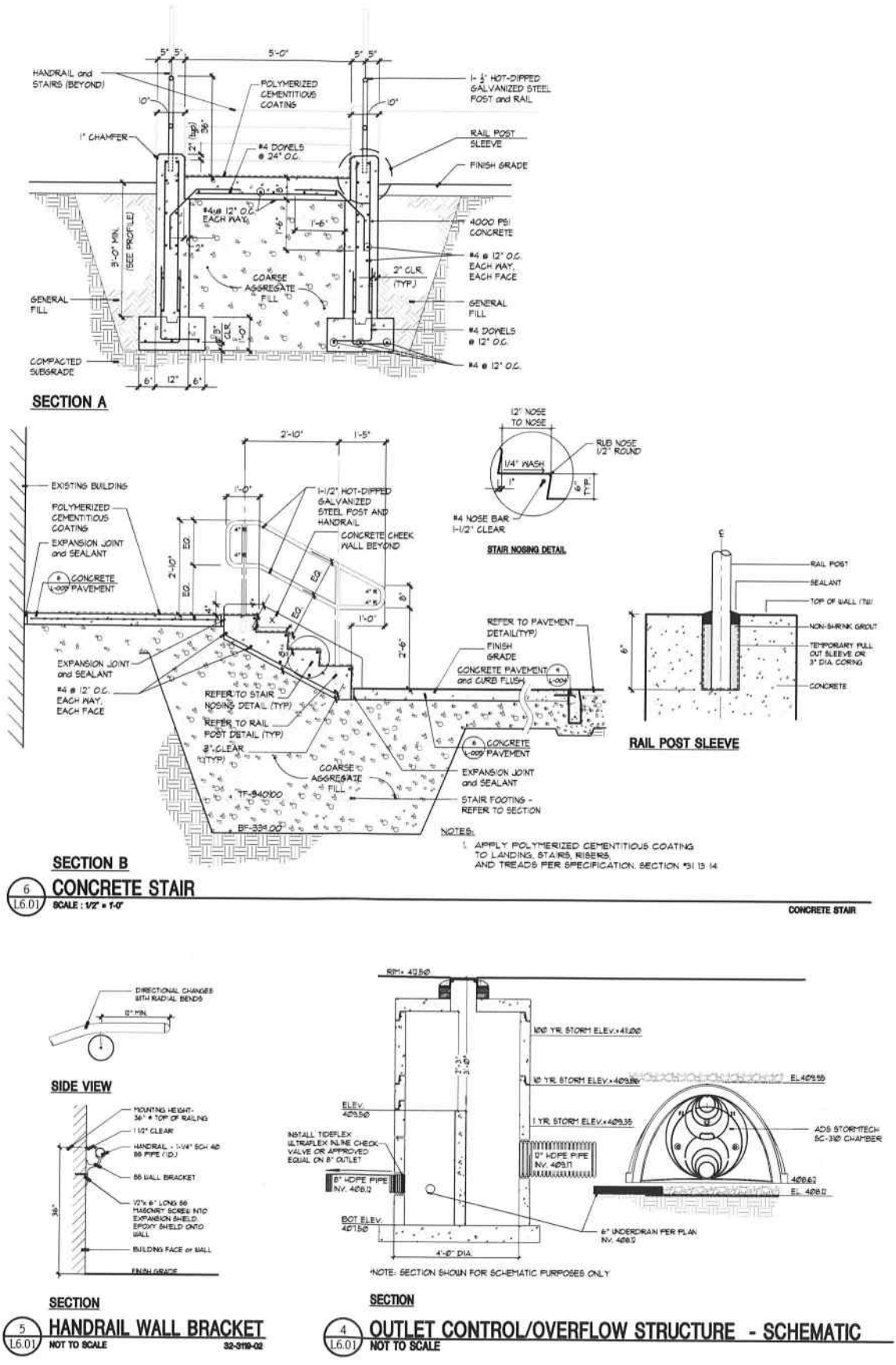
ISSUED AND REVISIONS NOTIFICATION	
No.	Date
1	
2	
3	
4	
5	
6	
7	



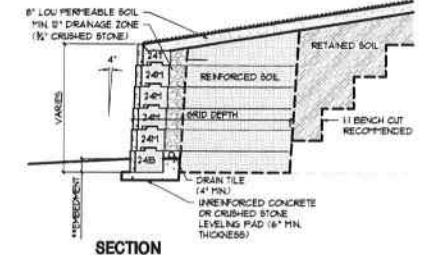
Drawn By: NL, SF
Checked By: NL, SF
Proj. No.: 40207
Date: SEPT. 20, 2021
Scale: AS NOTED

DETAILS

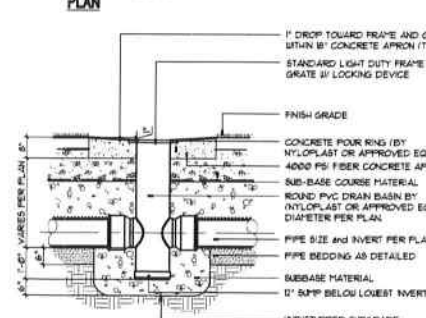
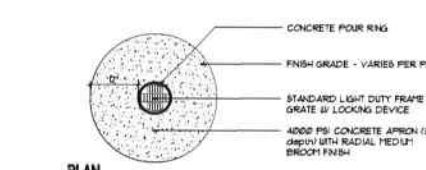
L6.01



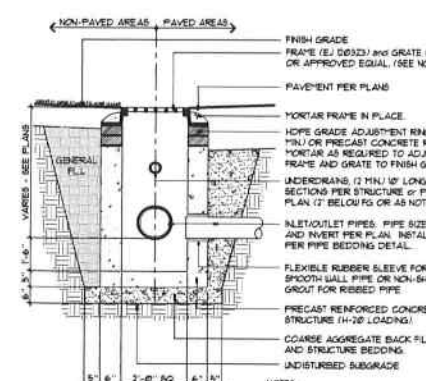
- NOTES**
- 1) ADHERE ALL UNITS WITH BLOCK ADHESIVE - ALLIANCE GATOR BLOCK BOND OR APPROVED EQUAL.
 - 2) REFER TO WALL PROFILE AND PLANS FOR TIE BU AND LOWER FINISH GRADE ELEVATIONS.
 - 3) EMBEDMENT SHOULD BE THE GREATER OF 6" OR 1/2D FOR WALLS WITH LEVEL GRADE AT THE TOE. REFER TO REGION'S EMBEDMENT RECOMMENDATION DOCUMENT FOR ADDITIONAL INFORMATION FOR WALLS WITH A TOE SLOPE CONDITION.
 - 4) FINISH GRADE AT TOP OF WALL SHALL BE DESIGNED FOR PROPER DRAINAGE TO PREVENT FLOODING.
 - 5) STAFFED DRAWINGS TO BE PROVIDED BY A LICENSED ENGINEER PRIOR TO CONSTRUCTION. REFER TO SPECIFICATION SECTION 31.323 FOR SPECIFIC QUALIFICATIONS.



SECTION 3
SEGEMENTAL RETAINING WALL - TYP
NOT TO SCALE



SECTION 2
DRAIN BASIN - LIGHT DUTY (DB-LD)
NOT TO SCALE
33-4000-06A

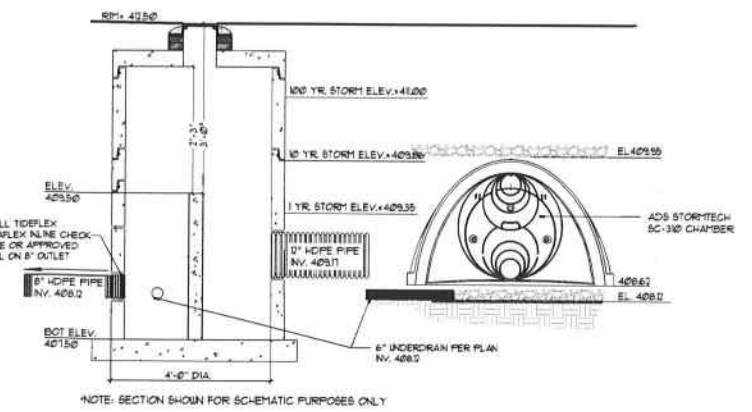
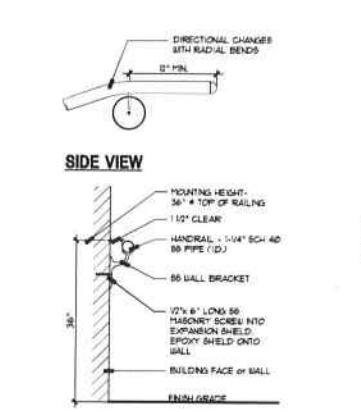


SECTION 1
STORM INLET (SI)
NOT TO SCALE
33-4000-01A

SECTION B
CONCRETE STAIR
SCALE: 1/2" = 1'-0"
CONCRETE STAIR

SECTION 5
HANDRAIL WALL BRACKET
NOT TO SCALE
32-0119-02

SECTION 4
OUTLET CONTROL/OVERFLOW STRUCTURE - SCHEMATIC
NOT TO SCALE



- NOTES**
- 1) ALL SECTIONS REINFORCED PRECAST CONCRETE DESIGNED FOR 11-20' LOADING.
 - 2) ADD PRECAST CONCRETE RISERS AS REQUIRED.
 - 3) PROVIDE SOLID COVER WHERE INDICATED ON PLANS.