

**City of Syracuse Zoning Administration**

Application for  **PROJECT SITE REVIEW**  **SITE PLAN REVIEW-LAKEFRONT DISTRICT**

City Hall Commons \* Room 101 \* 201 E. Washington Street \* Syracuse, NY 13202-1426 \* 315-448-8640

For Office Use: Filing Date:  Case Number:  Zoning District:

**LIST ALL PROPERTIES INVOLVED IN YOUR PROJECT:**

**TAX MAP SECTION, BLOCK, and LOT information from Assessment Department (call 448-8280)**

Section: <input type="text" value="08"/>	Block: <input type="text" value="18"/>	Lot: <input type="text" value="04"/>
Section: <input type="text"/>	Block: <input type="text"/>	Lot: <input type="text"/>
Section: <input type="text"/>	Block: <input type="text"/>	Lot: <input type="text"/>

**PROJECT INFORMATION:**

Existing Use

Proposed Use

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction               | <input type="text"/>                                       | <input type="text"/>   |
| <input type="checkbox"/> New Addition                   | <input type="text"/>                                       | <input type="text"/>   |
| <input checked="" type="checkbox"/> Exterior Alteration | <input type="text" value="Vacant"/>                        | <input type="text" value="Gr. floor retail, upper residential"/> |
| <input checked="" type="checkbox"/> Demolition          | <input type="text" value="Selective interior demolition"/> | <input type="text"/>   |

**PLEASE DESCRIBE ALL ASPECTS OF YOUR PROJECT IN DETAIL:**

This project involves the renovation of an existing, triangular four-story apartment building constructed in 1896. The existing ground floor will house retail and/or food service tenants, with five apartments on the three floors above (two each on the second and third floors; one on the fourth floor). The existing structure, including the Basement, is 8,150 square feet in size. The site development will include off-street parking with associated drainage, new sidewalks, curbs, handicapped access ramp, and restoration of existing concrete stairs. The property is listed on the National Register of Historic Places, and has already received Part 1 approval from the NYS State Historic Preservation Office and the National Park Service for Historic Preservation Tax Credits.

**OWNER INFORMATION:**

Name(s):

Mailing Address:

Zip:  Daytime phone:  Home phone:

E-mail:

**APPLICANT INFORMATION:**

(Copy of contract to purchase must be included with application)

Contract Purchaser(s)  Tenant  Co-Applicant  Other (please state): \_\_\_\_\_

Name(s): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_ Home phone: \_\_\_\_\_ Day Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

**REPRESENTATIVE INFORMATION:**

(Only if involved in this application)

Attorney  Architect  Contractor  Other \_\_\_\_\_

Name(s): James F. Williams AIA / Holmes King Kallquist & Associates, Architects

Mailing Address: 575 N. Salina St., Syracuse, NY

Zip: 13208 Telephone: 315-476-8371 E-mail: jwilliams@hkkarchitects.com

**SIGNAGE INFORMATION:** Refer to attached Encroachment Plan En1.2 and Elevation En2.1.


Size and location of all existing AND proposed signage (use additional sheet if necessary)

A sign plan is required, see attachment.

Size	Location	Type	(Wall, Ground, Projecting, Window)
6'-0"w x 4'-0"h	2nd floor, N. Salina St.	Existing, Projecting	
6'-0"w x 4'-0"h	2nd floor, N. Salina St.	Proposed, Projecting	

**DECLARATION:**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

Signature of  CURRENT PROPERTY OWNER \_\_\_\_\_ Date 2-3-20

(or owner's LEGAL representative)

Irfan Elahi

**PRINT NAME OF PROPERTY OWNER**

\*Please note that if referrals are necessary for this application, additional copies of all required materials will be requested.

**FOR STAFF USE ONLY**

\*\*\*\*\*

**REFERRAL NEEDED**

ONONDAGA COUNTY PLANNING BOARD  SYRACUSE LANDMARK PRESERVATION BOARD (This project is located within \_\_\_\_\_ Historic District; is listed individually in the National Register of Historic Places; is Eligible for inclusion in the National Register of Historic Places; or is architecturally significant)  OTHER CITY/COUNTY/STATE AGENCY OR DEPARTMENT(S) \_\_\_\_\_

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

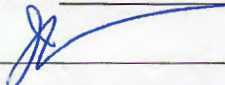
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

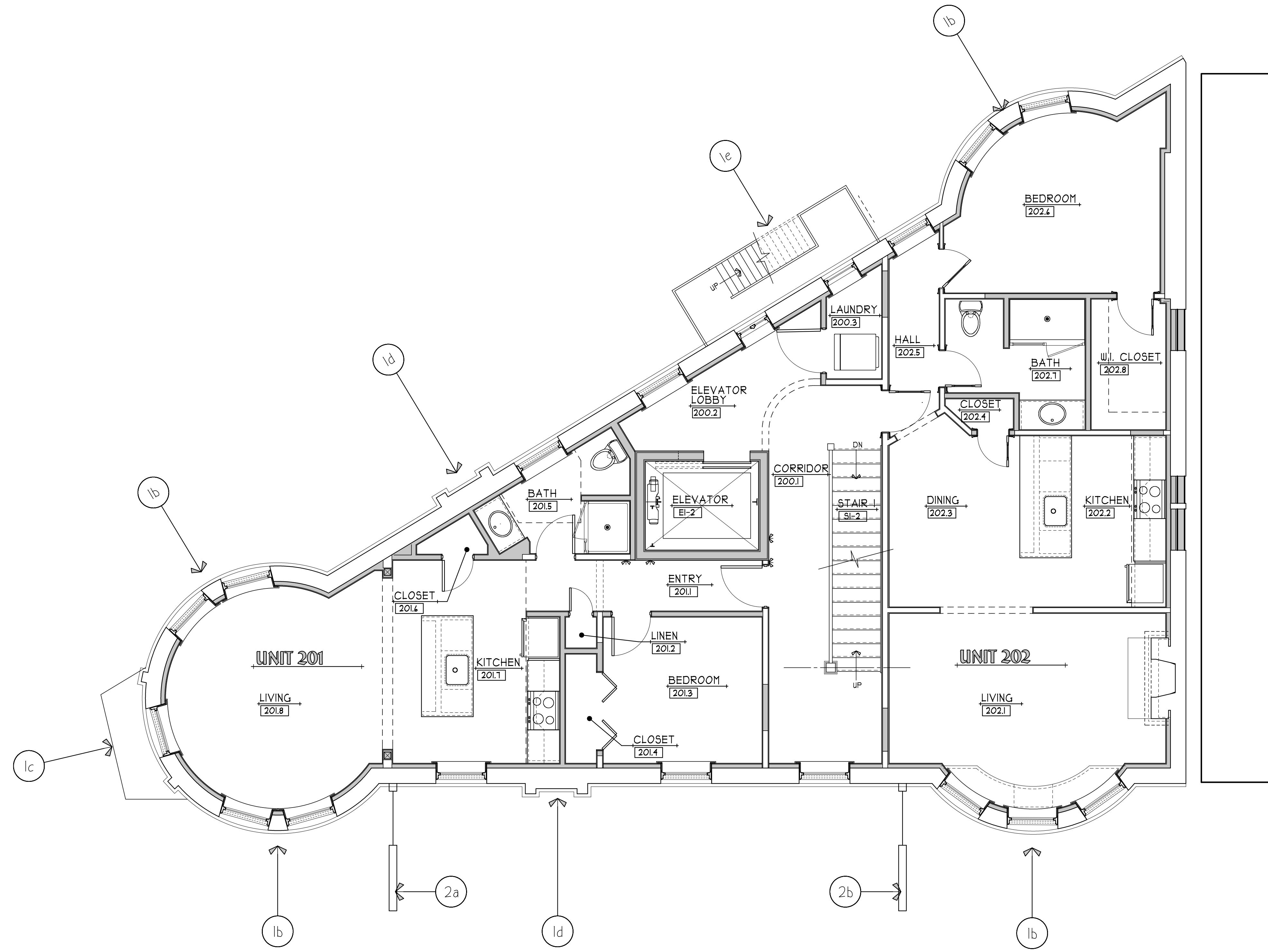
<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Residential (suburban)
<input type="checkbox"/> Parkland	<input type="checkbox"/> Other(Specify):		

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
Storm water will be discharged to existing subsurface municipal combined sanitary and storm pipe.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior asbestos removal (non friable and friable).		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Irfan Elahi</u> Date: <u>02-04-2020</u>		
Signature: <u></u> Title: <u>President</u>		

2/3/2020 S:\JOB NUMBER\2018\18051 - 536 - 536 North Salina Condo\530-536 N Salina\PILOT\18051\_530\_N\_Salina- EN1.2.ac



**PERMIT SET**

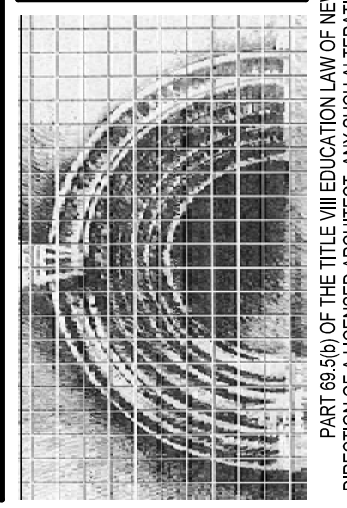
REV No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

<p>PROJECT NORTH</p>	JOB NO: 18051
	DATE: 12/20/2019
	DRAWN BY: TEF
SCALE: AS NOTED	

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST, SYRACUSE, NEW YORK

**HOLMES ■ KING ■ KALLQUIST & Associates, Architects, LLP**  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkkarchitects.com



**SECOND FLOOR PLAN**

**En1.2**

SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"  
 A-1  
 En1.2

2/3/2020 S:\JOB NUMBER\2018\18051 - 526-536 North Salina\Condoo,530-536 N Salina\PILOT\18051\_530 N Salina - EN2.1.ec



**PERMIT SET**

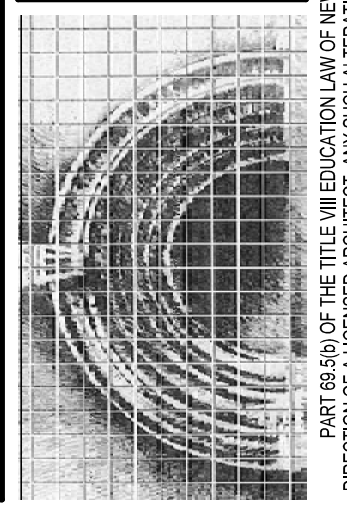
REV. No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED. COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO: 18051
DATE: 12/20/2019
DRAWN BY: TEF
SCALE: AS NOTED

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST, SYRACUSE, NEW YORK

**HOLMES ■ KING ■ KALLQUIST & Associates, Architects, LLP**  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkkarchitects.com



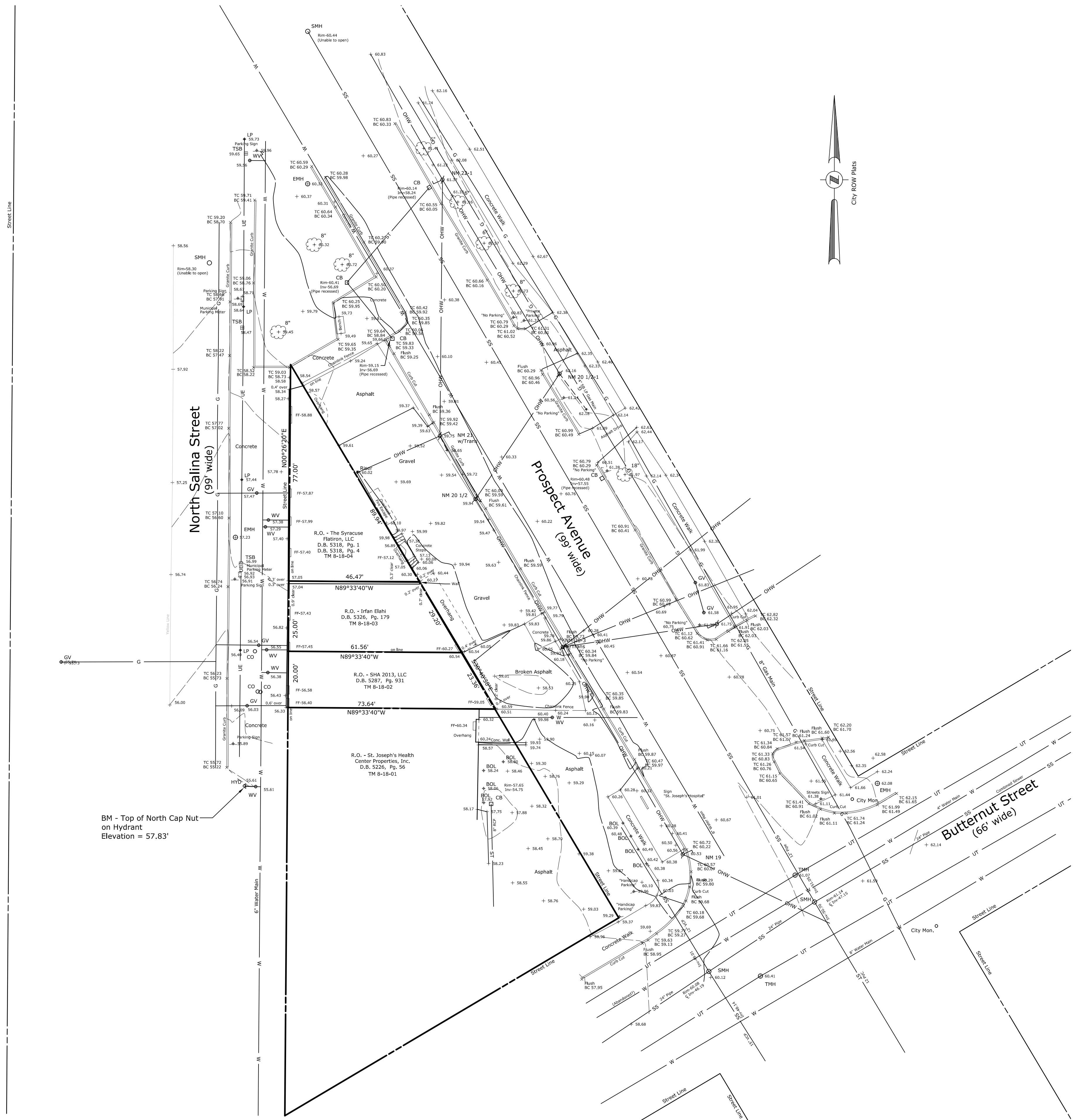
**WEST ELEVATION**

**En2.1**

WEST ELEVATION  
 SCALE: 1/4" = 1'-0" (A-1) En2.1



LEGEND	
---	SIGN
●	BOLLARD
○	SANITARY MANHOLE
○	DRAINAGE MANHOLE
□	SQUARE CATCH BASIN
○	UTILITY POLE W/ LIGHT
○	UTILITY POLE
○	HYDRANT
○	WATER VALVE
○	GAS VALVE
○	ELECTRIC MANHOLE
○	TELEPHONE MANHOLE
○	DECIDUOUS TREE
○	CLEANOUT
○	LIGHT POLE
○	TRAFFIC SIGNAL BOX
○	CITY MONUMENT FOUND
---	GUY WIRE
---	BURIED ELECTRIC LINE
---	BURIED TELEPHONE LINE
---	OVERHEAD WIRES
---	GAS LINE
---	WATER LINE
---	STORM SEWER LINE
---	SANITARY SEWER LINE



- MAP NOTES**
- 1.) NORTH ORIENTATION IS BASED ON THE CITY OF SYRACUSE RIGHT OF WAY PLATS.
  - 2.) VERTICAL DATUM IS BASED ON CITY OF SYRACUSE DATUM.
  - 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
  - 4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY). THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
  - 5.) FIELD WORK PERFORMED ON JANUARY 3, 2019.

- MAP REFERENCES**
- 1.) LOCATION SURVEY ON PART OF BLOCK No. 10 CITY OF SYRACUSE PREPARED BY LEHR LAND SURVEYORS DATED SEPT. 10, 2003 AND REDATED JANUARY 21, 2015.



I CERTIFY THAT THIS SURVEY WAS PREPARED FROM AN ACTUAL FIELD SURVEY AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND HAS BEEN PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE OF THE N.Y.S. ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

*David M. Sliski* 01/25/2019

DAVID M. SLISKI PLS # 50105 DATE

DAVID M. SLISKI P.L.S. NO. 50105 	DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.  © 2019 C.T. MALE ASSOCIATES  APPROVED: DRAFTED : DMS CHECKED : DMS PROJ. NO : 18.8702 SCALE : 1" = 20 FT. DATE : JAN. 25, 2019	<b>BOUNDARY AND TOPOGRAPHIC SURVEY MAP</b> FOR THE LANDS NOW OR FORMERLY OF <b>THE SYRACUSE FLATIRON, LLC</b> 530 NORTH SALINA STREET  PART OF CITY BLOCK 10 ONONDAGA COUNTY, NEW YORK
	CITY OF SYRACUSE						
						SHEET 1 OF 1 DWG. NO: 19-0133	





**KEPLINGER FREEMAN ASSOCIATES**  
 LANDSCAPE ARCHITECTURE & LAND PLANNING  
 6320 FLY ROAD, SUITE 109 EAST SYRACUSE, NEW YORK 13057  
 PHONE: (315) 445-7980 FAX: (315) 445-7981

**PERMIT SET**

REV	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT, AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO: 18051  
 DATE: 08/23/2019  
 DRAWN BY: LMW/JPR  
 SCALE: AS SHOWN

**HISTORIC REHABILITATION**  
**530-538 NORTH SALINA**  
 530-538 NORTH SALINA ST, SYRACUSE, NEW YORK

**HOLMES - KING - KALLQUIST & Associates, Architects, LLP**  
 575 NORTH SALINA STREET, SYRACUSE, NY 13208  
 PH: (315) 476-8371 FAX: (315) 476-5420  
 www.hkarchitects.com

**SITE PLAN**

**L2.1**

**SIGN SCHEDULE**

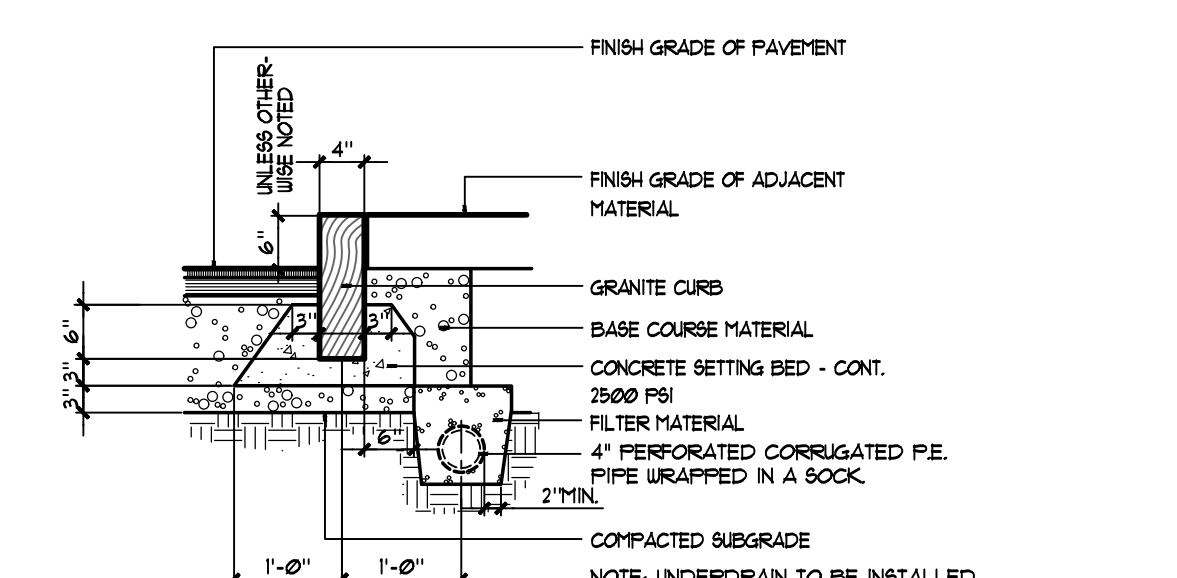
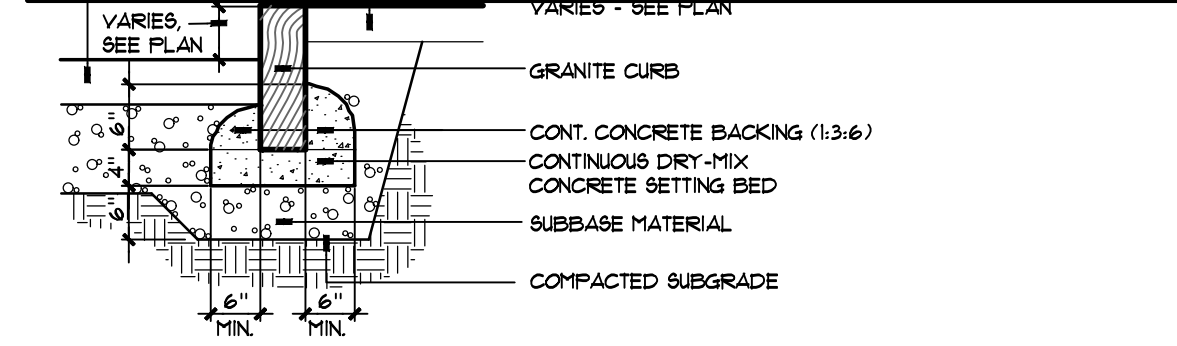
KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NY&DOT MUTCD NO. / COMMENTS
A	RESERVED PARKING w/ ACCESSIBLE SYMBOL	12" X 18" T-0" HT.	SIGN NO. P4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT/ BORDER COMMENTS:
B	NO PARKING ANY TIME	12" X 18" T-0" HT.	SIGN NO. - R1-1 COLORS: WHITE BACKGROUND, RED TEXT AND BORDER

**NOTES:**  
 1. REFER TO TRAFFIC CONTROL SIGN DETAIL FOR INSTALLATION.  
 2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NY&DOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

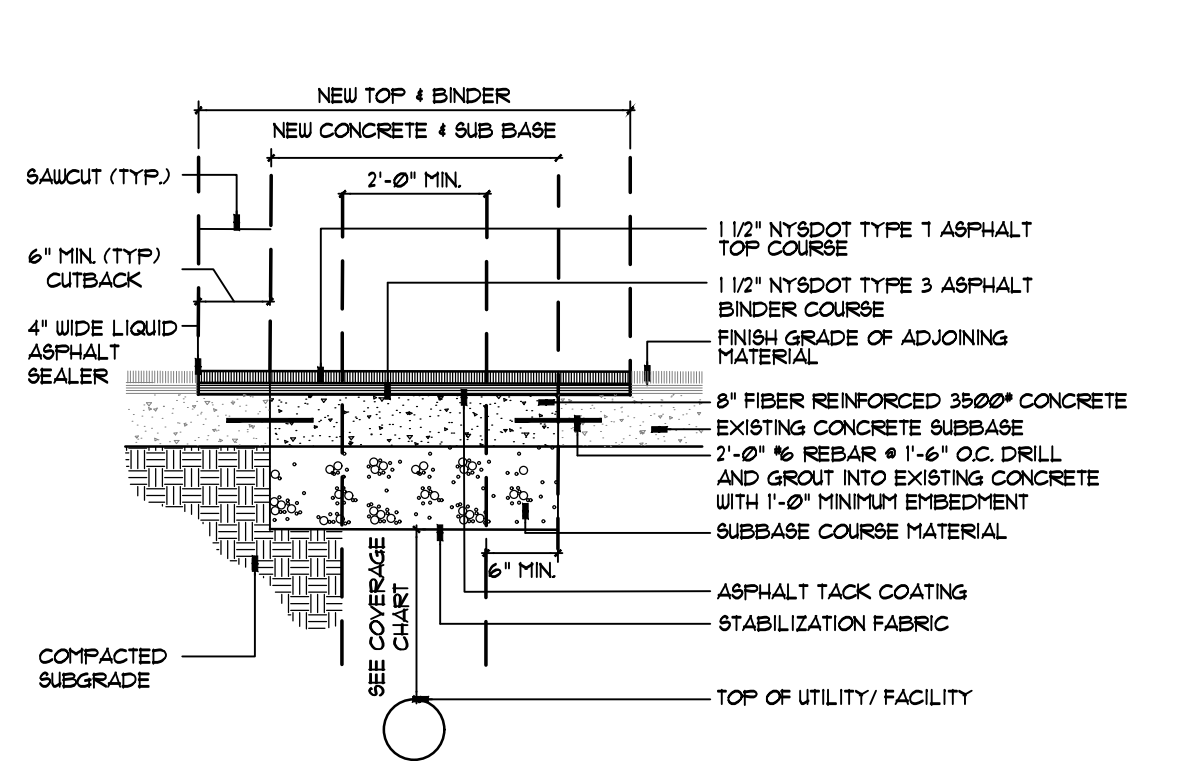
**GRADING, DRAINAGE & UTILITY GENERAL NOTES**

- ANY/ALL FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
- WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
- ALL CONCRETE PAVING AT ALL EXISTING AND NEW DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOULED TO FOUNDATION WALL PER DETAILS.

- SITE PLAN KEYNOTES**
- MEET EXISTING LINE AND GRADE.
  - MEET TOP AND FACE OF EXISTING CURB.
  - CORE DRILL OPENING INTO EXISTING STRUCTURE FOR INSTALLATION OF NEW STORM PIPE. PROVIDE SILT-TIGHT SEAL.
  - 4-INCH HDPE PIPE FROM AREA DRAIN TO BE RECONNECTED TO EXISTING PIPES WITHIN BUILDING. COORDINATE WITH MEP DRAWINGS.
  - INSTALL GRANITE CURB WITH 6" REVEAL PER DETAIL 2/L2.1.
  - INSTALL ASPHALT PARKING PAVEMENT PER DETAIL 1/L3.1.
  - INSTALL CONCRETE PAVEMENT PER DETAIL 2/L3.1.
  - INSTALL STONE STAIRS AND STONE RETAINING WALL. STAIRS SHALL HAVE NOMINAL THREE 1" RISERS WITH 11-INCH MINIMUM TREADS. INSTALL STAINLESS STEEL HANDRAILS ON BOTH SIDES OF STAIRS.
  - INSTALL STONE STAIRS AND STONE RETAINING WALL UTILIZING EXISTING STONES AND NEW STONES WITH SIMILAR COLOR, SIZE, TEXTURE. STAIRS SHALL HAVE NOMINAL FIVE 6-1/4" RISERS AND 11-INCH MINIMUM TREADS. INSTALL STAINLESS STEEL HANDRAILS ON BOTH SIDES OF STAIRS.
  - 4-INCH WIDE PAINTED LINE. TYPICAL.
  - INSTALL RESERVED PARKING STALL PER DETAIL 7/L3.1.
  - INSTALL SALVAGED/STOCKPILED AND NEW GRANITE CURB PER DETAIL 2/L2.1 WITH 1 1/2 INCH REVEAL.
  - FINE GRADE CONCRETE SURFACING TO DIRECT STORMWATER RUNOFF AWAY FROM DOORWAY AND AROUND NORTHEAST CORNER OF BUILDING.
  - INSTALL STAINLESS STEEL GUARDRAIL WITH BALLASTERS 4-INCHES ON CENTER ALONG TOP OF RETAINING WALL.
  - CAREFULLY REMOVE EXISTING PAVERS AND STOCKPILE AS REQUIRED TO INSTALL NEW GRANITE CURB. INSTALL GRANITE CURB, REINSTALL PAVERS FLUSH WITH TOP OF GRANITE CURB. TOP OF GRANITE CURB SHALL BE INSTALLED AT SAME ELEVATION AS PAVERS. NEW ASPHALT ELEVATION THAT ADJOINS CURB SHALL TRANSITION FROM FLUSH NEAR BUILDING TO 6"-NEAR EXISTING CATCH BASIN. FINISH GRADE MATERIAL VARIES - SEE PLAN



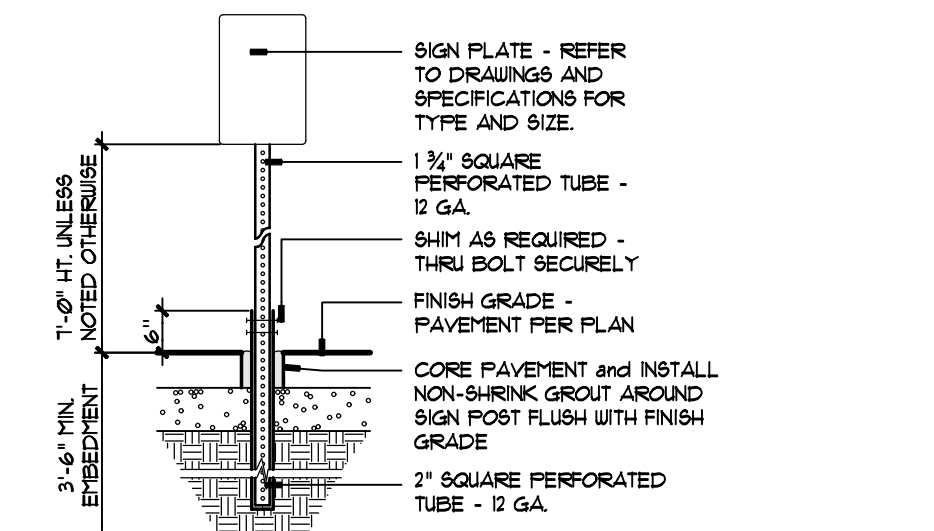
**SECTION 2 GRANITE CURB**  
 NOT TO SCALE 32-1040-06



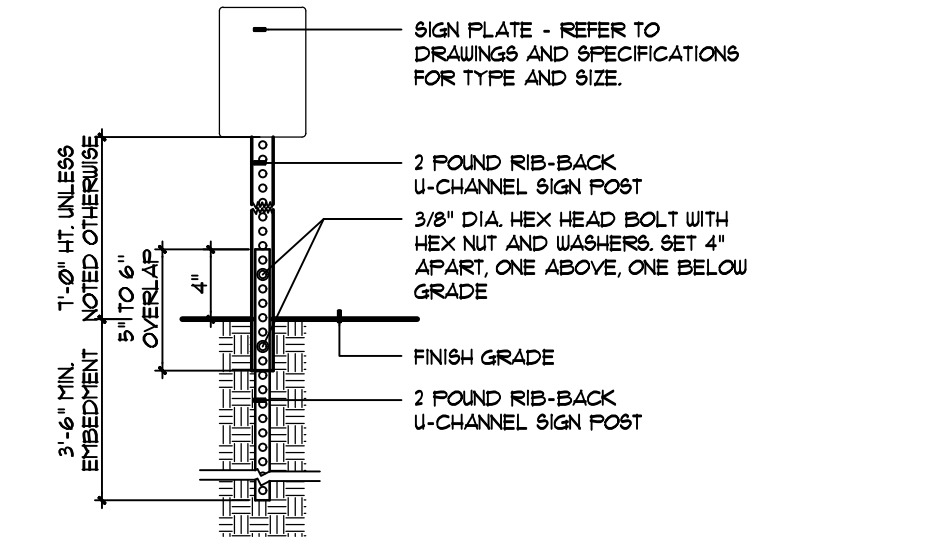
**MINIMUM COVER**

3'-0"	GAS, ELECTRIC, CABLE, TV, TELECOMMUNICATIONS
5'-0"	WATER
3'-0" AS DIRECTED BY CITY'S ENGINEER	ALL OTHERS

**SECTION 1 ASPHALT REPAIR- CONCRETE BASE**  
 CITY OF SYRACUSE  
 NOT TO SCALE 32-1210-06



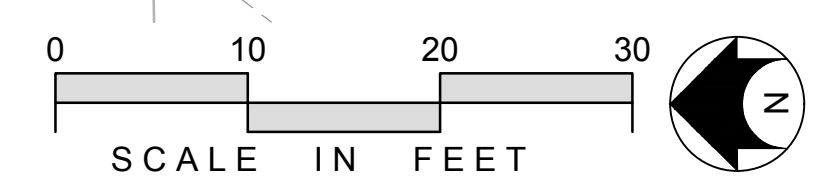
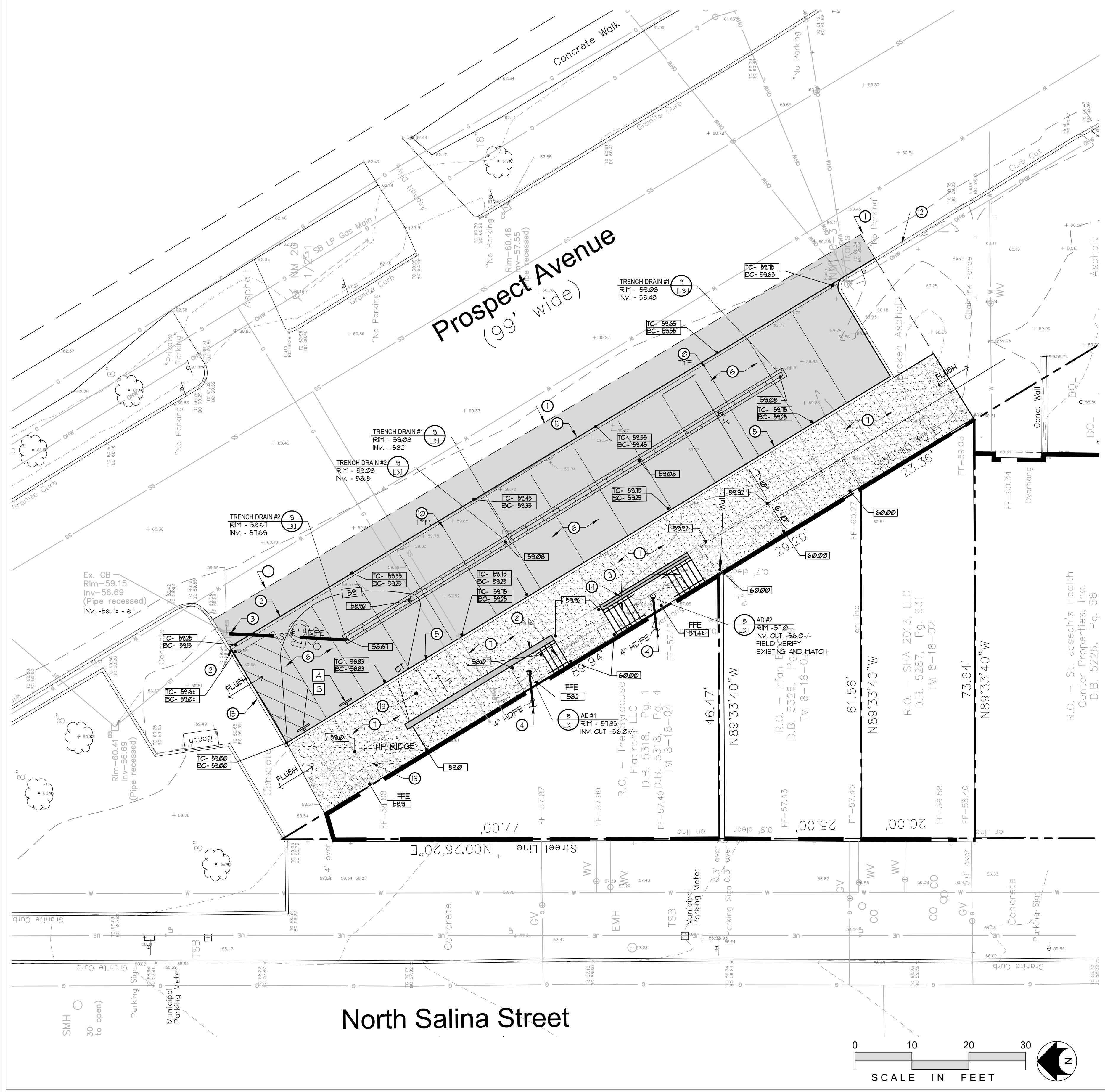
**SECTION - PAVED AREAS**



**SECTION - NON-PAVED AREAS**

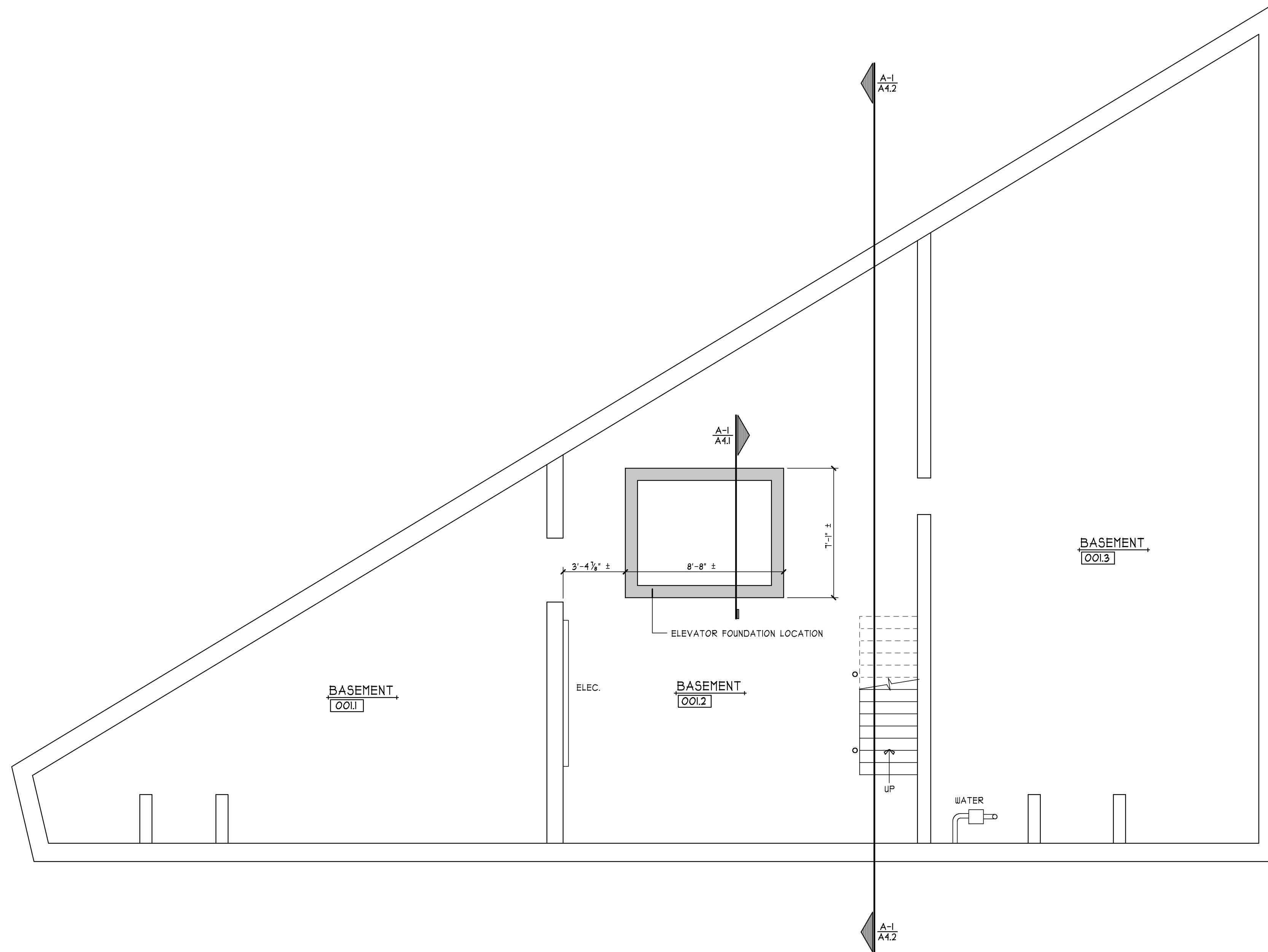
**NOTES:**  
 1. FABRICATE SIGN PANELS OF 2000 ALUMINUM.  
 2. ALL SIGNS SHALL BE FASTENED TO OR MOUNTED ON POST WITH GALVANIZED BOLTS, NUTS AND WASHERS.  
 3. FOR FURTHER INFORMATION, REFER TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.  
 4. COORDINATE SIGN LOCATION TO AVOID UTILITIES.

**3 TRAFFIC CONTROL SIGN**  
 NOT TO SCALE 32-4000-01



PLTDATE @DWG/FULLNAME/EXT

8/26/2019 S:\JOB NUMBER\2018\18051 - 526-536 North Salina\Condoc\530-536 N. Salina\PILOT\18051\_530 N Salina - A1.0.dwg



BASEMENT FLOOR PLAN  
SCALE : 1/4" = 1'-0"

(A-1)  
A1.0

**PERMIT SET**

REV No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

	JOB NO: 18051
	DATE: 08/23/2019
	DRAWN BY: CPN
	SCALE: 1/4" = 1'-0"

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST, SYRACUSE, NEW YORK

**HOLMES ■ KING ■ KALLQUIST**  
 & Associates, Architects, LLP  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkkarchitects.com

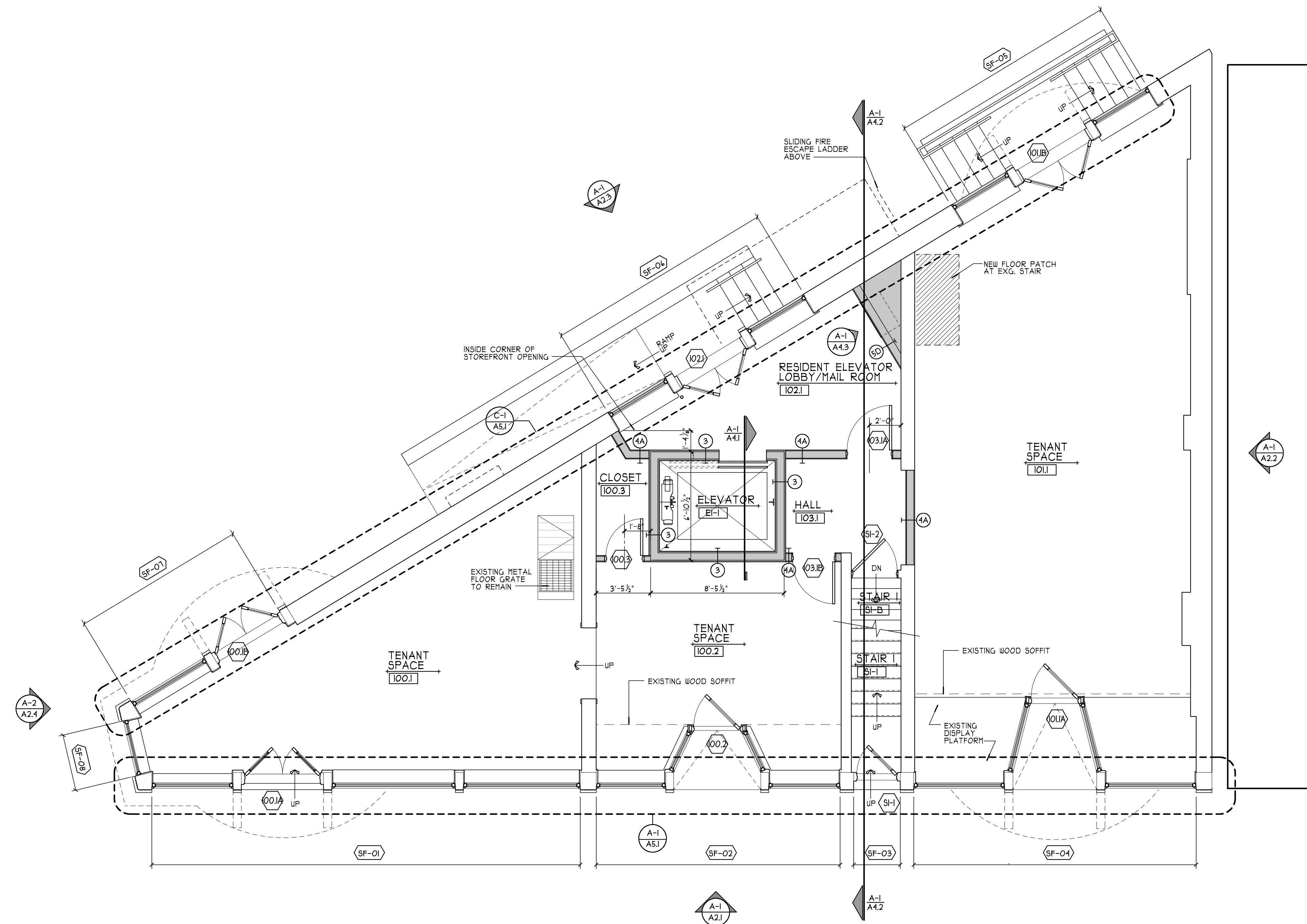
PART 6.500 OF THE TITLE VI EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 6.500.

**BASEMENT FLOOR PLAN**

**A1.0**



8/26/2019 S:\JOB NUMBER\2019\18051 - 530-536 North Salina\Salina\Condor\530-536 N. Salina\PILOT\18051\_530 N Salina - A1.1.dwg



**PERMIT SET**

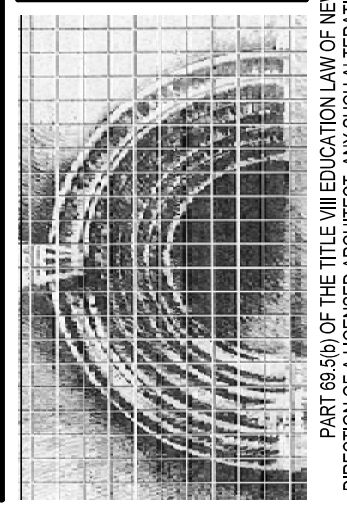
REV. No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

	JOB NO: 18051
	DATE: 08/23/2019
	DRAWN BY: CPN
	SCALE: 1/4" = 1'-0"

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST., SYRACUSE, NEW YORK

**HOLMES ■ KING ■ KALLQUIST & Associates, Architects, LLP**  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkkarchitects.com

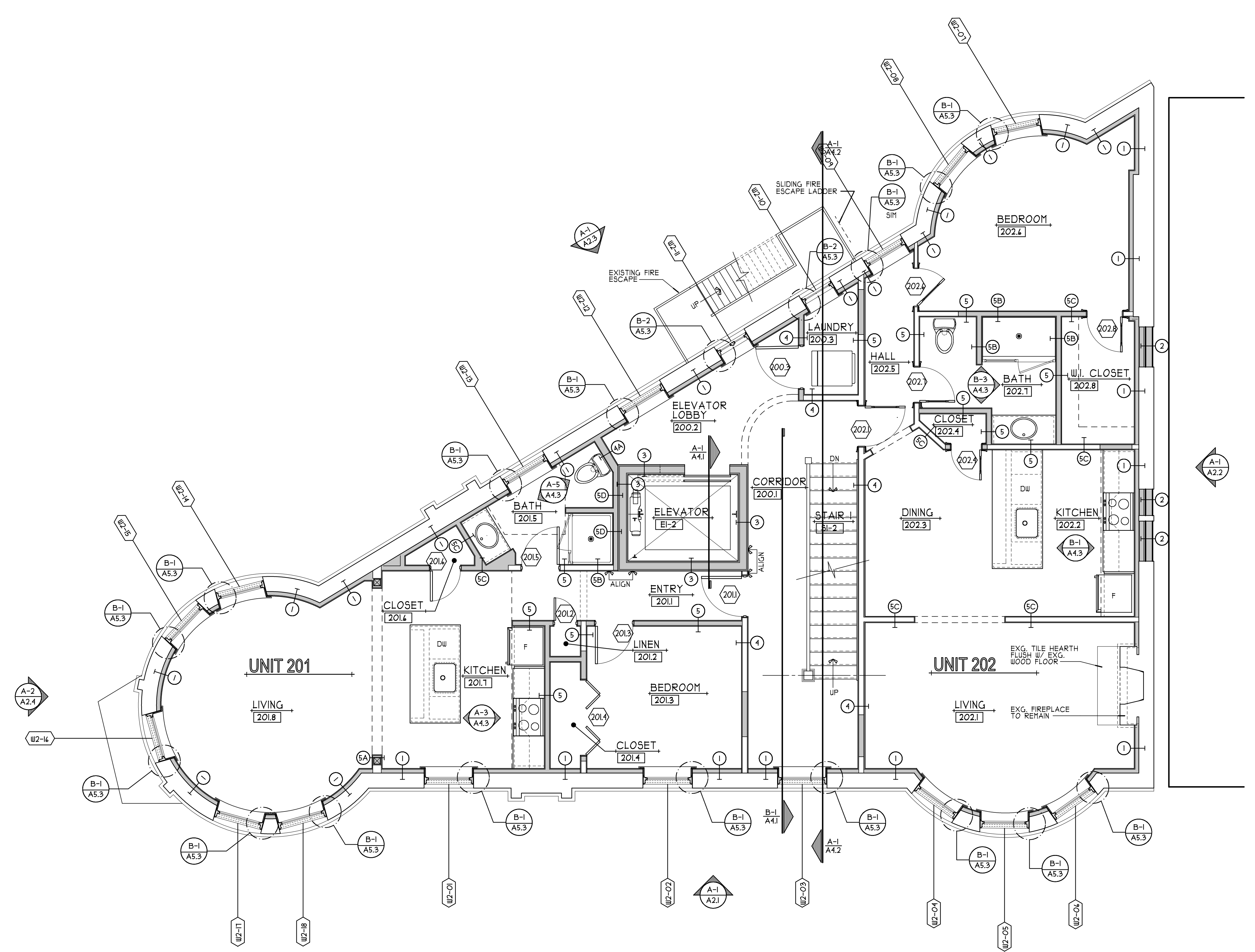


**FIRST FLOOR PLAN**

**A1.1**

FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0" (A-1)


8/26/2019 S:\JOB NUMBER\2019\18051 - 530-536 North Salina\Condo\530-536 N. Salina\PILOT\18051\_530 N Salina- A1.2.ecw



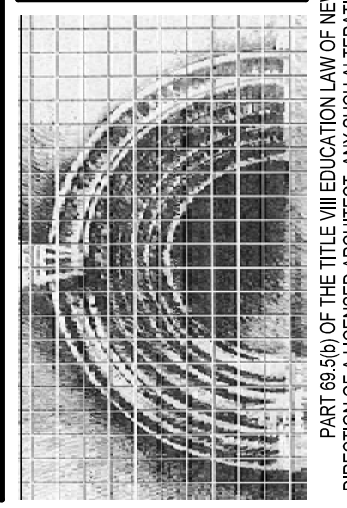
PERMIT SET

REV No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.


 PROJECT NORTH  
 JOB NO: 18051  
 DATE: 08/23/2019  
 DRAWN BY: CPN  
 SCALE: 1/4" = 1'-0"

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST, SYRACUSE, NEW YORK  
**HOLMES ■ KING ■ KALLQUIST**  
 & Associates, Architects, LLP  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkkarchitects.com

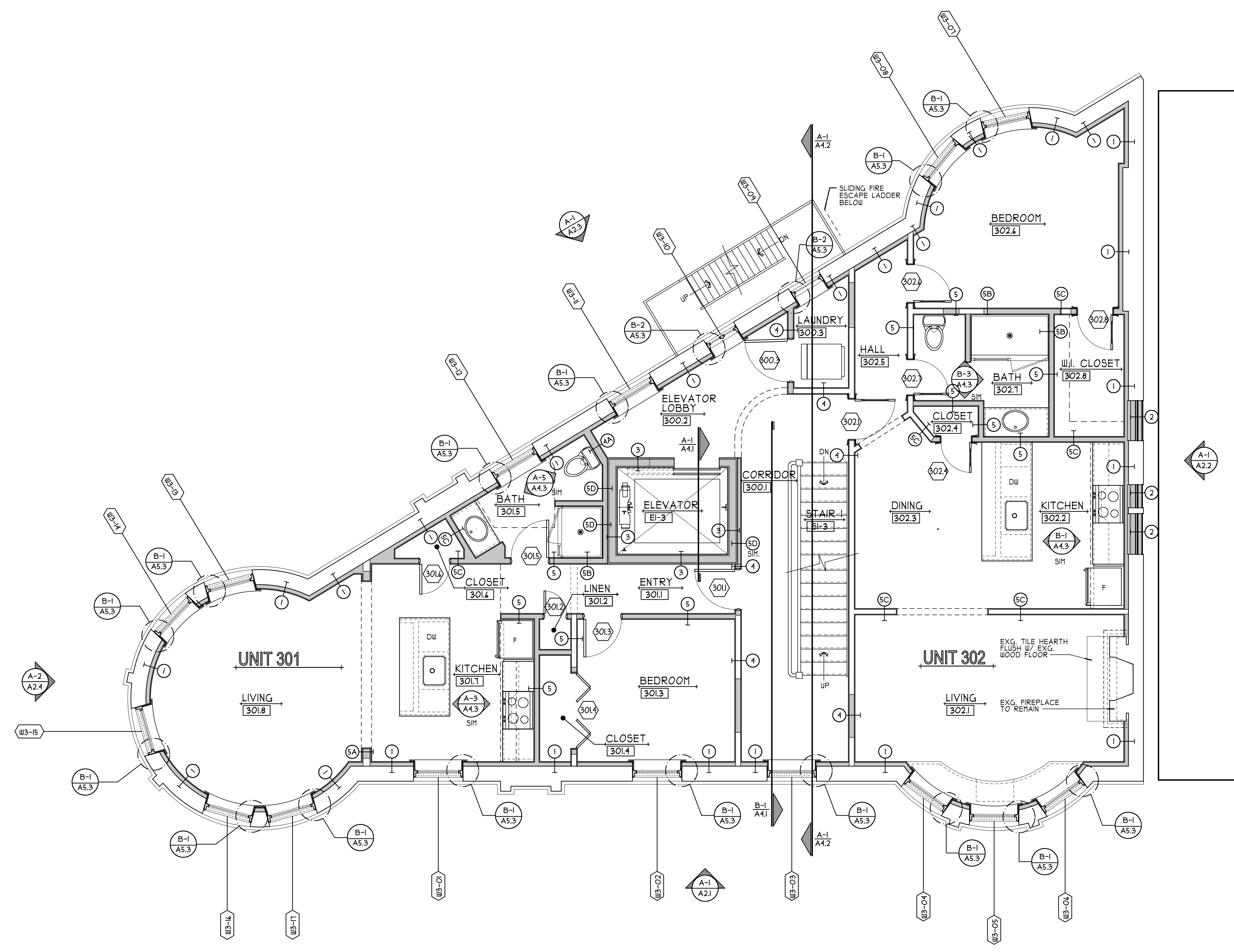


SECOND FLOOR PLAN

A1.2

SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0" A-1 A1.2

8/26/2019 S:\JOB NUMBER\2019\18051 - 530-536 North Salina\Condor\530-536 N. Salina\PILOT\18051\_530 N Salina- A1.3.ecw



THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**PERMIT SET**

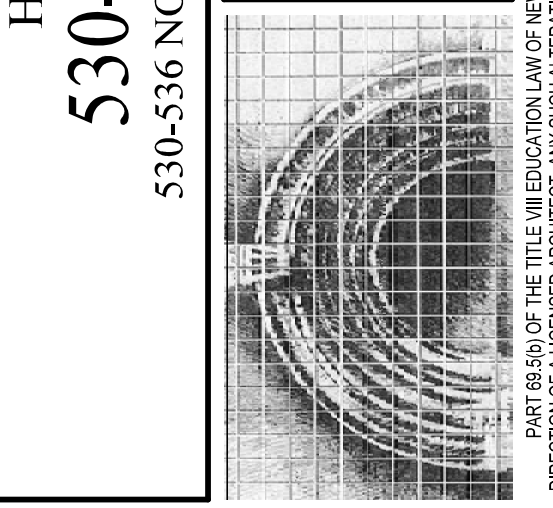
REV. No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

<p>PROJECT NORTH</p>	JOB NO: 18051
	DATE: 08/23/2019
	DRAWN BY: CPN
SCALE: 1/4" = 1'-0"	

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST., SYRACUSE, NEW YORK

**HOLMES ■ KING ■ KALLQUIST & Associates, Architects, LLP**  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkkarchitects.com

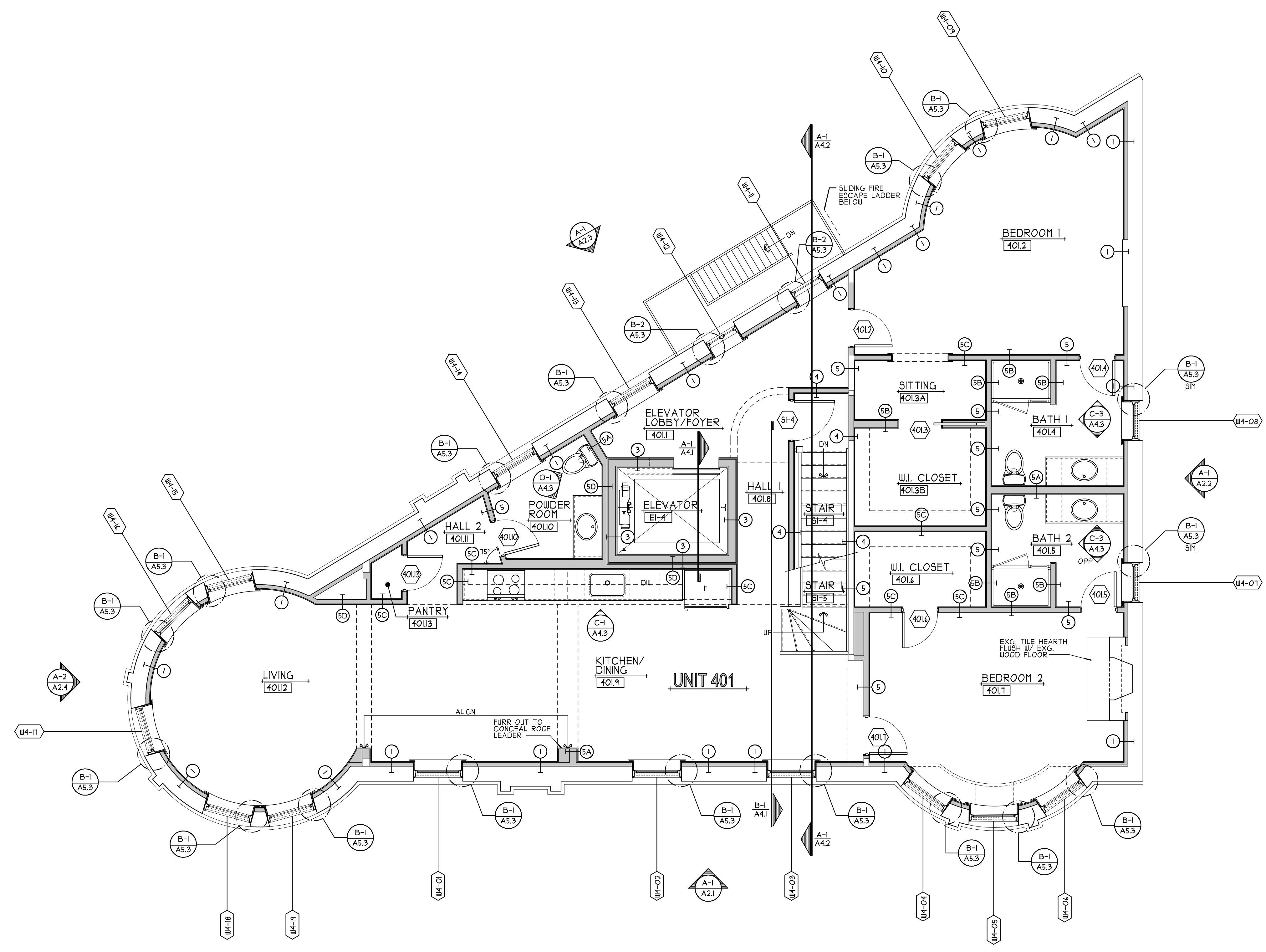


**THIRD FLOOR PLAN**

**A1.3**

PART 6.500 OF THE TITLE WHEREAS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 6.500.

8/26/2019 S:\JOB NUMBER\2019\18051 - 530-536 North Salina\Condor\530-536 N. Salina\PILOT\18051\_530 N. Salina - A1.4.ecw



**PERMIT SET**

REV. No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

<p>PROJECT NORTH</p>	JOB NO: 18051
	DATE: 08/23/2019
	DRAWN BY: CPN
SCALE: 1/4" = 1'-0"	

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST., SYRACUSE, NEW YORK

**HOLMES ■ KING ■ KALLQUIST**  
**& Associates, Architects, LLP**  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
[www.hkkarchitects.com](http://www.hkkarchitects.com)

PART 6.500 OF THE TITLE WHEREAS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 6.500.

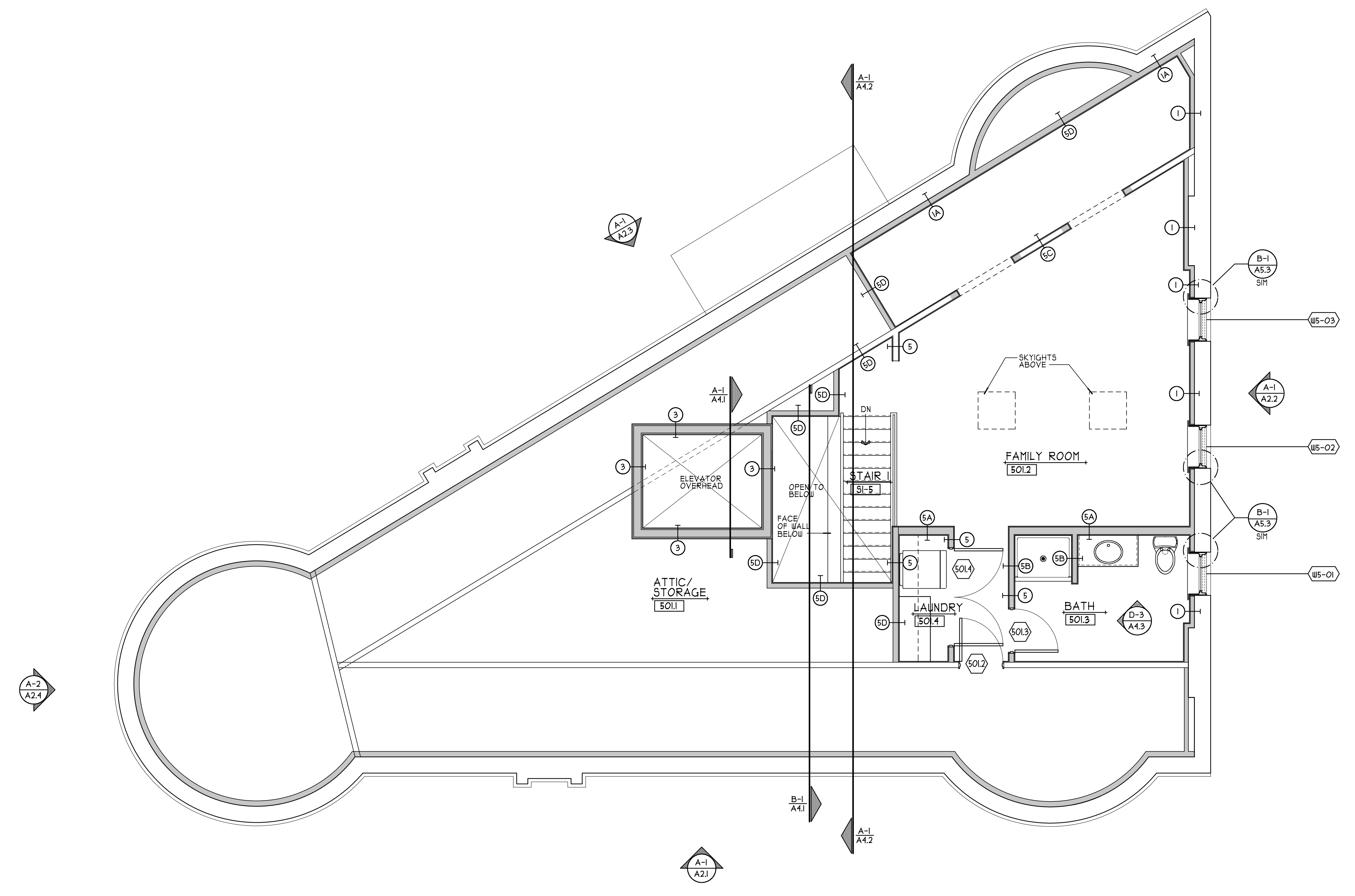
**FOURTH FLOOR PLAN**

A1.4

FOURTH FLOOR PLAN (A-1)  
 SCALE: 1/4" = 1'-0" (A1.4)



8/26/2019 S:\JOB NUMBER\2019\18051 - 536-536 North Salina\Condor\530-536 N. Salina\PILOT\18051\_530 N. Salina - A1.5.rvt



ATTIC FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**PERMIT SET**

REV No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

 PROJECT NORTH	JOB NO: 18051
	DATE: 08/23/2019
	DRAWN BY: CPN
SCALE: 1/4" = 1'-0"	

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
530-536 NORTH SALINA ST, SYRACUSE, NEW YORK

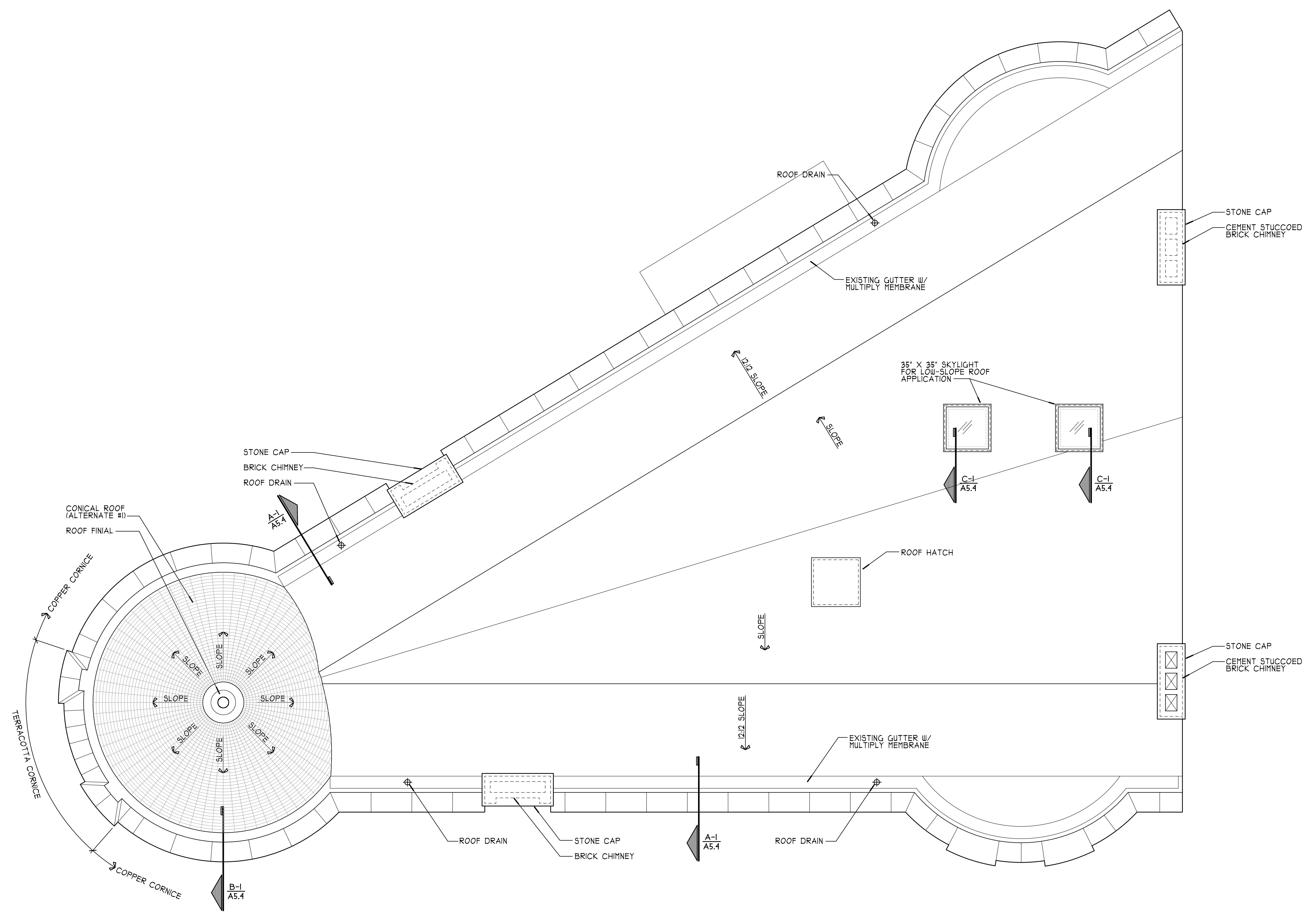
**HOLMES ■ KING ■ KALLQUIST**  
& Associates, Architects, LLP  
575 North Salina Street, Syracuse, NY 13208  
PH: (315) 476-8371 Fax: (315) 476-5420  
www.hkkarchitects.com

PART 6.500 OF THE TITLE WHEREAS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 6.500.

ATTIC FLOOR PLAN

A1.5

8/26/2019 S:\JOB NUMBER\2019\18051 - 530-536 North Salina\Condor\530-536 N. Salina\PILOT\18051\_530 N Salina - A1.6.dwg



**PERMIT SET**

REV No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

<p>PROJECT NORTH</p>	JOB NO: 18051
	DATE: 08/23/2019
	DRAWN BY: CPN
SCALE: 1/4" = 1'-0"	

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST, SYRACUSE, NEW YORK

**HOLMES ■ KING ■ KALLQUIST & Associates, Architects, LLP**  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkkarchitects.com

PART 68.500 OF THE TITLE WHEREAS THE ARCHITECT HAS BEEN LICENSED BY THE STATE OF NEW YORK AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 68.00.

ROOF PLAN

**A1.6**

ROOF PLAN  
 SCALE: 1/4" = 1'-0" A-1  
A1.6



8/27/2019 8:27:2019 S:\JOB NUMBER\2019\18051 - 536-536 North Salina\Condor\530-536 N. Salina\PILOT\18051\_530 N. Salina - A2.1.ec

**TERRA COTTA NOTES:**

- T1 - REPLACE MISSING OR DAMAGED TERRA COTTA UNIT TO MATCH ORIGINAL FOR PROFILE, COLOR AND TEXTURE. REPLACE FAILED WALL FLASHING AS REQUIRED. REFER TO SECTION 012100
- T2 - REPAIR CRACKS, CHIPS AND MISSING AREAS IN TERRA COTTA TO MATCH ORIGINAL FOR PROFILE, COLOR AND TEXTURE. REMOVE AND REPLACE INAPPROPRIATE PATCHING MATERIAL. REFER TO SECTION 012100
- T3 - RAKE AND REPOINT ALL VERTICAL AND HORIZONTAL MORTAR JOINTS IN TERRA COTTA, FULL LENGTH OF FACADE.
- T4 - RAKE AND REPOINT LOOSE OR MISSING VERTICAL AND HORIZONTAL MORTAR JOINTS IN TERRA COTTA. REFER TO SPECIFICATIONS SECTION 012100

**BRICK NOTES:**

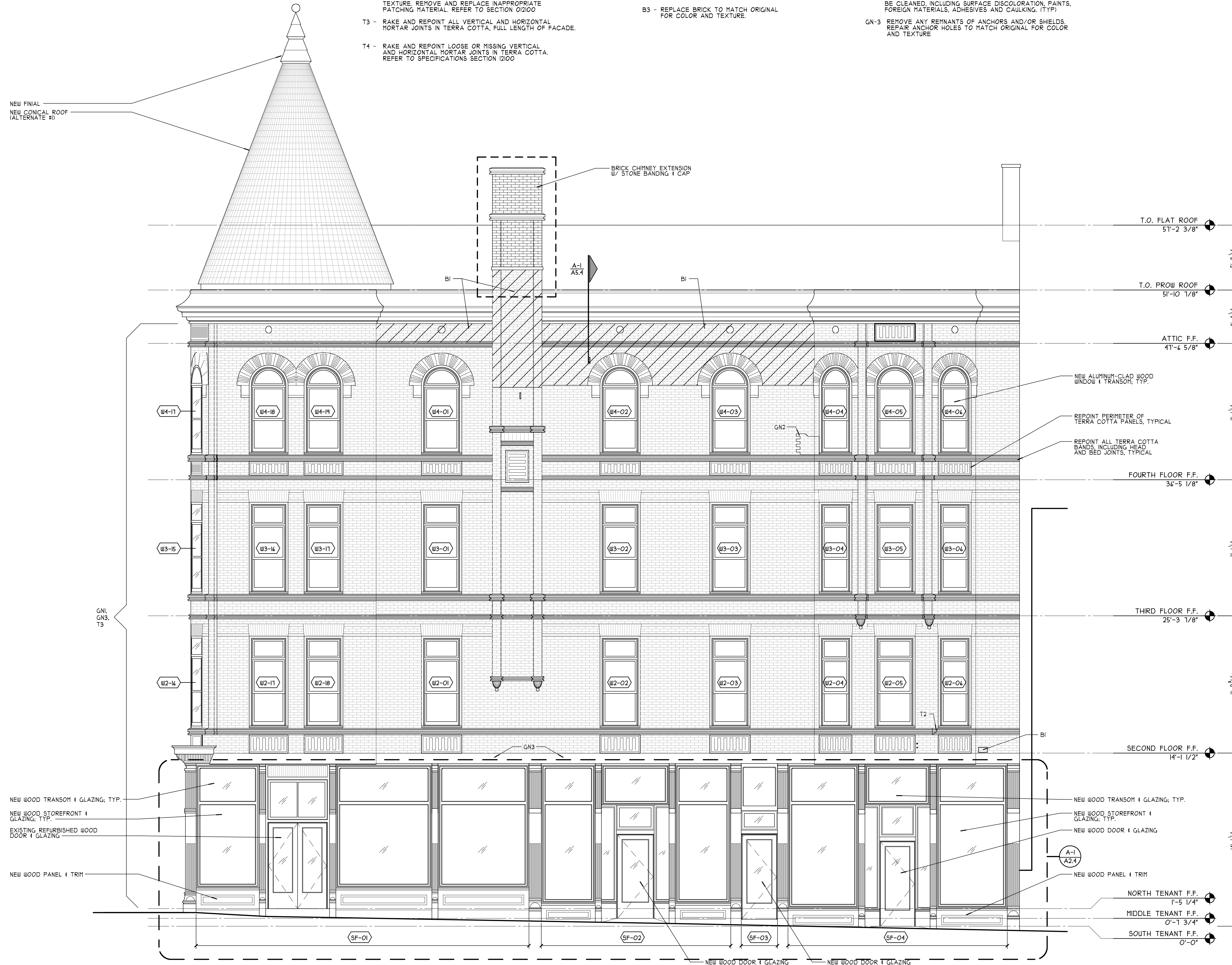
- B1 - REPLACE DAMAGED, DISLODGED OR MISSING BRICKS TO MATCH EXISTING FOR COLOR, SIZE AND TEXTURE. REPLACE FAILED WALL FLASHING AS REQUIRED
- B2 - REPAIR DAMAGED AREA OF CAST STONE WINDOW SILL TO MATCH ORIGINAL FOR COLOR AND TEXTURE
- B3 - REPLACE BRICK TO MATCH ORIGINAL FOR COLOR AND TEXTURE.

**GENERAL NOTES:**

- GN1 - RAKE AND REPOINT HORIZONTAL AND VERTICAL MORTAR JOINTS AT BRICK, INCLUDING ALL WINDOW SILL JOINTS AND BRICK AREA BELOW SILL AS INDICATED AS TYPICAL. REFER TO SPEC SECTIONS 012100 AND 012200
- GN2 - BRICK, TERRA COTTA AND CAST STONE SURFACES TO BE CLEANED, INCLUDING SURFACE DISCOLORATION, PAINTS, FOREIGN MATERIALS, ADHESIVES AND CAULKING. (TYP)
- GN-3 REMOVE ANY REMNANTS OF ANCHORS AND/OR SHIELDS. REPAIR ANCHOR HOLES TO MATCH ORIGINAL FOR COLOR AND TEXTURE

**WINDOW NOTES:**

- W1 - REPLACE EXISTING WOOD WINDOWS WITH ALUMINUM CLAD WOOD WINDOWS. PROVIDE NEW CUSTOM EXTRUDED ALUMINUM SILL, JAMB, AND HEAD CASINGS TO MATCH ORIGINAL PROFILES. (REFER TO DRAWING A1.2 FOR WINDOW TYPES)



**PERMIT SET**

REV. NO.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES

JOB NO: 18051
DATE: 08/23/2019
DRAWN BY: CPN
SCALE: 1/4" = 1'-0"

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST, SYRACUSE, NEW YORK

**HOLMES & KING - KALLQUIST & Associates, Architects, LLP**  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkarchitects.com

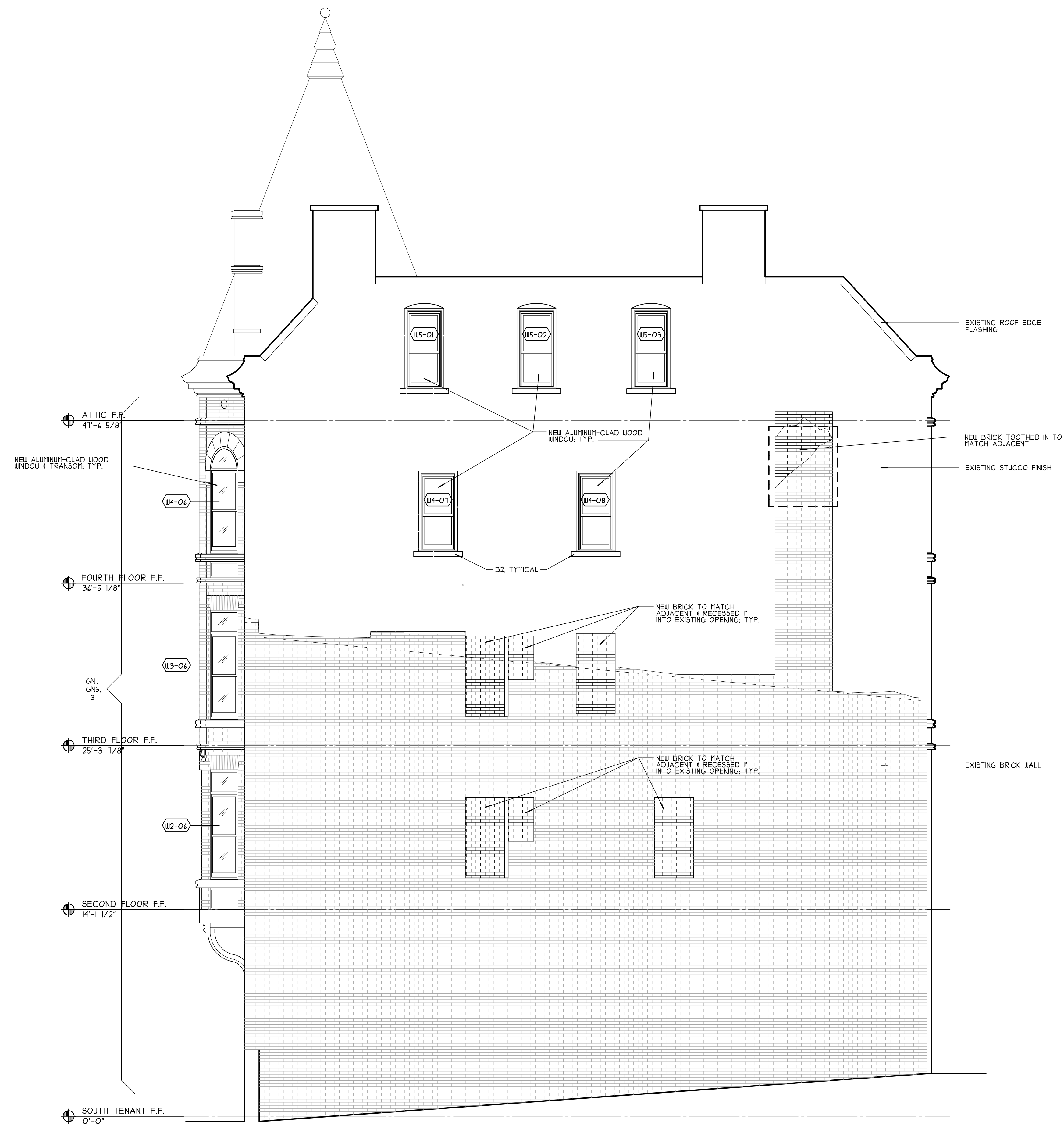
PART 6.5.0 OF THE TITLE WE EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 6.5.0.

WEST ELEVATION

**A2.1**

WEST ELEVATION  
 SCALE: 1/4" = 1'-0" (A-1/A2.1)

8/27/2019 S:\JOB NUMBER\2019\18051 - 530-536 North Salina\Condor\530-536 N. Salina\PILOT\18051\_530 N Salina - A2.2.ec



**PERMIT SET**

REV. No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO: 18051
DATE: 08/23/2019
DRAWN BY: CPN
SCALE: 1/4" = 1'-0"

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST., SYRACUSE, NEW YORK

**HOLMES ■ KING ■ KALLQUIST & Associates, Architects, LLP**  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkkarchitects.com

**SOUTH ELEVATION**

**A2.2**

SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0" (A-1) A2.2

8/27/2019 S:\JOB NUMBER\2019\18051 - 530-536 North Salina\Condor\530-536 N. Salina\PILOT\18051\_530 N Salina - A2.3.ecd



**PERMIT SET**

REV. NO.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED. COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO:	18051
DATE:	08/23/2019
DRAWN BY:	CPN
SCALE:	1/4" = 1'-0"

**HISTORIC REHABILITATION**  
**530-536 NORTH SALINA**  
 530-536 NORTH SALINA ST., SYRACUSE, NEW YORK

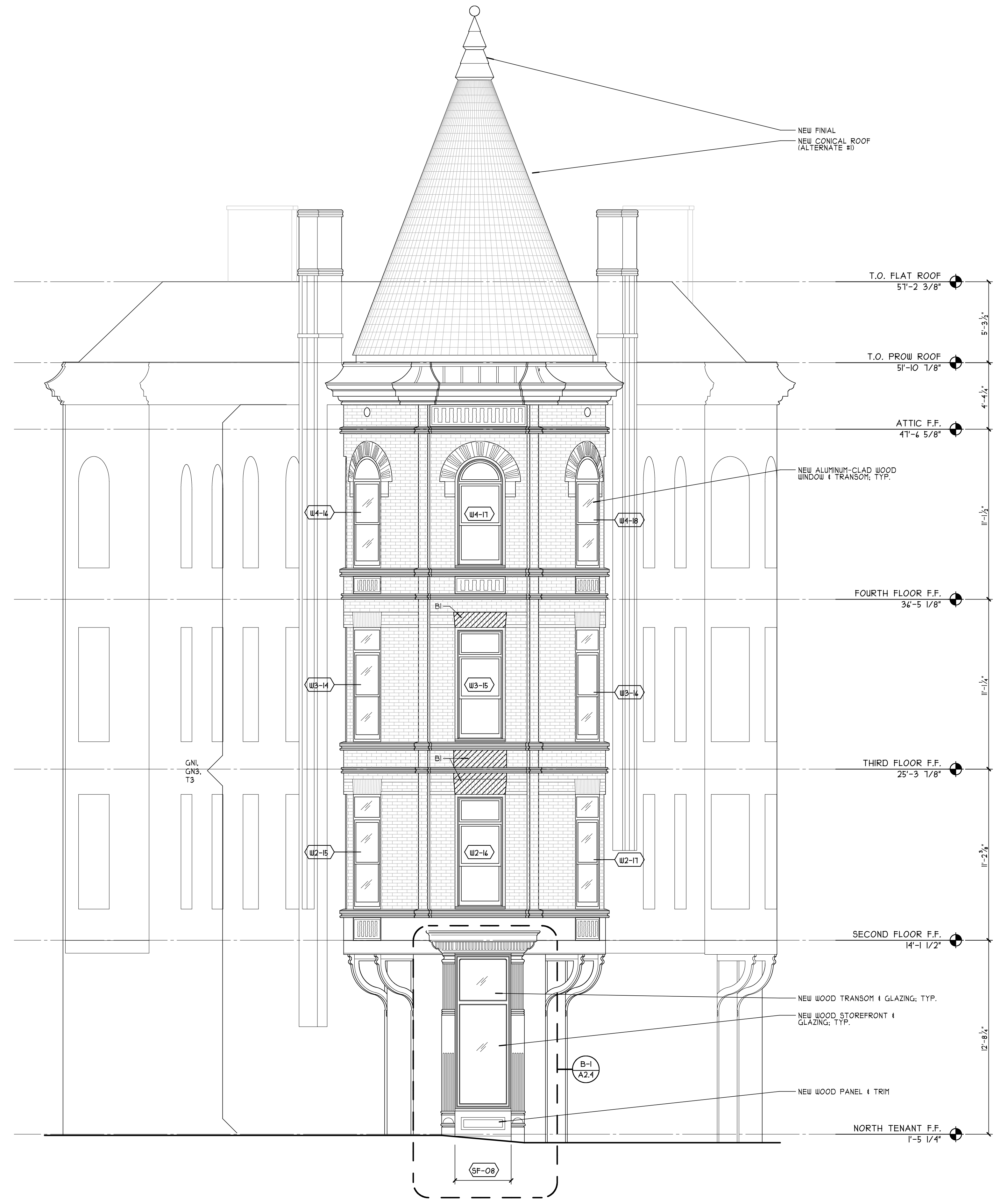
**HOLMES & KING - KALLQUIST & Associates, Architects, LLP**  
 575 North Salina Street, Syracuse, NY 13208  
 Ph: (315) 476-8371 Fax: (315) 476-5420  
 www.hkarchitects.com

**EAST ELEVATION**

**A2.3**

EAST ELEVATION  
 SCALE: 1/4" = 1'-0" A-1  
 A2.3

8/27/2019 S:\JOB NUMBER\2019\18051 - 536-536 North Salina\Condoc\530-536 N. Salina\PILOT\18051\_530 N Salina - A2.4.ec



NEW FINIAL  
NEW CONICAL ROOF  
(ALTERNATE #1)

T.O. FLAT ROOF  
5'7-2 3/8"

T.O. PROW ROOF  
5'10 1/8"

ATTIC F.F.  
4'4 5/8"

FOURTH FLOOR F.F.  
34'-5 1/8"

THIRD FLOOR F.F.  
25'-3 1/8"

SECOND FLOOR F.F.  
14'-1 1/2"

NORTH TENANT F.F.  
1'-5 1/4"

NEW ALUMINUM-CLAD WOOD  
WINDOW & TRANSOM, TYP.

NEW WOOD TRANSOM & GLAZING, TYP.  
NEW WOOD STOREFRONT &  
GLAZING, TYP.

NEW WOOD PANEL & TRIM

PERMIT SET

REV. NO.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED. COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO:	18051
DATE:	08/23/2019
DRAWN BY:	CPN
SCALE:	1/4" = 1'-0"

HISTORIC REHABILITATION  
**530-536 NORTH SALINA**  
530-536 NORTH SALINA ST., SYRACUSE, NEW YORK

**HOLMES & KING • KALLQUIST & Associates, Architects, LLP**  
575 North Salina Street, Syracuse, NY 13208  
Ph: (315) 476-8371 Fax: (315) 476-5420  
www.hkarchitects.com

NORTH ELEVATION

**A2.4**

NORTH ELEVATION  
SCALE: 1/4" = 1'-0" (A-1) A2.4

**City of Syracuse - Project Site Review  
Product Specifications**



# THE MARVIN ULTIMATE DOUBLE HUNG NEXT GENERATION

**MARVIN**   
Windows and Doors  
Built around you.®





ULTIMATE DOUBLE HUNG NEXT GENERATION



## A CONTEMPORARY CLASSIC

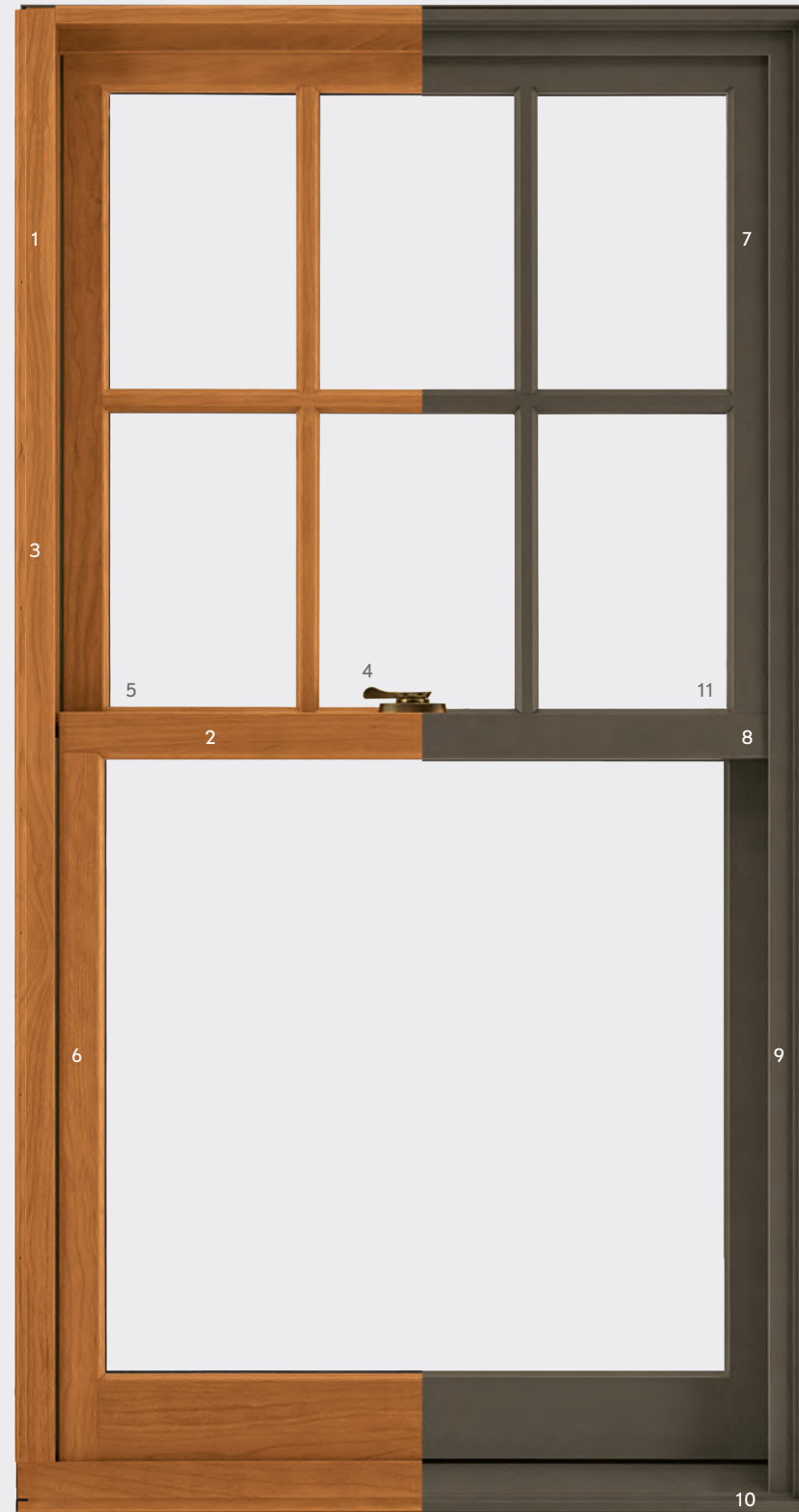
The Ultimate Double Hung Next Generation Window is an embodiment of our dedication to the trade of creating windows and doors. Influenced by the rich, historical significance of this window style and inspired by innovative design, each feature is thoughtfully added and each detail is carefully considered.

*Window above shown in Designer Black painted interior finish with Matte Black hardware.  
Right window shown with White painted interior finish and Satin Chrome hardware.*



INTERIOR PRODUCT FEATURES  
**DESIGNED TO INSPIRE**

- 1  
**RICH WOOD INTERIOR**  
Offers beauty and warmth with six standard wood species and ten interior finish options.
- 2  
**NARROW CHECKRAIL**  
Provides a sleek aesthetic to maximize daylight opening while maintaining historical accuracy.
- 3  
**DESIGN VERSATILITY**  
With an array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and hundreds of roundtop sizes.
- 4  
**EXCLUSIVE AUTOLOCK**  
Activates when the sashes are closed, locking the window.
- 5  
**FIRST-RATE ENERGY EFFICIENCY**  
Meet ENERGY STAR® standards in energy efficiency with multiple glass options for various regions, climates and weather needs.
- 6  
**SASH BALANCE SYSTEMS**  
Enable smooth operation even at the largest sizes.



EXTERIOR PRODUCT FEATURES  
**ENGINEERED FOR PERFORMANCE**

- 7  
**DURABLE EXTERIOR CLADDING**  
Made with the industry's highest level of certification, AAMA 2605, extruded aluminum and backed by a 20-year warranty against chalking and fading.
- 8  
**ALUMINUM INTER-LOCK**  
Eliminates drafts and improves the window's overall structural integrity.
- 9  
**EXPANSIVE SIZES**  
Up to 5 feet wide by 10 feet high.
- 10  
**TRADITIONAL SILL BEVEL**  
The 14-degree bevel provides optimal water management while maintaining a classic look.
- 11  
**SUPERIOR WEATHER PERFORMANCE**  
The window's performance ratings are top in class, including CW-PG30 through CW-PG50 and LC-PG50 on most sizes and IZ3 certified coastal options.

*Left window shown in Cherry with Wheat stain and Antique Brass hardware.*

*Right window shown in Suede aluminum cladding.*





#### AUTO-LOCKING HARDWARE

The mechanism automatically locks the window when the sashes are closed and is painter-friendly, allowing easy removal and reattachment for painting without components shifting out of alignment.

*Both windows shown in Designer Black painted interior finish with Satin Chrome hardware.*



#### ELEGANCE EVERY DAY

Every aspect of the Ultimate Double Hung Next Generation Window was created with our customers' needs in mind, including Tilt/Wash mode. Allowing easy access to the exterior glass for cleaning and maintenance, Tilt/Wash mode helps keep every view beautiful.



ULTIMATE INSERT DOUBLE HUNG NEXT GENERATION



A WINDOW INTO EFFICIENCY

This window's frame-in-frame design is built precisely to seamlessly fit into your unique window opening, so there's no need to remove the existing frame or disturb the exterior or interior trim of your house. Ultimate Insert Double Hung Next Generation Windows always fit into your existing space and appear completely integrated into your home.

*Window shown in Pine with Matte Black hardware.*

ELEGANT ARCHES

The Ultimate Double Hung Next Generation Window empowers design versatility with round top options for modern homes and historic renovations.

At 4th Floor



HALF CIRCLE  
TRANSOM

Versatile, standing alone or above a double hung. Available in 12 call number sizes.



HALF CIRCLE  
RADIUS  
OPERATING  
DOUBLE HUNG

A half circle arch allows a dramatic transition. Available in 164 call number sizes.



EYEBROW  
TRANSOM

Complements design as a transom or picture. Available in over 75 call number sizes.



HALF EYEBROW  
OPERATING  
SINGLE HUNG

An elegant curve creates striking beauty. Available in 189 call number sizes.



EYEBROW RADIUS  
OPERATING  
DOUBLE HUNG

A gentle radius gives a classic look. Available in 192 call number sizes.

*Windows shown in Pine with Leather stain and Oil Rubbed Bronze hardware.*

## REIMAGINED FROM THE BOTTOM UP

The Marvin Lift Lock moves the location of the lock from the check rail to the lower part of the sash, solving an age-old problem of lock accessibility. Now, operating your window is easier than ever; the Lift Lock unlocks and acts as a handle for raising and lowering the bottom sash. To lock, simply close the bottom sash. Lift Lock hardware is available on the Ultimate Single Hung Next Generation Window.

## ULTIMATE SINGLE HUNG NEXT GENERATION



## A MODERN INNOVATION

The Marvin® Lift Lock is the next innovation in function, design, and aesthetics for the Marvin Ultimate Single Hung Next Generation Window. Now operating your window is easier than ever; the lift lock unlocks and acts as a handle for raising and lowering the bottom sash. To lock, simply close the bottom sash. Lift Lock Hardware is available with contemporary and traditional styles to complement a range of designs.

*Left window shown in Pine with White painted interior finish and Traditional Lift Lock Hardware in Matte Black.  
Left Window above shown in White Oak with Traditional Lift Lock Hardware in Satin Nickel.  
Right window above shown in Pine with Designer Black painted interior finish and Contemporary Lift Lock Hardware in Satin Nickel.*



ULTIMATE DOUBLE HUNG NEXT GENERATION



## SUPERIOR SCREENS

Because no two projects are the same, Marvin® offers a variety of innovative screen and storm window options designed to blend into your window, meet the performance needs of your project, and match the beauty of your home.

- RETRACTABLE SCREEN
- FULL OR HALF SCREEN
- TWO-LITE STORM SASH OR SCREEN
- STORM & SCREEN COMBINATIONS

*Window shown with full screen and Suede aluminum cladding.*

ULTIMATE DOUBLE HUNG NEXT GENERATION



## SHADED IN SERENITY

From the amount of light to give your home to the amount of privacy to give yourself, what you need throughout the day changes. Marvin's interior shades are seamlessly integrated into the window with no edge gaps for light to bleed through and feature top-down/bottom-up operation, letting you choose your exact amount of daylight or privacy. With finish options to match your windows or doors, a precision fit with no visible cords or pulleys, these shades blend into the background when unused. Offering fifteen light-filtering shade colors and five colors that block out light, Marvin® shades are designed to accommodate every need. These shades are made with a durable material that holds its pleat through normal use and we offer a 10-year warranty on all fabrics.

*Windows shown in Pine with Honey stain and Almond shades.*





Built around you.®

Marvin® Windows and Doors, Warroad, MN 56763. ©2018 Marvin Windows and Doors. All rights reserved. ®Registered trademark of Marvin Windows and Doors. Information regarding status of patent applications, and product features and specifications is subject to change without notice. Colors shown in printed materials are simulations and may not precisely duplicate product or finish colors. Contact your local Marvin dealer to view actual product and finish samples.

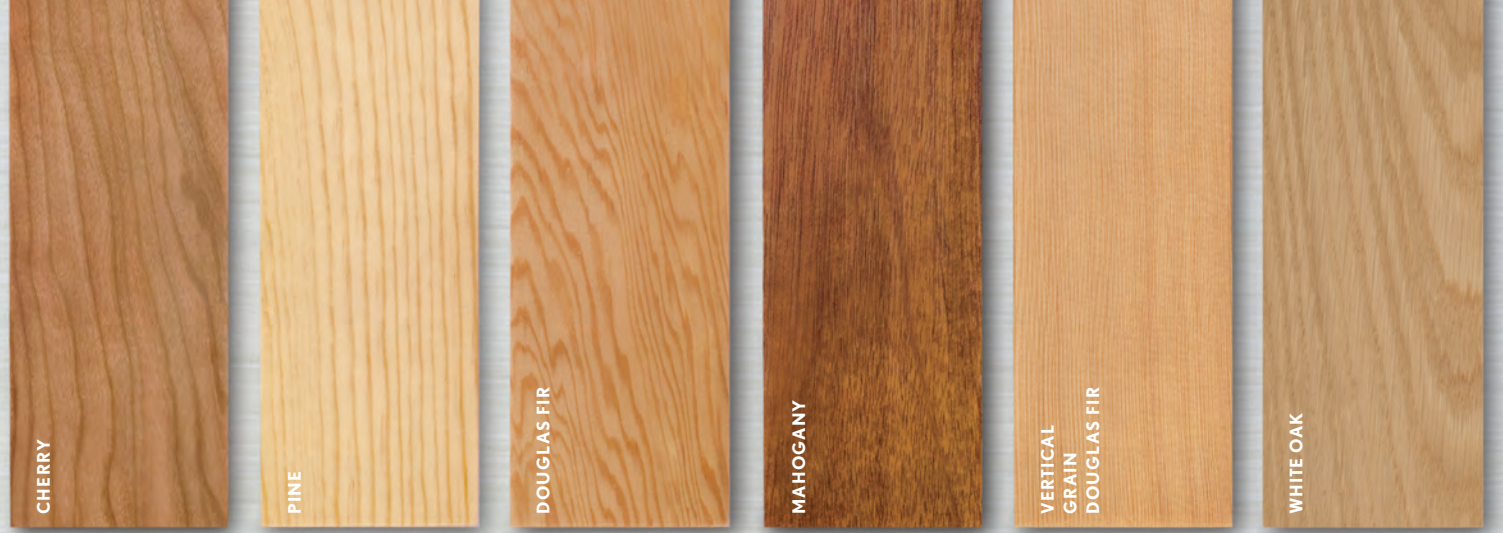
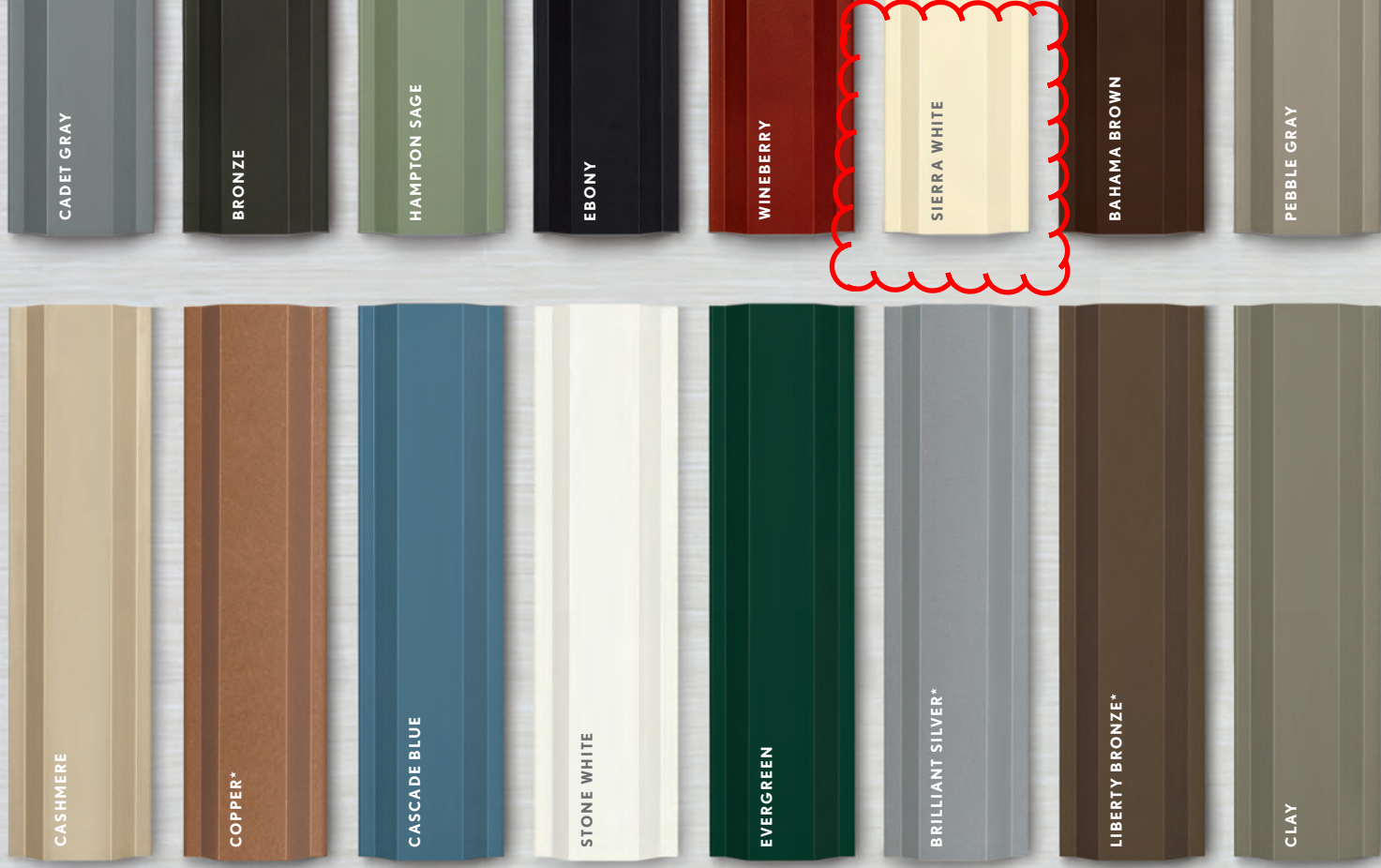
Part #19980680. June 2018.

[MARVINWINDOWS.COM](http://MARVINWINDOWS.COM)

---

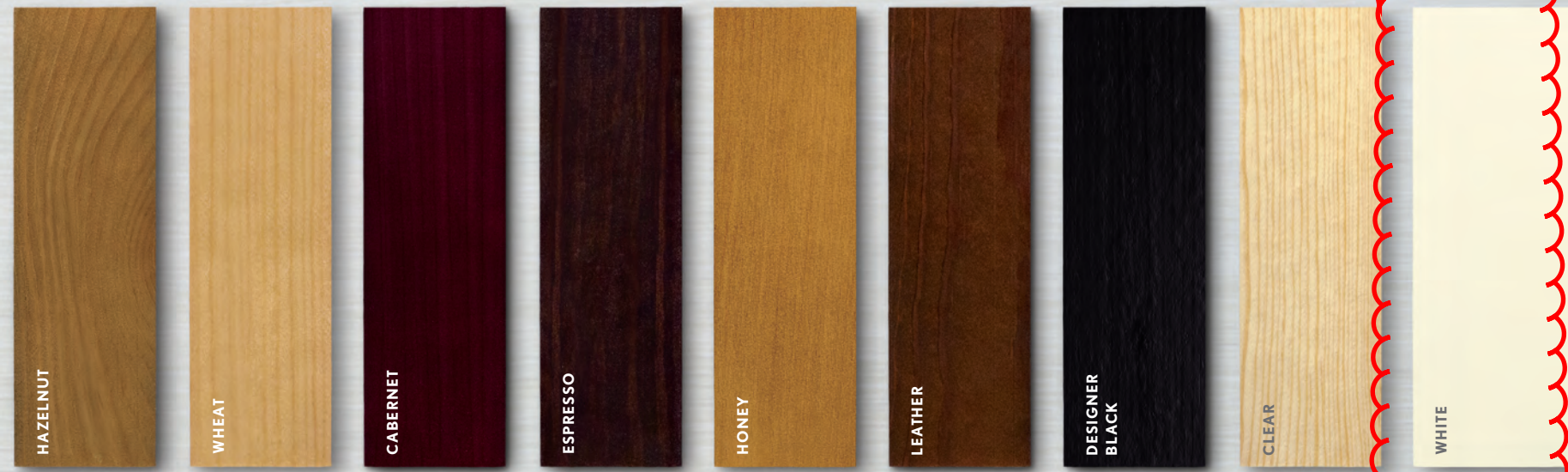
HANDCRAFTED  
IN AMERICA. 





### WOOD SPECIES

Every master woodworker knows that one of the most important choices when crafting a new piece is selecting the right wood species for the project. With variations in grain, hardness and warmth, each one of our six standard wood species has something unique to offer.



### INTERIOR FINISH OPTIONS

As part of our commitment to only creating the highest-quality windows and doors, every single piece of wood in each of our made-to-order products is conditioned, sanded, and baked during our integrated conditioning and staining process to provide an elegant and lasting finish. With nine stain and paint options to choose from, our customers can receive stunning, ready-to-install windows and doors without the mess, fumes, or inconvenience.

## ALUMINUM CLADDING BEAUTY THAT DOESN'T FADE

Our cladding offers color flexibility to meet design goals with durability to protect against the elements. Backed by a 20-year warranty, Marvin's impact resistant extruded aluminum cladding is 3x thicker and much stronger than the industry-standard roll-form aluminum. \*\* Standing out for its extraordinary durability in nineteen spectacular colors, all finished in commercial-grade paint for superior resistance to chalking and fading, our aluminum cladding is designed to last.



\* Pearlescent Aluminum Cladding  
 \*\* Some colors may not qualify for the 20-year warranty. For details contact your local dealer. For a copy of the warranty, see [MarvinWindows.com](http://MarvinWindows.com)



**City of Syracuse - Project Site Review  
Photographs - Existing Structure**





03

04

08

05

06

07

02

10

01

09









Reginald  
Flower Shop  
FRESH & SILK FLOWERS  
BALLOONS & GIFTS  
- 472-4267 -

HEK-3571

















NO PARKING  
PARKING BY  
PERMIT ONLY  
ALL OTHERS WILL  
BE TOWED













532





FRESH & SHINY  
BALLOONS  
472-4267

FLOWERS

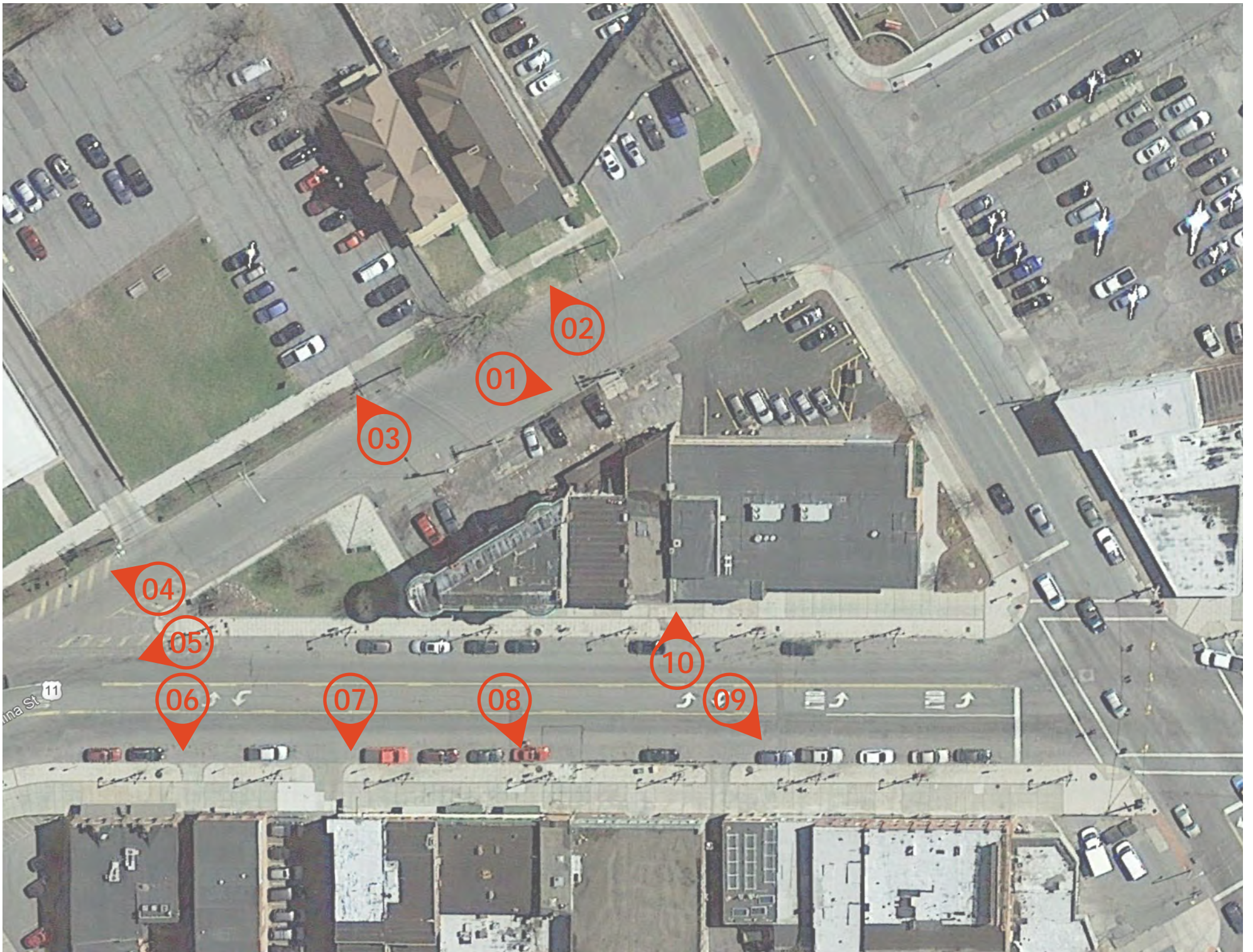
536

MasterCard  
VISA



**City of Syracuse - Project Site Review  
Photographs - Streetscape**





ina St. 11

04

05

06

07

08

10

09

01

02

03





FOR RENT  
www.volsforrent.com  
V  
icla  
585









NO  
PARKING  
ANY  
TIME





STOP

DO NOT ENTER









575









C·Y·O

Francesca's

Francesca's Cucina

Francesca's Cucina

537

539





Print-A-Center

INTERNATIONAL  
BARBER SHOP &  
CLOTHING SHOP &  
BOUTIQUE  
Wigs & Hair Products

A-1 TROPHY MFG.

EASTERN FARM WORKERS ASSOCIATION

525

4-6





PARKING  
PREFERRED  
PLEASE  
MOVE  
↓