

City of Syracuse
Office of Zoning Administration

SPECIAL PERMIT APPLICATION

City Hall Commons - Room 500 * 201 E. Washington Street * Syracuse, NY 13202-1426 * 315-448-8640
315-448-8640 * zoning@syr.gov * www.syr.gov.net/Zoning.aspx

Office Use _____ Date: _____ Case: _____ Zoning District: _____

SPECIAL PERMIT REQUESTED (Check all that apply and briefly describe.)

- Restaurant** (bars, taverns, coffee shops, night clubs): **Customer Area Square Footage:** 701
 Dining Room Entertainment - hours & details
 Bar Service Stage - hours
 Drive-Thru DJ Booth - hours

Other (describe): Convenience Store

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)*</u>	<u>DATE ACQUIRED</u>
1) 1701 Fayette St E & Columbus Ave	031.-11-07.0	Mohamed Al-Hashishi	12/20/2019
2) _____	_____	_____	_____
3) _____	_____	_____	_____
4) _____	_____	_____	_____

* As listed in the Department of Assessment property tax records at <http://syr.gov.net/Assessment.aspx> - 315-448-8280.

COMPANION ZONING APPLICATION(S) (List any related Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

- 1) Sign Form _____ 2) _____ 3) _____

PROJECT CONSTRUCTION (Please check all that apply and briefly describe.)

- Demolition (full and partial): _____
 New Construction: Interior tenant space renovation into a new Take-out Food/Store
 Exterior (façade) Alterations: Extension of Kitchen Hood exhaust duct up to & above existing roof.
 Site Changes: _____

PROJECT INFORMATION (Briefly describe, as applicable.)

Business/Project Name: Take-out Food Store
Current Land Use(s): Commercial / Mixed Use
Proposed Land Use(s): Commercial / Mixed Use
Total Number of Dwelling Units: 2 existing on 2nd flr. (no change, not in project work scope)
Days and Hours of Operation: Refer to previous application
Total Number of Onsite Parking Spaces: 0

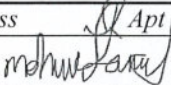
PROJECT DESCRIPTION (Provide a brief description of the project, including purpose or need.)

Previously approved new take-out only food restaurant and convenience store. Add the new exhaust hood duct/chimney extending 3'-2" from exterior of the building on the Lombard Ave side and partially across & up the existing roof with the new exhaust fan terminating at +4'-9" above the roof.

City of Syracuse Office of Zoning Administration

PROPERTY OWNER(S) (required)

As listed in Department of Assessment property tax records (<http://syrgov.net/Assessment.aspx> - 315-448-8280). If not listed as the owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a letter describing the legal arrangement. If the property owner is a Corporation or Organization, the person signing must provide member verification. **Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.**

Mohamed	Al-Hashishi				
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
310 Beatie St.		Syracuse	NY	13224	315-380-9691
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature: 					Date: 2/15/2021

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:					Date:

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:					Date:

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:					Date:

*** OWNER SIGNATURE DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

REPRESENTATIVE(S)/CONTACT(S) (if applicable)

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

Lance	King	Project Manager	RAV Architect, P.C.		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		<i>Phone:</i>
7515 Morgan Road		Liverpool	NY	13090	315-472-9848
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
					lking@ravarchitectpc.com

City of Syracuse
Office of Zoning Administration
SIGN FORM

Office Use Filing Date: _____ Case: _____ Zoning District: _____

SIGN TABLE

Please provide the following information for all existing and proposed business identification signage.

The business / tenant has space on the 1st story at street level: Yes No

The business / tenant has space with direct frontage on the street: Yes No

Street Name 1: E. Fayette St. Linear building or tenant space frontage/width (feet): 33.8

Street Name 2: Columbus Ave. Linear building or tenant space frontage/width (feet): 20.6

Sign Number /Key	Proposed or Existing	Type (wall, projecting, window, ground)	Construction (channel, cabinet, other)	Sign Lighting (external / internal)	Sign Content (for example, Eat at Joe's)	Sign Height (grade to top of sign)	Sign Face Height (feet)	Sign Face Width (feet)	Sign Face Area HxW (sq ft)
S-1	Prop.	Wall	Cabinet	Internal	Victoria Restaurant Spanish Food	9'-5"	4	5	20
S-2	Prop.	Wall	Cabinet	Internal	Victoria Restaurant Spanish Food	11"2.5	3	6	18

REQUIRED SUBMITTALS

This Sign Submission Form with the required submittals below must be submitted in **HARD COPY, SINGLE-SIDED** and **NOT BOUND** as follows: **ONE (1) COPY** of this Sign Submission Form; and **ONE (1) FULL-SIZE** and **TO-SCALE PLAN SET** for review, and **ONE (1) REDUCED SET** (11x17 inches, or smaller) for copying, of the items listed below. E-mailed submissions will not be processed.

- AS BUILT PROPERTY SURVEY** illustrating current conditions (**signed and stamped by a licensed surveyor**).
- SIGN DESIGN PLAN** illustrating the type of sign (wall, projecting, window, ground, roof) with the sign face height and width dimensions of outer-most sign boundary shown and noted.
- SIGN PLACEMENT PLAN** illustrating signage (keyed to the Sign Table) on the building façade(s) (signage superimposed on photographs can be used) with the distance from the ground to the top of the sign (sign height) noted.
- SIGN LOCATION PLAN** illustrating the location of property boundaries, and all building and ground signage locations keyed to the above Sign Table.

SIGN ALLOWANCES

Business identification signs are only allowed for uses allowed by right, Variance, or Special Permit

Zoning District	Type	Location	Number	Maximum Sign Face Area	Maximum Ground Sign Height
Residential (R -)	Wall or Ground	Street frontages 1st story or In front yard	1 per use	15 square feet (3 sf - office) (8 sf - bed & breakfast)	6 feet
Office (O -)	Wall or Ground	Street frontages 1st story or behind the front yard	1 per building	15 square feet	6 feet
Special Permit – All Districts	Wall, Ground	Street frontages	1 wall & 1 ground per business/tenant	40 square feet each (12 sf - trans parking)	30 feet (8 f - trans parking)
<i>The total area of allowed business signage in the zoning districts below is based on the linear business / tenant space frontage (width) on the street (not the lot frontage)</i>					
Central Business District (CBD -)	Wall, Ground, Projecting, Marquee	Street frontages <u>1st story only</u>	1 per <u>1st story</u> business/tenant per street	1 square foot per 1 linear foot	
Local Business (BA), Commercial (C -), Industrial (I -),	Wall, Ground, Projecting, Marquee	Street frontages	2 per business/tenant per street	1 square foot per 1 linear foot	30 feet max

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Take-out Food Store			
Project Location (describe, and attach a location map): 1701 East Fayette Street and Columbus Avenue			
Brief Description of Proposed Action: Interior renovation of a former barbershop into a 896.8 s.f. take-out and convenience store. Project will be installing a new Type I kitchen exhaust hood with the exhaust duct/chimney extending through the exterior wall turning upward following the wall line and then the roof line and turning upwards beyond the required distance to the exhaust fan.			
Name of Applicant or Sponsor: Lance E. King / RAV Architect, P.C.		Telephone: 3154729848 E-Mail: lking@ravarchitectpc.com	
Address: 7515 Morgan Road			
City/PO: Liverpool		State: NY	Zip Code: 13090
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		.065 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.065 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

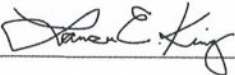
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

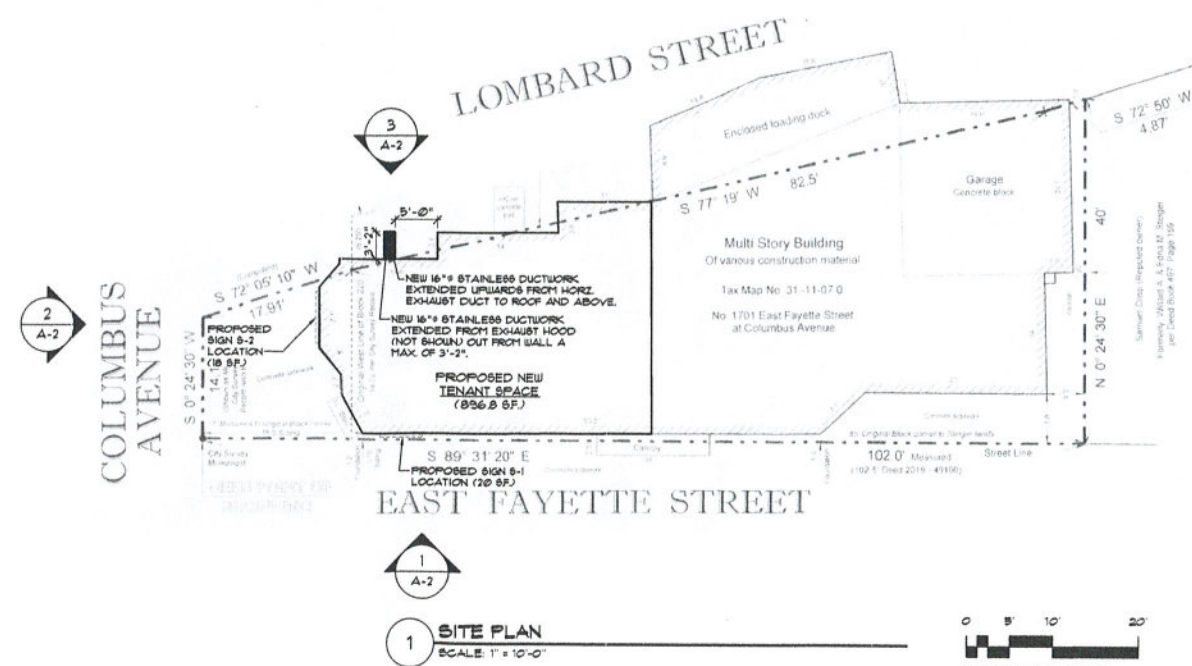
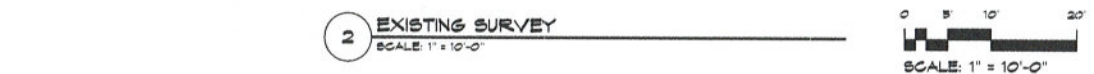
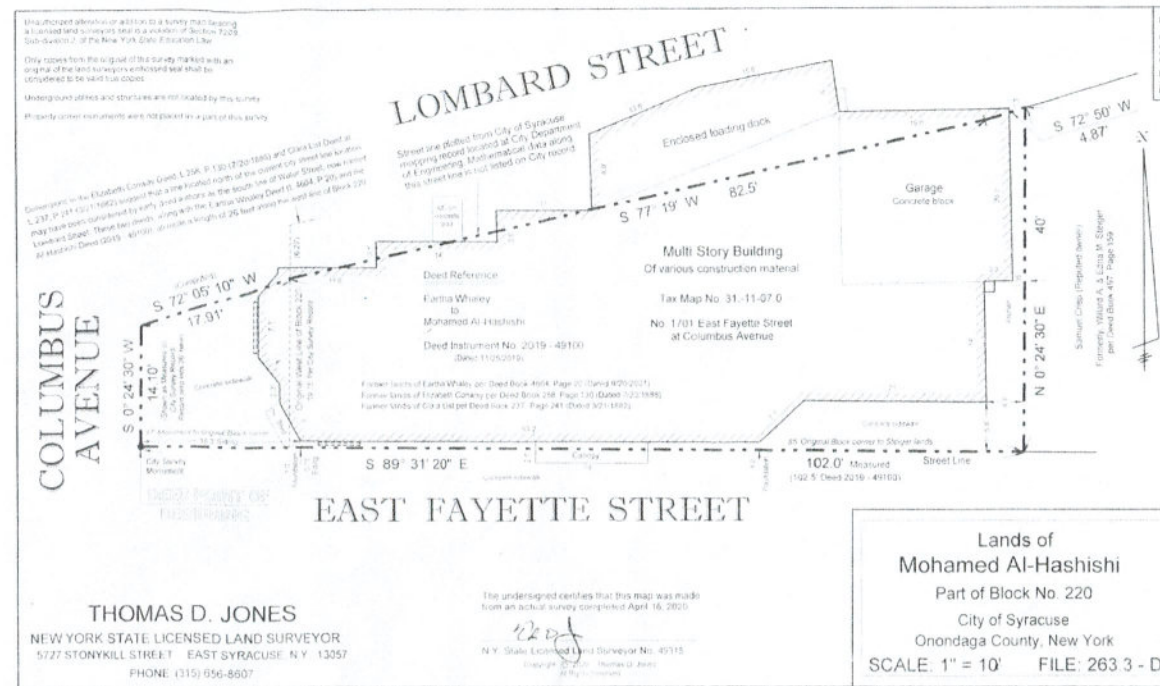
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Lance E. King / RAV Architect, P.C.</u> Date: <u>2-15-2021</u>		
Signature: <u></u> Title: <u>Project Manager</u>		



RAV
ARCHITECT P.C.

ROD A. VANDERWATER
ARCHITECT, P.C.

7516 Morgan Road
Liverpool, NY 13090
Office: 315-475-0168
RWATER@CDTCAD.COM

The Drawing, Specifications and other documents prepared by the Architect for the Project are a complete set of documents for the Project and shall be held by the Architect. No other documents, including but not limited to, blueprints, photographs, or other documents shall be used for the Project without the written consent of the Architect. The Architect's Office is not responsible for any errors or omissions in the Project or any other documents or drawings prepared by the Architect or any other persons for the Project or any other documents or drawings prepared by the Architect.

Proposed Store For:
Take-out food store
1701 East Fayette Street,
Syracuse, New York 13210

PROJECT TITLE & LOCATION:

REVISIONS
1 02-15-2021 ACCORD FOR ENCROACHMENT APP

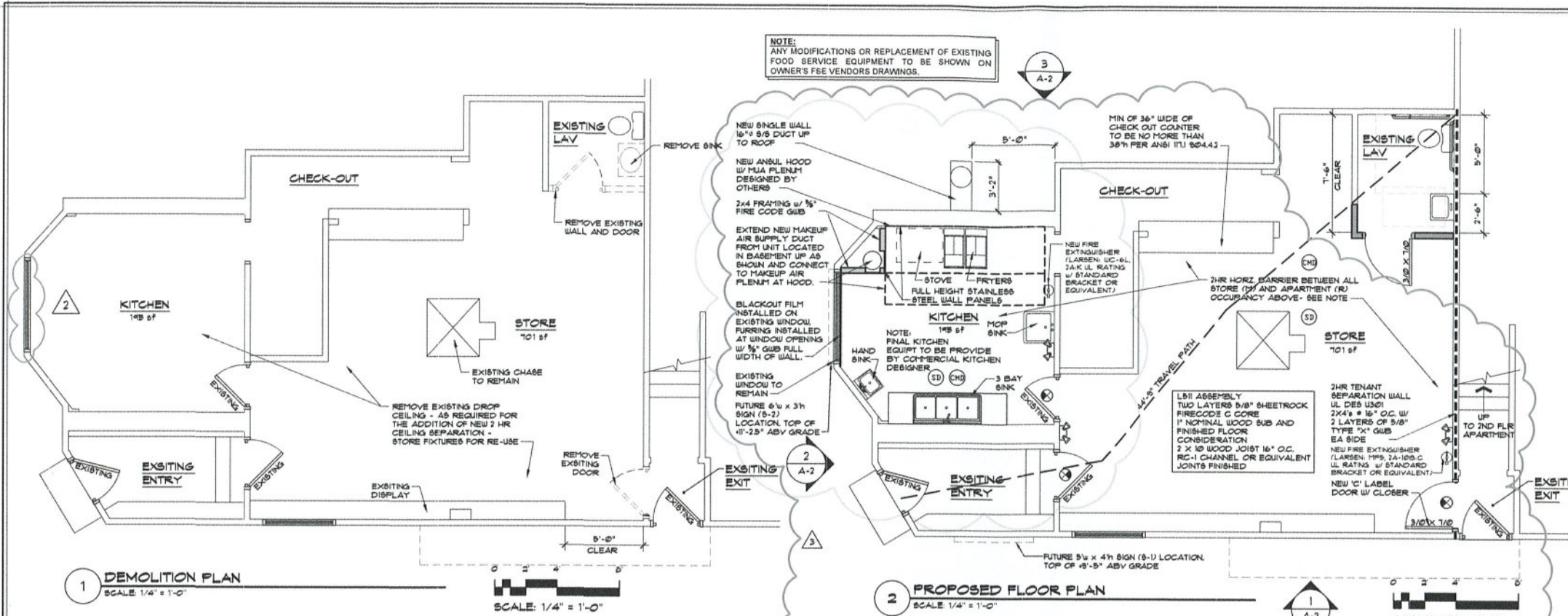
DRAWING TITLE	Existing Survey and Site Plan
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DRAWING INFORMATION	
Scale	AS NOTED
Drawn	RAV
Checked	RAV
Date	05-26-20
Job No.	20-088

DRAWING NUMBER	A-0
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NORTH ARROW

REVISION ISSUED FOR PRICING/PERMIT - 02-15-2021

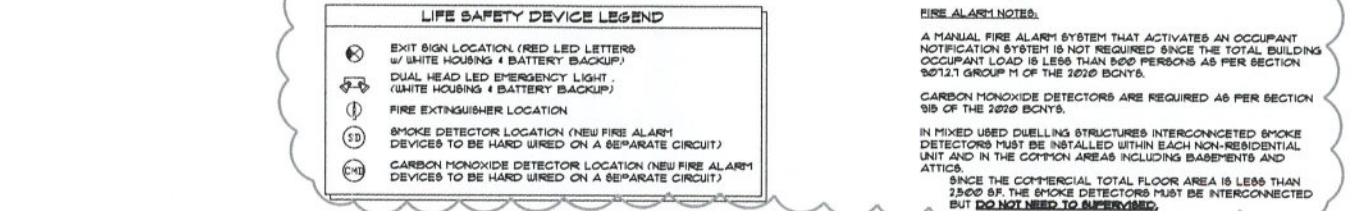


1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

2 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

DEMO NOTES:

- CONTRACTOR IS TO COORDINATE ALL REMOVALS WITH THE NEW SCOPE OF WORK. REFER TO THE NEW FLOOR PLAN ON DRAWING A-2 FOR THE COMPLETE SCOPE OF WORK.
- REMOVE AND DISPOSE OF ALL ITEMS INDICATED TO BE REMOVED, EXCEPT AS NOTED.
- REMOVE EXISTING PARTITIONS COMPLETELY INCLUDING ALL ELECTRICAL DEVICES, CONDUITS AND WIRING AS INDICATED ON THE REMOVALS FLOOR PLAN. ELECTRICAL CONTRACTOR TO REMOVE ALL ABANDONED WIRING AND CONDUITS, E.C. TO COORDINATE WITH NEW WORK.
- REMOVE EXISTING DOORS, DOOR FRAMES AND HARDWARE COMPLETELY AS INDICATED. CONTRACTOR IS TO FIELD VERIFY IF ANY OF THE REMOVED W/ METAL DOORS, DOOR HARDWARE AND / OR HOLLOW METAL DOOR FRAMES CAN BE SAVED AND REUSED, WITH APPROVAL FROM THE BUILDING OWNER.
- REMOVE EXISTING FLOOR FINISHES, WHERE INDICATED, COMPLETELY AND PREP REMAINING SUB-FLOOR TO RECEIVE NEW FLOOR FINISHES.
- REMOVE AND DISPOSE OF EXISTING CABINETS AS INDICATED OR REQUESTED BY OWNER TO INCORPORATE. (WHERE APPLICABLE.)
- ELECTRICAL CONTRACTOR TO COORDINATE REMOVALS WHERE INDICATED WITH NEW WORK. REMOVE PIPING NOT USED.
- PLUMBING CONTRACTOR TO COORDINATE REMOVALS WHERE INDICATED WITH NEW WORK. REMOVE PIPING NOT USED.
- HVAC CONTRACTOR TO COORDINATE REMOVALS WHERE INDICATED WITH NEW WORK. REMOVE DUCTWORK NOT USED.
- THE CONTRACTOR IS TO PROTECT ALL EXISTING WALLS, DOORS, FLOOR FINISHES, CEILING, ETC., THAT ARE TO REMAIN AND/OR NOT IN THE SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO ITEMS NOT IN THE SCOPE OF WORK AND WILL BEAR ALL COSTS FOR THE REPAIR OF DAMAGED AREAS TO LIKE NEW CONDITION.
- ALL WORK IS TO BE DONE IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH ALL GOVERNING LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- GENERAL CONTRACTOR IS TO PROPERLY DISPOSE OF AND / OR RECYCLE ALL REMOVED BUILDING MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



CONSTRUCTION PLAN LEGEND

Type	Description
[Symbol]	NEW INTERIOR PARTITIONS
[Symbol]	FULL HT. PARTITION 3-1/2" MOOD STUD FRAMING @ 16" O.C., 5/8" TYPE 'X' GNB EA. SIDE
[Symbol]	EXISTING HALLS AND PARTITIONS PATCH & REPAIR AS NEEDED TO MAINTAIN FIRE SEPARATION
[Symbol]	EXISTING HALLS AND PARTITIONS TO BE DEMOLISHED
[Symbol]	ABOVE, BELOW OR BEYOND
[Symbol]	EXISTING DOOR
[Symbol]	NEW DOOR

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FINISH FACE OF PARTITIONS, UNLESS OTHERWISE NOTED.
- MODIFICATIONS TO HVAC, PLUMBING & ELECTRICAL SYSTEMS TO BE DESIGN/BUILD BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS, PERMITS, & INSPECTIONS REQUIRED BY LOCAL & STATE CODES.
- MODIFICATIONS TO LIFE SAFETY MARKING & DETECTION DEVICE LAYOUT TO BE DESIGN/BUILD BY THE ELECTRICAL CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS, PERMITS & INSPECTIONS REQUIRED BY LOCAL & STATE CODES. COORDINATE WITH BUILDING OWNER ALL MODIFICATIONS TO EXISTING SYSTEM.
- INTERIOR FINISHES TO COMPLY WITH NYS BUILDING CODE, CHAPTER B
- PROVIDE FIRE EXTINGUISHERS AND LOCATE PER CODES OFFICER
- EQUIPMENT & FIXTURE INFORMATION PROVIDED BY OWNER

CODE REVIEW SUMMARY

APPLICABLE CODES:

- 2020 Building Code of New York State (First Printing: Nov 2019)
- 2020 Energy Conservation Construction Code of New York State (First Printing: Nov 2019)
- 2020 Existing Building Code of New York State (First Printing: Nov 2019)
- 2020 Fire Code of New York State (First Printing: Nov 2019)
- 2020 Plumbing Code of New York State (First Printing: Nov 2019)
- 2020 Mechanical Code of New York State (First Printing: Nov 2019)
- 2020 Fuel Gas Code of New York State (First Printing: Nov 2019)
- 2020 Property Maintenance Code of New York State (First Printing: Nov 2019)
- NFPA 10 - PORTABLE FIRE EXTINGUISHERS - 2018 EDITION
- NFPA 13 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS - 2016 EDITION
- NFPA 70 - NATIONAL ELECTRICAL CODE - 2017 EDITION (NEC)
- NFPA 72 - NATIONAL FIRE ALARM AND SIGNALING CODE - 2016 EDITION
- NFPA 101 - LIFE SAFETY CODE - 2018 EDITION (LSC)
- ICC / A117.1-09 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ANSI)

EXISTING BUILDING CONSTRUCTION TYPE AND OCCUPANCY:

CONSTRUCTION TYPE: EXISTING TYPE V-B, UN-SPRINKLERED
 USE GROUP: MIXED USE BUILDING (B) - MERCHANDISE (M) - RESIDENTIAL (R2)

Existing space was used as a barber shop (B) will now be used as Mercantile (M)

EXISTING TENANT AREA:

EXISTING PROPOSED TENANT SPACE FLOOR AREA: 486.8 S.F.
 EXISTING LOWER LEVEL TOTAL GROSS FLOOR AREA: 12,454.3 S.F.

CALCULATED OCCUPANCY BY USE (SECTION 1004 OCCUPANT LOAD):

KITCHEN AREA: 184 x 205 S.F. PER = 11 EMPLOYEES
 RETAIL AREA: 701.47 / 80 SF PER = 11 PEOPLE

TOTAL OCCUPANT LOAD: 12 PEOPLE

EGRESS:

SECTION 1006 NUMBER OF EXITS AND EXIT ACCESS DOORWAYS
 TABLE 1006.3.1 MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS PER STORY
 OCCUPANT LOAD: NUMBER OF EXITS REQUIRED: NUMBER OF EXITS PROVIDED: 1-000 2 2

SECTION 1017 EXIT ACCESS TRAVEL DISTANCE
 TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE
 OCCUPANCY - M (W/O SPRINKLER SYSTEM) 75 FEET = ACTUAL DISTANCE 44'-0"

1020.4 DEAD ENDS, WHERE MORE THAN ONE EXIT OR EXIT ACCESS DOORWAY IS REQUIRED, THE EXIT ACCESS SHALL BE ARRANGED SUCH THAT THERE ARE NO DEAD ENDS IN CORRIDORS MORE THAN 20 FEET IN LENGTH.

PLUMBING FIXTURE REQUIREMENTS:

SECTION PC403 MINIMUM PLUMBING FACILITIES
 TABLE PC403.1 MINIMUM NUMBER OF FIXTURES REQUIRED:
 OCCUPANCY WATER CLOSETS LAVATORIES DRINKING FOUNTAIN OTHER
 M 1 1 1 0 0

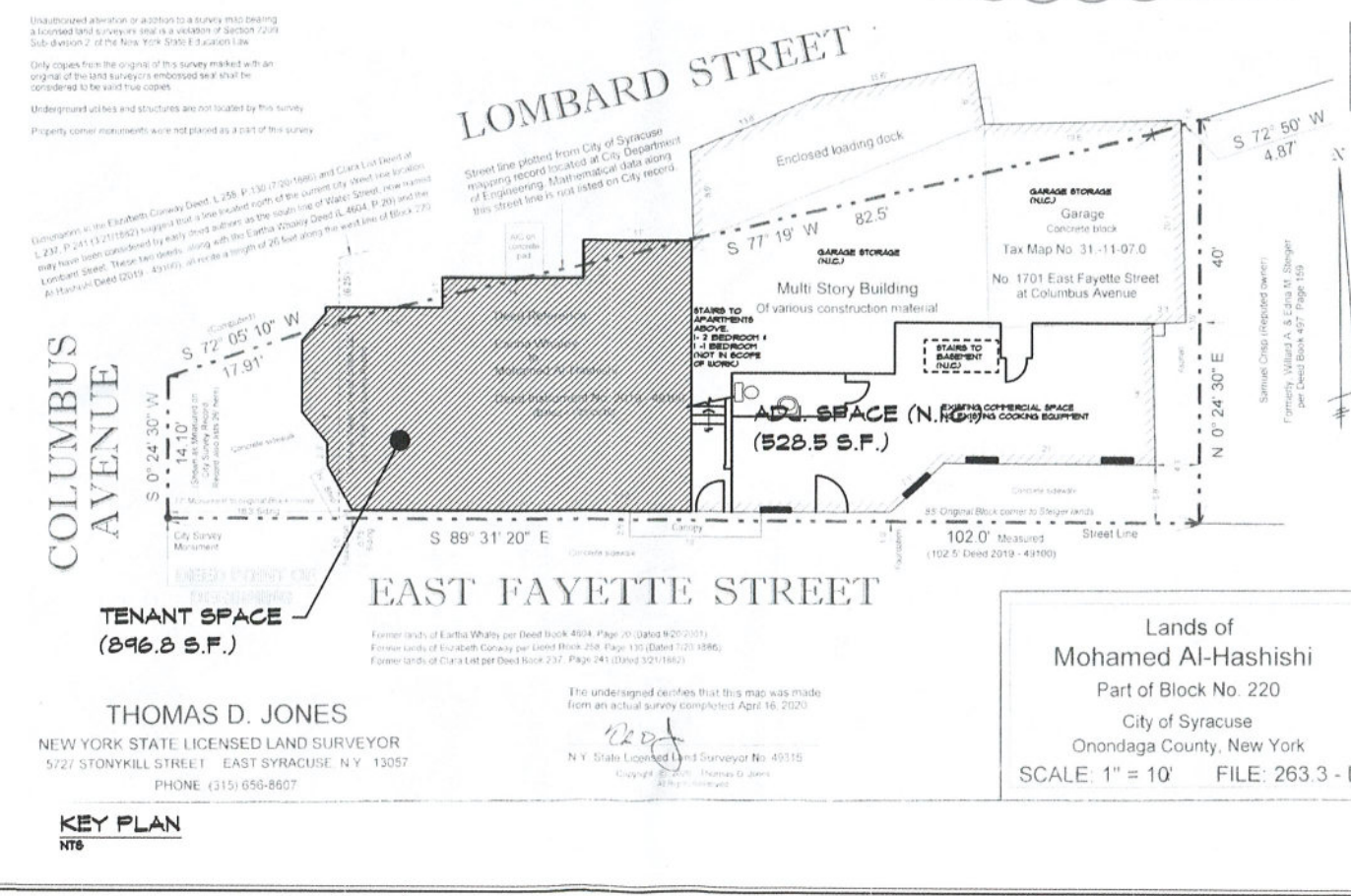
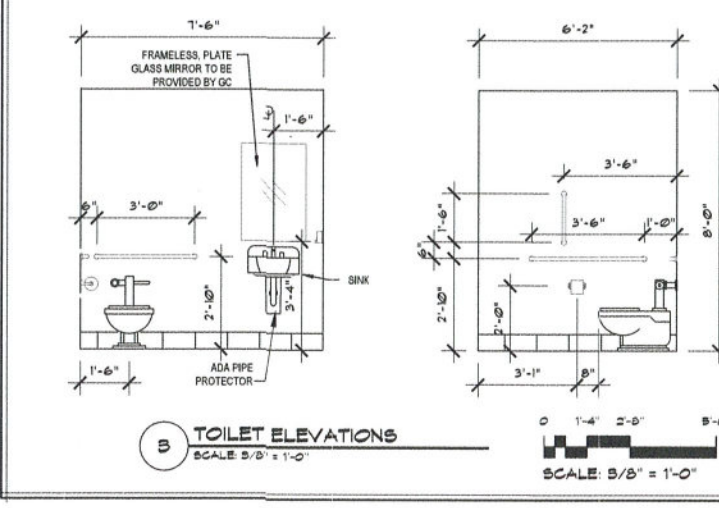
(REQUIRED DRINKING FOUNTAIN: 1 PER 500 (SEE NOTE BELOW))
 (PC410.4 Substitution. Where restaurants provide drinking water in a container free of charge, drinking fountains shall not be required in those restaurants. In other occupancies where drinking fountains are required, water dispensers shall be permitted to be substituted for not more than 50 percent of the required number of drinking fountains.)
 Exception e: (P) Table 2902.1: Occupancies in groups M & B with fewer than 15 occupants do not require a service sink

2002.2 Separate facilities
 Exception 3, separate facilities shall not be required in mercantile occupancies where the maximum occupant load is less than 100 people.

Grease trap
 1010.1 Increased demand. Where the occupancy of an existing building or part of an existing building is changed such that the new occupancy is subject to increased or different plumbing fixture requirements or to increased water supply requirements in accordance with the International Plumbing Code, the new occupancy shall comply with the intent of the respective International Plumbing Code provisions.

1010.2 Food-handling occupancies. If the new occupancy is a food-handling establishment, all existing sanitary waste lines above the food or drink preparation or storage areas shall be gasketed or otherwise protected to prevent leaking pipes or condensation on pipes from contaminating food or drink. New drainage lines shall not be installed above such areas and shall be protected in accordance with the International Plumbing Code.

1010.3 Interceptor required. If the new occupancy will produce grease or oil-laden wastes, interceptors shall be provided as required in the International Plumbing Code.



RAV ARCHITECT P.C.

ROD A. VANDERWATER ARCHITECT, P.C.

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The Architect, Specification and other documents prepared by the Architect for the Project are a contract of the Architect with the owner and shall not be construed as a contract of the Architect with the contractor. The contractor shall be responsible for obtaining all necessary approvals, permits, and inspections required by local and state codes. The Architect shall not be responsible for the contractor's compliance with local and state codes. The Architect shall not be responsible for the contractor's compliance with local and state codes.

Take-out food store
 1701 East Fayette Street,
 Syracuse, New York 13210

Proposed Store For:

PROJECT TITLE & LOCATION

REVISIONS	DATE	DESCRIPTION
1	08-30-2020	ADDED HAND SINK
2	02-01-2021	KITCHEN LAYOUT
3	02-15-2021	CITY COMMENTS

DRAWING TITLE
 Demolition Plan, Proposed Floor Plan, Toilet Elevations, Code Review Summary, Key Plan

DRAWING INFORMATION

Scale	AS NOTED
Drawn	RAV
Checked	RAV
Date	05-26-20
Job No.	20-089

DRAWING NUMBER
A-1

REVISION ISSUED FOR PRICING/PERMIT - 02-15-2021



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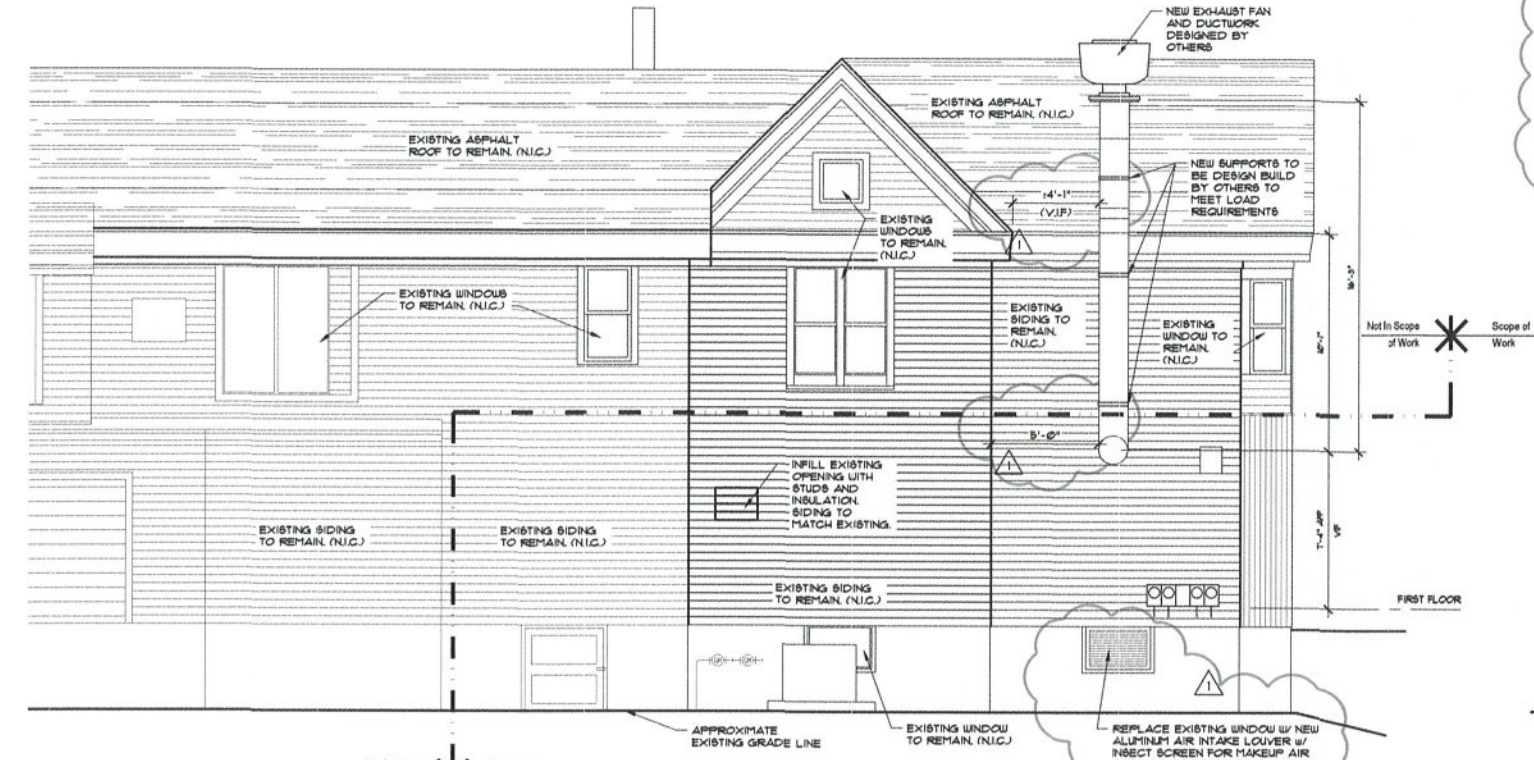
EXHAUST DUCTWORK NOTES:

A. NEW EXHAUST OUTLET TERMINATION ABOVE THE EXISTING ROOF SHALL NOT BE LOCATED LESS THAN 3'-4" (A.P.) ABOVE THE ROOF SURFACE AS PER 506.3.1 OF THE 2020 MNCYB.

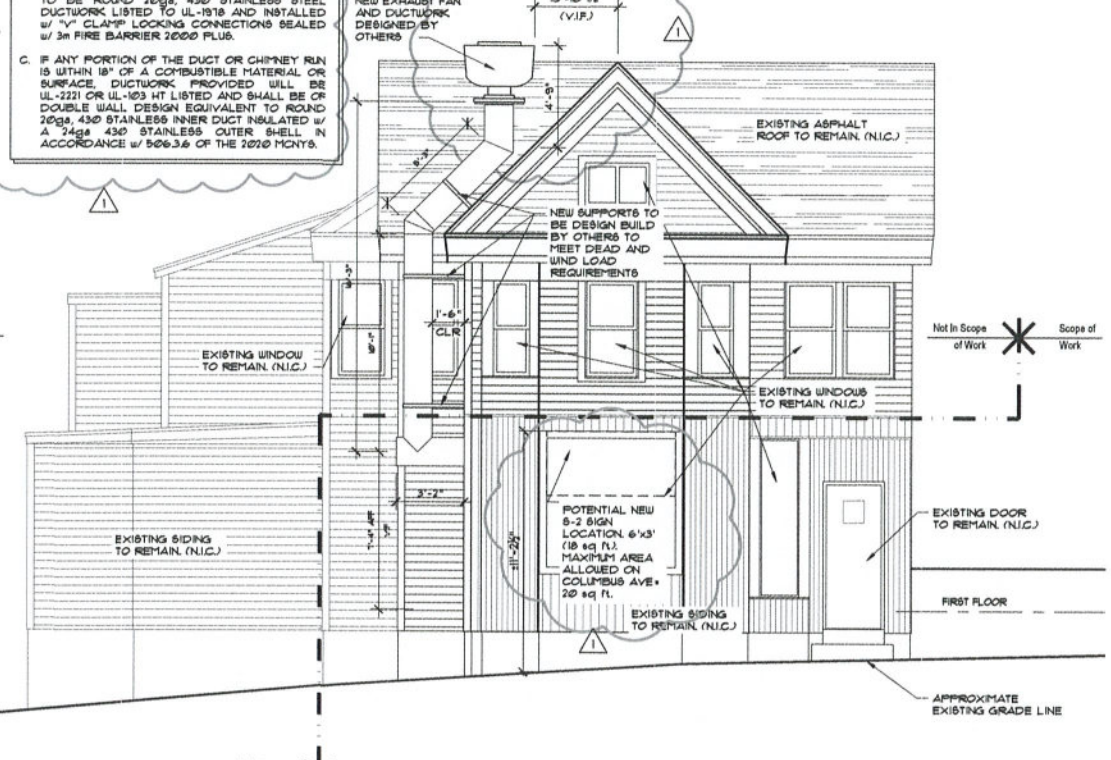
B. THE NEW GREASE DUCTS DEPICTED SPECIFIED TO BE ROUND 20ga. 430 STAINLESS STEEL DUCTWORK LISTED TO UL-1818 AND INSTALLED w/ "Y" CLAMP LOCKING CONNECTIONS SEALED w/ 3/8" FIRE BARRIER 2000 PLUS.

C. IF ANY PORTION OF THE DUCT OR CHIMNEY RUN IS WITHIN 18" OF A COMBUSTIBLE MATERIAL OR SURFACE, DUCTWORK PROVIDED SHALL BE UL-2221 OR UL-103 HT LISTED AND SHALL BE OF DOUBLE WALL DESIGN EQUIVALENT TO ROUND 20ga. 430 STAINLESS INNER DUCT INSULATED w/ A 24ga 430 STAINLESS OUTER SHELL IN ACCORDANCE w/ 506.3.6 OF THE 2020 MNCYB.

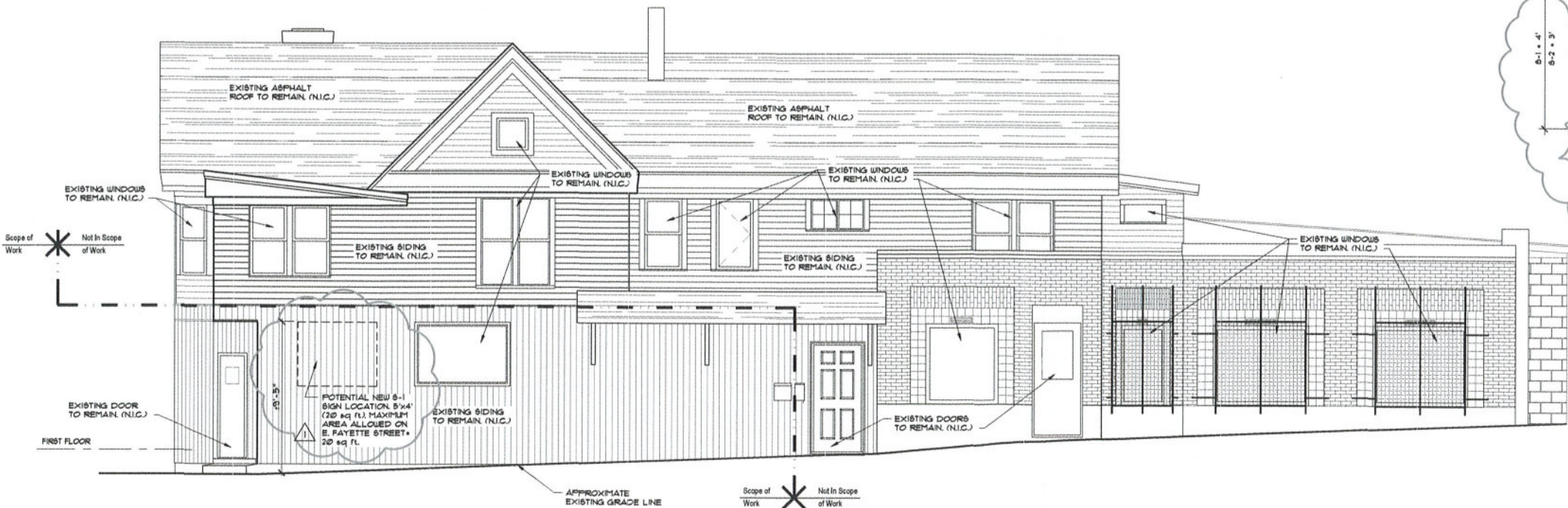
FINAL DUCTWORK DIMENSIONS TO BE VERIFIED WITH HOOD/DUCTWORK SHOP DRAWINGS BY VENDOR.



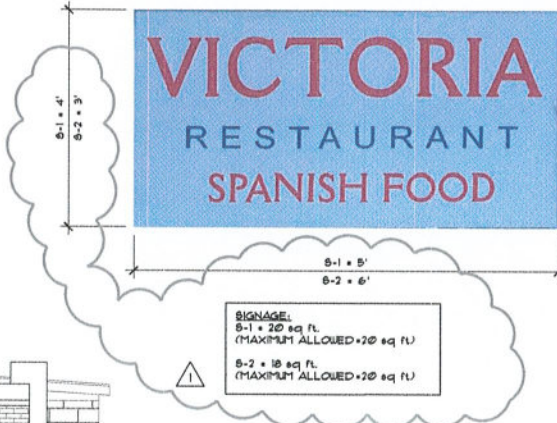
5 ELEVATION - LOMBARD AVE.
SCALE: 1/4" = 1'-0"



6 ELEVATION - COLUMBUS AVE.
SCALE: 1/4" = 1'-0"



1 ELEVATION - E. FAYETTE STREET
SCALE: 1/4" = 1'-0"



Proposed Store For:
Take-out food store
1701 East Fayette Street,
Syracuse, New York 13210

PROJECT TITLE & LOCATION:

REVISIONS	
1	02-15-2021 CITY COMMENTS

DRAWING TITLE	Proposed Elevations
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DRAWING INFORMATION	
Scale	AS NOTED
Drawn	RAV
Checked	RAV
Date	05-26-20
Job No.	20-089

DRAWING NUMBER	A-2
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