

City of Syracuse Zoning Administration

Application for SPECIAL PERMIT Review by the Planning Commission

City Hall Commons * Room 101 * 201 E. Washington Street * Syracuse, NY 13202-1426 * 315-448-8640

For Office Use: Filing Date: Case Number: SP- Zoning District:

NEW SPECIAL PERMIT MODIFICATION OF EXISTING SPECIAL PERMIT

LIST ALL ADDRESSES INVOLVED IN YOUR PROJECT:

2921 JAMES STREET, SYRACUSE, N.Y. 13206

TAX MAP SECTION, BLOCK, and LOT information from Assessment Department (call 448-8280)

Section: Block: Lot:
Section: Block: Lot:
Section: Block: Lot:

This APPLICATION is for a:

- Restaurant (this also includes uses such as Bars, Taverns, Coffee Shops, Night Clubs)
- Gasoline Service Station
- Car Wash Facility
- Care Home
- Parking Lot or Parking Garage
- Transitional Parking Area
- Offices of Religious and Educational Institutions
- Bed and Breakfast
- Other Special Permit Uses (describe)

PLEASE DESCRIBE ALL ASPECTS OF YOUR PROJECT IN DETAIL:

- EXISTING DUNKIN' RESTAURANT STORE REMODEL TO INCLUDE:
1) NEW EXTERIOR ENTRANCE & DRIVE-THRU CANOPIES.
2) NEW EXTERIOR SIGNS TO INCLUDE WALL SIGNS & NEW FREESTANDING SIGN.
3) NEW EXTERIOR PAINT COLORS.
4) NEW INTERIOR EQUIPMENT.
5) NEW INTERIOR FINISHES, IE; FLOORING/SEATING/CEILING.
6) NEW INTERIOR TECHNOLOGY DETAILS.

PROPERTY OWNER INFORMATION:

Name(s): SYRACUSE FOODSERVICE GROUP
Mailing Address: 107 CITY CROSSROADS DRIVE, SYRACUSE, N.Y.
Zip: 13210 Daytime phone: (315) 546-5208 Home phone: N/A
E-mail: TOM.SANTURRI@WOLAKGROUP.NET

APPLICANT INFORMATION:

(Copy of contract to purchase must be included with application)

Contract Purchaser(s) Tenant Co-Applicant Other (please state): OWNER

Name(s): SYRACUSE FOODSERVICE GROUP

Mailing Address: 107 CITY CROSSROADS DRIVE, SYRACUSE, N.Y.

Zip: 13210 Home phone: N/A Day Phone: (315) 546-5208

E-mail: TOM.SANTURRI@WOLAKGROUP.NET

REPRESENTATIVE INFORMATION:

(Only if involved in this application)

Attorney Architect Contractor Other

Name(s): ROBERT C. ABBOTT JR.

Mailing Address: 2501 JAMES STREET, STE #110, SYRACUSE, N.Y.

Zip: 13206 Telephone: (315) 437-1037 E-mail: RCABR.ARCHTEC@YAHOO.COM

DESCRIPTION OF OPERATION:

Days of week open: SEVEN (7)

Hours of operation: 5:00 A.M. TO MIDNIGHT

Maximum number of employees on premises at one time: TEN (10)

Number of off-street parking available (site plan required to indicate location): THIRTY (30)

Other uses currently on the property: FIRST FLOOR: PAPA JOHNS PIZZA

SECOND FLOOR: N/A OTHER FLOORS: N/A

Indicate types and uses of other structures on the property if any (i.e. garage, storage building, etc.):

N/A

SIGNAGE INFORMATION:

Size and location of all existing AND proposed signage (use additional sheet if necessary)

A sign plan is required, see attachment

Size	Location	Type	(Wall, Ground, Projecting, Window)
<u>2' H. x 11' LONG</u>	<u>FRONT ENTRANCE</u>	<u>WALL</u>	
<u>2'6" H. x 5' LONG</u>	<u>SIDE (MIDLER AVE. FACING)</u>	<u>WALL</u>	
<u>2' H. x 5' LONG</u>	<u>CORNER</u>	<u>PYLON</u>	

SPECIAL PERMIT FUNCTIONS: (Check all that apply)

Dining room Bar Service Drive-thru

Entertainment Stage DJ Booth

Light Duty auto repair Heavy Duty auto repair

Car Wash Facility New Auto Sales Used Auto Sales

Has owner obtained or applied for a Certificate of Use: Yes No

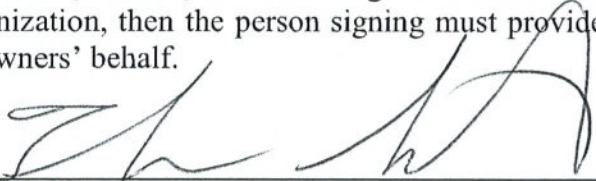
DECLARATION:

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

CURRENT PROPERTY OWNER SIGNATURE

As listed on the City of Syracuse Tax Assessment Roll. If not listed as the owner on the current rolls, please include a proof of ownership, for example, a copy of the deed. Attorney's signing on behalf of the owner must include a one page letter describing the legal representative arrangement. Architects, engineers, contractors, tenants, etc. cannot sign on behalf of the property owner. If property owner is a Corporation or an Organization, then the person signing must provide verification they are a member of such, and can sign on the owners' behalf.



12/22/20

CURRENT PROPERTY OWNER SIGNATURE

DATE

Thomas Santurri Franchisee

Please legibly PRINT SIGNATURE NAME and TITLE

***Please note that if referrals are necessary for this application, additional copies of all required materials will be requested.**

FOR STAFF USE ONLY

REFERRAL NEEDED

- ONONDAGA COUNTY PLANNING BOARD
- SYRACUSE LANDMARK PRESERVATION BOARD (This project is located within _____ Historic District; is listed individually in the National Register of Historic Places; is Eligible for inclusion in the National Register of Historic Places; or is architecturally significant).
- OTHER CITY/COUNTY/STATE AGENCY OR DEPARTMENT(S) _____

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PLANS REVIEW FORM

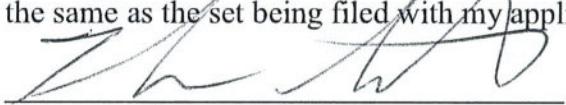
This form is to be signed by the person who reviews the submitted plans at the Division of Code Enforcement, 201 E. Washington Street. Room 101. This signed form must accompany any applications for variances, special permits, site plan reviews, or other similar zoning reviews that are to be filed by the applicant with the Syracuse Zoning Office, City Hall Commons, Room 211, 201 East Washington Street., Syracuse, NY 13202.

We, the Division of Code Enforcement, have received two sets of plans from _____ on _____:
(applicant) (date)

one set which we have reviewed, and one set for transmittal to the Fire Prevention Bureau for its review.

(Division of Code Enforcement Signature)

I, the applicant, certify that the plans submitted to the Division of Code Enforcement are the same as the set being filed with my application.



(applicant's signature)

APPLICANT PLEASE NOTE: Approval of your application by the Board of Zoning Appeals, the City Planning Commission, or the Common Council does not relieve you or your agents from compliance with any other regulatory or licensing provisions applicable thereto by the properly constituted federal, state, county, or city authorities, including the issuance of permits by the Division of Code Enforcement.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

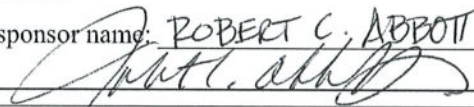
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

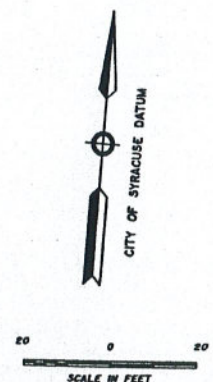
Part 1 - Project and Sponsor Information							
Name of Action or Project: DUNKIN' RESTAURANT w/DRIVE-THRU.							
Project Location (describe, and attach a location map): 2921 JAMES STREET, SYRACUSE, N.Y. 13206							
Brief Description of Proposed Action: - REMODEL OF EXISTING RESTAURANT TO INCLUDE NEW EXTERIOR SIGNS, ENTRANCE CANOPIES AND PAINT COLORS. - NEW INTERIOR EQUIPMENT AND FINISHES TO 'NEXT GEN' IMAGES.							
Name of Applicant or Sponsor: ROBERT C. ABBOTT JR.		Telephone: (315) 437-1037 E-Mail: RCAJR.ARCHTEC@YAHOO.COM					
Address: 2501 JAMES ST. - STE. #110							
City/PO: SYRACUSE		State: N.Y.	Zip Code: 13206				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%; text-align: center;">NO</th> <th style="width: 50%; text-align: center;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: SPECIAL PERMIT FROM CITY OF SYRACUSE, N.Y.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%; text-align: center;">NO</th> <th style="width: 50%; text-align: center;">YES</th> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		.54 acres					
b. Total acreage to be physically disturbed?		0 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.65 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: ROBERT C. ABBOTT JR. - ARCHITECT Date: 12/21/20

Signature: 



LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Syracuse, County of Onondaga and State of New York, being all of Lot 15, Lot 16 and Lot 17 and part of Lot 18 of Lavonia Tract and being more particularly described as follows:

BEGINNING at a point in the westerly street line of North Midler Ave., at the northeast corner of lands shown on New York State Highway Appropriation Map No. 1, Parcel 2 recorded in Onondaga County Clerk's Office in Deed Book 3591 at Page 25, said point of beginning also being 9.74 feet distant northerly, as measured along the westerly street line of North Midler Ave., from the former northerly street line of James Street; thence N 2-55'-10" W, along the westerly street line of North Midler Ave., a distance of 159.67 feet to the northeast corner of Lot 18, Lavonia Tract; thence S 85-49'-50" W, along the northerly lines of said Lots 18, 17, 16 and 15 a distance of 160.0 feet to the northwest corner of said Lot 15; thence S 2-55'-10" E, along the westerly line of line of James Street; thence S 85-49'-50" E, along the northerly street line of James Street a distance of 146.76 feet to the southwest corner of lands shown on New York State Highway Appropriation Map No. 1, Parcel No. 2 recorded in Onondaga County Clerk's Office in Deed Book 3591 at Page 25; thence N 54-01'-09" E, along the northeasterly boundary of said Appropriation a distance of 15.79 feet to the point of beginning.

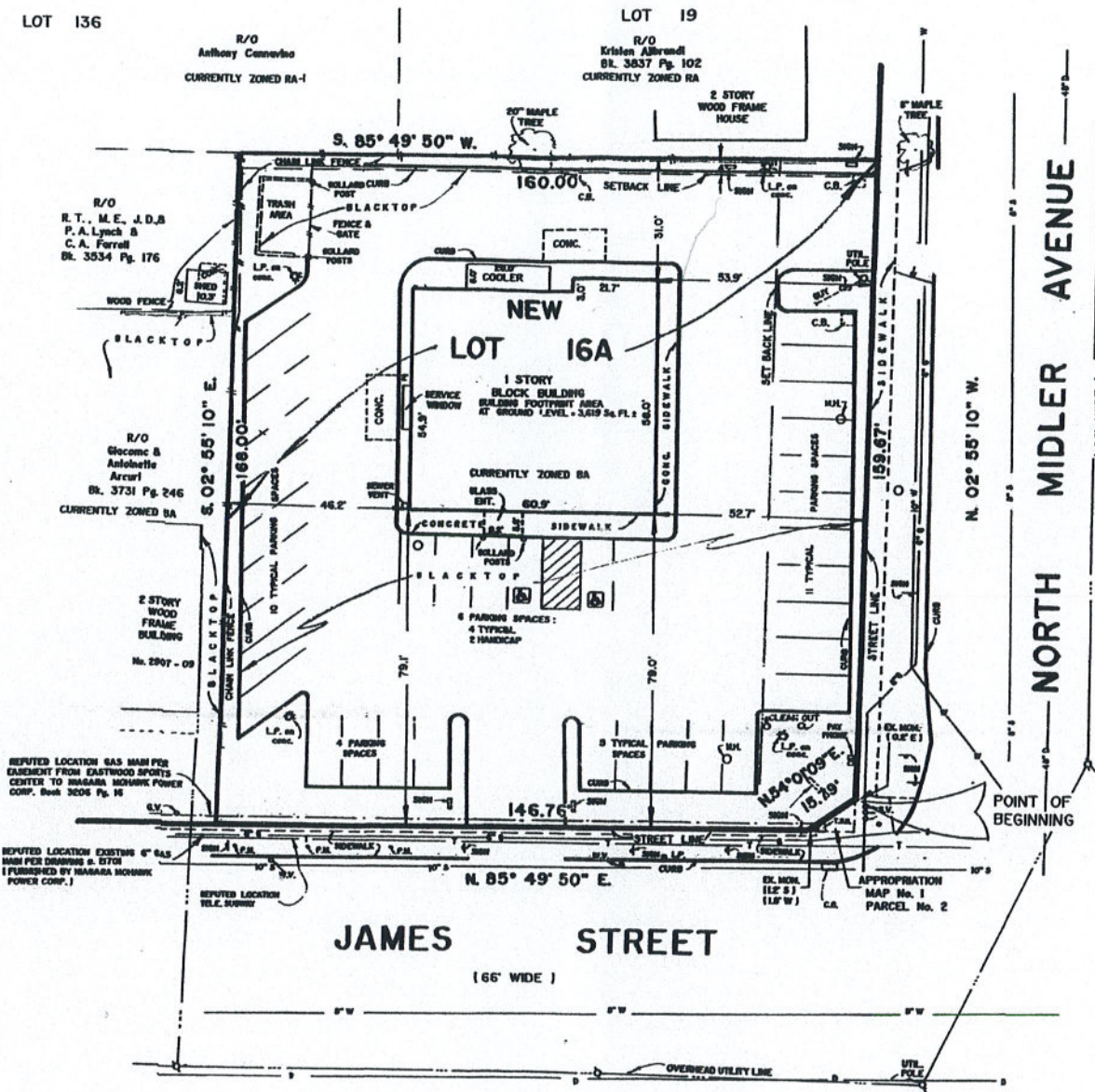
Now known as:
New Lot 16A of the "Resubdivision of Lots 15, 16, 17 & 18 of the Lavonia Tract, Filed April 26, 1995, Map 8855 into New Lot 16A, City of Syracuse" and filed February 25, 1998 filed map #8762.

KINCO REALTY, LLC
FINOVA CAPITAL CORPORATION, A DELAWARE CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS
FIRST AMERICAN TITLE INSURANCE COMPANY OF NEW YORK

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE (I) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1997, AND INCLUDES ITEMS 2-7A-4 of TABLE A THEREOF, AND (II) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN URBAN SURVEY.

DATE: _____

N.Y.S.L.S. #49223
ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ON SEPTEMBER 27, 1997.
ADOPTED BY THE BOARD OF DIRECTION, AMERICAN CONGRESS ON SURVEYING AND MAPPING ON APRIL 10, 1997.
ADOPTED BY THE BOARD OF DIRECTORS, NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS, ON APRIL 8, 1997.



LEGEND

- G.V. - GAS VALVE
- W.V. - WATER VALVE
- L.P. - LIGHT POLE
- P.M. - PARKING METER
- C.B. - CATCH BASIN
- GAS LINE (BURIED)
- R/O - REPUTED OWNER
- BL - BOOK
- Pg. - PAGE
- T.S.B. - TRAFFIC SIGNAL BOX
- STORM DRAIN (BURIED)

NOTES

- TOTAL AREA = 26,843 Sq. Ft. = 0.616 Acres ±
- SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE C (AREA OF MINIMAL FLOODING PER NATIONAL FLOOD INSURANCE RATE MAP #1984 CITY OF SYRACUSE, COUNTY OF ONONDAGA, COMMUNITY PANEL # 30053 006 D MAP REVISED MAY 15, 1984.
- SUBJECT PROPERTY DOES NOT FALL WITHIN DESIGNATED FRESHWATER WETLAND BOUNDARIES, PER NEW YORK STATE FEDERAL FRESHWATER WETLAND MAPS, SYRACUSE EAST QUADRANGLE, ONONDAGA COUNTY, FEDERAL MAP # 847 NEW YORK STATE MAP # 10 OF 21.
- NO EVIDENCE OF CEMETERIES OBSERVED ON SUBJECT PROPERTY.
- SUBJECT PROPERTY CURRENTLY ZONED BA - (LOCAL BUSINESS DISTRICT A-1 MINIMUM YARD REQUIREMENTS NO YARD REQUIREMENTS EXCEPT: ADJOINING BUSINESS, RESIDENTIAL DISTRICT FRONT YARD - CORNER LOT - SIDE YARD OR SETBACK LINES SHALL NOT BE REQUIRED TO EXCEED 15% OF TOTAL FRONT WIDTH SIDE REAR YARDS - MINIMUM WIDTH REQUIRED FOR RESIDENTIAL STRUCTURES OF EQUAL HEIGHT IN RESIDENTIAL DISTRICTS. - 4'
- BASIS OF BEARINGS PER CITY OF SYRACUSE DATUM.
- SURVEY BASED ON TITLE POLICY BY FIRST AMERICAN TITLE INSURANCE COMPANY OF NEW YORK TITLE REPORT DATED 12 AUG. 1999 TITLE No. 0026 - 007 (REV. 1)
- UTILITIES PLOTTED FROM LOCATION OF ABOVE GROUND STRUCTURES & AVAILABLE UTILITY MAPPING. EXACT LOCATION & EXISTENCE OF ADDITIONAL UTILITIES IS SUBJECT TO VERIFICATION BY INDIVIDUAL UTILITY ENTITIES.
- SUBJECT TO EASEMENT GRANTED TO MASARA MOHAWK POWER CORP. IN Book 3206 Pg. 16 FOR GAS MAIN.

ONLY COPIES OF THIS SURVEY MADE FROM THE ORIGINAL SURVEY, WITH THE EMBOSSED SEAL, AND SIGNED BY RED INK ARE TRUE AND VALID COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7202, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

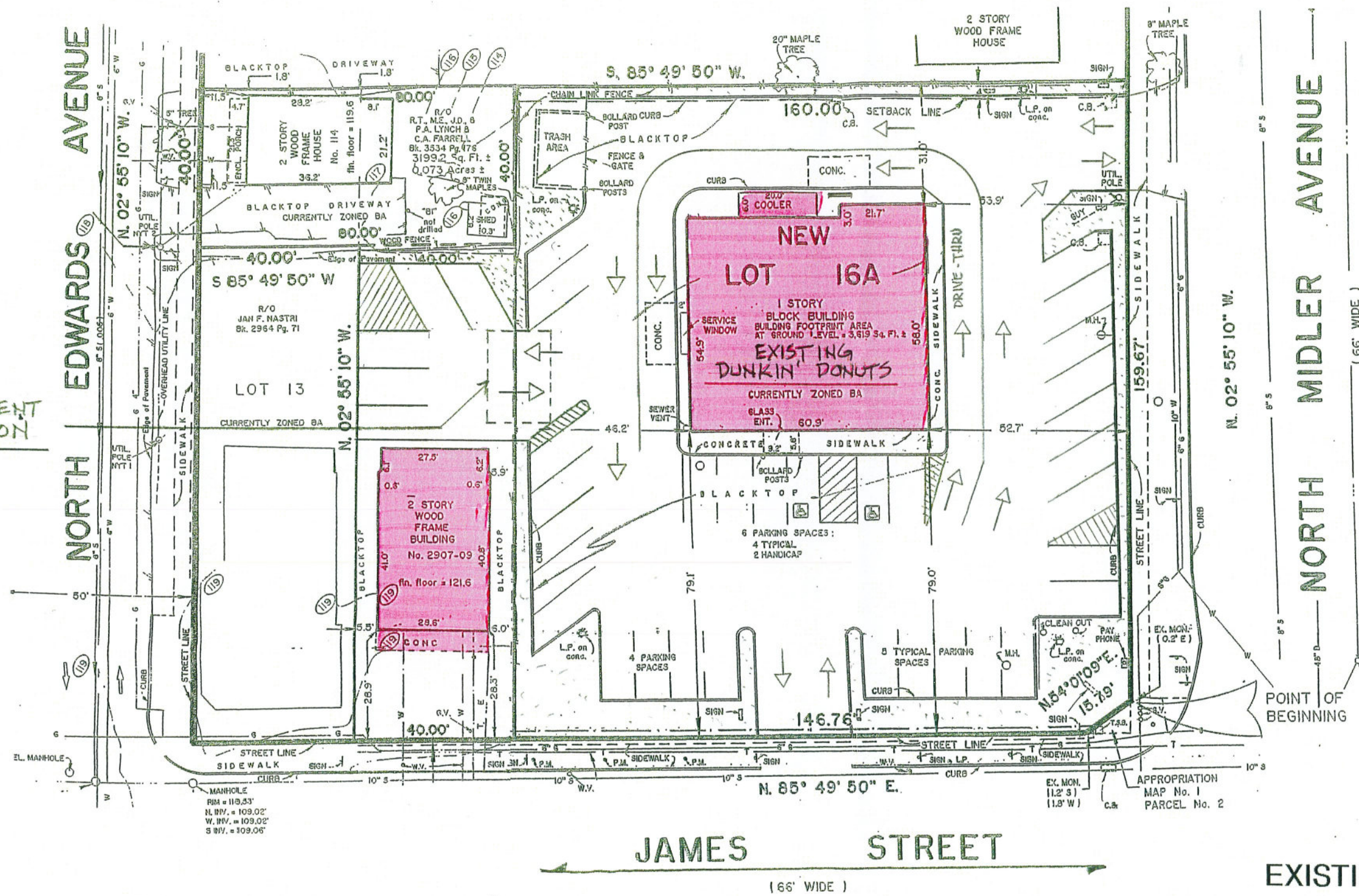
THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS AND ANY CERTIFICATIONS SHALL ONLY GO TO THE PERSON TO WHOM THE SURVEY WAS PREPARED FOR, AND ON THEIR BEHALF TO THE TITLE COMPANY, AND THE LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNS OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO SUBSEQUENT OWNERS OR ADDITIONAL LENDING INSTITUTIONS.

LOCATION SURVEYS DO NOT INCLUDE THE STAKING OF PROPERTY CORNERS EXCEPT AS SHOWN.

ALTA / ACSM LAND TITLE SURVEY

<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td>2 JULY 1999</td> <td>REVERSED BEARINGS TO MATCH LEGAL DESCRIPTION</td> </tr> <tr> <td>7 DEC. 1999</td> <td>AS - BUILT ALTA / ACSM SURVEY</td> </tr> </tbody> </table>	DATE	REVISIONS	2 JULY 1999	REVERSED BEARINGS TO MATCH LEGAL DESCRIPTION	7 DEC. 1999	AS - BUILT ALTA / ACSM SURVEY	<p>LEHR LAND SURVEYORS</p> <p>18 SALINA STREET LIVERPOOL, NEW YORK 639-3353</p>	<p>I HEREBY CERTIFY THAT THIS IS AN ACCURATE AND TRUE COPY OF THE ORIGINAL SURVEY.</p> <p>DOUGLAS R. LEHR REGISTERED LAND SURVEYOR NO. 49223</p>	<p>LOCATION SURVEY ON NEW LOT 16A OF THE FILED MAP OF THE RESUBDIVISION OF LOTS 15, 16, 17 & 18 OF THE LAVONIA TRACT, FILED APRIL 26, 1995 MAP 8855 INTO NEW LOT 16A, CITY OF SYRACUSE, FILED FEB. 25, 1998; MAP #8762</p> <p>KNOWN AS NO. 2915 JAMES STREET CITY OF SYRACUSE, COUNTY OF ONONDAGA, N.Y.</p> <p>DATE: APR. 1999 SCALE: 1"=20' REVISIONS: 199-03-76R</p>
DATE	REVISIONS								
2 JULY 1999	REVERSED BEARINGS TO MATCH LEGAL DESCRIPTION								
7 DEC. 1999	AS - BUILT ALTA / ACSM SURVEY								

EASEMENT LOCATION



. 2907 - 09 DUNKIN' DONUTS - 2921
 REQUIRED PARKING = 2 CARS REQUIRED PARKING = 28 CARS
 ADDED PARKING = 5 CARS ACTUAL PARKING = 30 CARS (OK)

EXISTING SITE PLAN

SCALE: 1" = 30'-0"

DUNKIN' DONUTS

JAMES ST. & N. MIDLER AVE.
SYRACUSE, N.Y.

DATE: 6/10/20

DRAWING: EXISTING SITE PLAN

SCALE: 1" = 30'-0"

ROBERT C. ABBOTT JR.
ARCHITECT
2801 JAMES STREET • SUITE 100
SYRACUSE, N.Y. 13206
(315) 437-1037

S2





DUNKIN'

ADDRESS:
2921 JAMES STREET
SYRACUSE, NEW YORK -13206

OWNER:
SYRACUSE FOODSERVICE GROUP
107 CITY CROSSROADS DRIVE
SYRACUSE, NEW YORK -13210

REVIEWED FOR DESIGN CONFORMANCE ONLY

APPROVAL FOR THESE PLANS BY DUNKIN' BRANDS DOES NOT IMPLY THAT DUNKIN' BRANDS HAS REVIEWED THEM FOR CONFORMITY TO APPLICABLE CODES OR REGULATIONS

- APPROVED
- APPROVED AS NOTED: Submit Record Copy for Archives
- DISAPPROVED AS NOTED: Revise and Resubmit
- INCOMPLETE INFORMATION: Add requested information and resubmit

DUNKIN' BRANDS GSR
Construction Manager

Date: _____
Notes: _____

ABBREVIATION INDEX			
&	AND	GA.	GALVE
AT	AIR CONDITIONING	GALV.	GALVANIZED
A/C	AIR DRAIN	GYP. BD.	GYP. BOARD
A.D.	AREA DRAIN	HWD.	HARDWOOD
A.F.F.	ABOVE FINISH FLOOR	HDR.	HEADER
ALUM.	ALUMINUM	H.M.	HOLLOW METAL
ALT.	ALTERNATE	HORIZ.	HORIZONTAL
APPROX.	APPROXIMATE	HGT.	HEIGHT
BD.	BOARD	I.D.	INSIDE DIAMETER
BLDG.	BUILDING	INSUL.	INSULATION
BM.	BEAM	INT.	INTERIOR
BSMT.	BASEMENT	JT.	JOINT
BTWN.	BETWEEN	KIT.	KITCHEN
BOT.	BOTTOM	LAM.	LAMINATE
C.L.	CENTER LINE	LAV.	LAVATORY
C.T.	CERAMIC TILE	LT.	LIGHT
C.G.	CELING	MAS.	MASONRY
CLOS.	CLOSET	MAX.	MAXIMUM
CM	CONSTRUCTION MGR.	MECH.	MECHANICAL
CMU	CONC. MASONRY UNIT	MTL.	METAL
COL.	COLUMN	MFR.	MANUFACTURER
CONC.	CONCRETE	MIN.	MINIMUM
CONT.	CONTINUOUS	MISC.	MISCELLANEOUS
CONST.	CONSTRUCTION	M.O.	MASONRY OPENING
DEPT.	DEPARTMENT	MTD.	MOUNTED
D.T.	DETAIL	N.I.C.	NOT IN CONTRACT
D.F.	DRINKING FOUNTAIN	NO.	NUMBER
DIA.	DIAMETER	NOM.	NOMINAL
DN.	DOWN	N.T.S.	NOT TO SCALE
DISP.	DISPENSER	O.A.	OVERALL
DN	DOWN	O.C.	ON CENTER
DR.	DOOR	O.D.	OUTSIDE DIAMETER
D.S.	DOWN SPOUT	OPNG.	OPENING
DWG.	DRAWING	OPT.	OPTIONAL
EA.	EACH	PL.	PLATE
EL.	ELEVATION	P.LAM.	PLASTIC LAMINATE
ELEC.	ELECTRICAL	PLUMB.	PLUMBING
EQ.	EQUAL	PLYWD.	PLYWOOD
EQUIP.	EQUIPMENT	PR.	PAIR
EXIST.	EXISTING	PROP.	PROPERTY
EXT.	EXTERIOR	P.S.F.	PER SQUARE FOOT
F.D.	FLOOR DRAIN	P.S.I.	PER SQUARE INCH
FIN.	FINISH	P.TD.	PAINTED
FL.	FLOOR	P.V.C.	POLY VINYL CHLORIDE
F.O.	FACE OF		
FT.	FOOT		
FURN.	FURNITURE		
Q.T.	QUARRY TILE	QTY.	QUANTITY
R.A.	ALIBED DOMECC	R.A.	ALIBED DOMECC
RAD.	RADIUS	RAD.	RADIUS
REF.	REFRIGERATOR	REF.	REFRIGERATOR
REIN.	REINFORCING	REIN.	REINFORCING
REV.	REVISION	REV.	REVISION
REQ'D	REQUIRED	REQ'D	REQUIRED
RESIL.	RESILIENT	RESIL.	RESILIENT
RM.	ROOM	RM.	ROOM
R.O.	ROUGH OPENING	R.O.	ROUGH OPENING
SCHED.	SCHEDULE	SCHED.	SCHEDULE
SEC.	SECTION	SEC.	SECTION
S.F.	SQUARE FOOT	S.F.	SQUARE FOOT
SHT.	SHEET	SHT.	SHEET
SM.	SIMILAR	SM.	SIMILAR
SPEC.	SPECIFICATION	SPEC.	SPECIFICATION
SQ.	SQUARE	SQ.	SQUARE
S.S.	STAINLESS STEEL	S.S.	STAINLESS STEEL
STD.	STANDARD	STD.	STANDARD
STL.	STEEL	STL.	STEEL
STRUCT.	STRUCTURAL	STRUCT.	STRUCTURAL
SUSP.	SUSPENDED	SUSP.	SUSPENDED
TEL.	TELEPHONE	TEL.	TELEPHONE
THK.	THICK	THK.	THICK
THRU	THROUGH	THRU	THROUGH
T.O.P.	TOP OF PLATE	T.O.P.	TOP OF PLATE
T.O.S.	TOP OF STEEL	T.O.S.	TOP OF STEEL
T.O.SL.	TOP OF SLAB	T.O.SL.	TOP OF SLAB
TRT.	TREATED	TRT.	TREATED
TYP.	TYPICAL	TYP.	TYPICAL
V.C.B.	VINYL COMPOSITION BASE	V.C.B.	VINYL COMPOSITION BASE
V.C.T.	VINYL COMPOSITION TILE	V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL	VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD	V.I.F.	VERIFY IN FIELD
V.W.C.	VINYL WALL COVERING	V.W.C.	VINYL WALL COVERING
W/	WITH	W/	WITH
W.C.	WATER CLOSET	W.C.	WATER CLOSET
WO.	WOOD	WO.	WOOD
W/O	WITHOUT	W/O	WITHOUT
WP.	WATERPROOFING	WP.	WATERPROOFING
WT.	WEIGHT	WT.	WEIGHT
WWM.	WELDED WIRE MESH	WWM.	WELDED WIRE MESH

INDEX OF DRAWINGS	
T-1.0	TITLE SHEET/ARCHITECTURAL DATA RESPONSIBILITY
GN-2.0	MASTER FINISH SCHEDULE
GN-2.1	MASTER FINISH SCHEDULE (CONT.)
GN-2.2	MASTER FINISH SCHEDULE (CONT.)
GN-2.3	MASTER FINISH SCHEDULE (CONT.)
GN-2.4	MASTER FINISH SCHEDULE (CONT.)
GN-2.5	MASTER FINISH SCHEDULE (CONT.)
GN-3.0	NATIONAL ACCOUNTS
AB-1.0	AS-BUILT FLOOR PLAN
AB-2.0	AS-BUILT EXTERIOR ELEVATIONS
AB-2.1	AS-BUILT EXTERIOR ELEVATIONS
A-1.0	FLOOR PLAN: LEGEND; PARTITION TYPES; NOTES
A-2.0	REFLECTED CEILING PLAN; LIGHTING PLAN
A-3.0	FLOOR TILE PLAN
A-5.0	EXTERIOR ELEVATIONS
A-5.1	EXTERIOR ELEVATIONS
A-5.2	PYLON SIGN ELEVATION; EXTERIOR DETAILS
A-8.0	INTERIOR ELEVATIONS
A-8.1	INTERIOR ELEVATIONS
A-9.0	INTERIOR DETAILS
K-1.0	EQUIPMENT PLAN
K-2.0	EQUIPMENT SCHEDULE
E-2.0	ELECTRICAL POWER PLAN & ELEVATIONS
E-3.0	TECHNOLOGY POS PLAN AND SCHEDULES
E-3.1	TECHNOLOGY DETAILS
P-1.0	PLUMBING PLAN; SCHEDULE; NOTES
P-2.0	PLUMBING PLAN; SCHEDULE; NOTES
P-4.0	WATER FILTRATION SYSTEM

ADA STATEMENT

I HEREBY CERTIFY THAT THE PLANS AND DRAWINGS FOR THIS PROJECT WERE DRAWN IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (THE "ADA"), THE ADA ACCESSIBILITY GUIDELINES AND ANY STATE OR LOCAL ACCESSIBILITY CODES, REGULATIONS, OR STANDARDS

ARCHITECT'S SIGNATURE HERE _____ Date: _____

DUNKIN' BRANDS REFERENCES

DUNKIN' NEXT GEN DESIGN GUIDELINES AND UPDATES V5.1 (REV. 04/14/20)

IMAGE TYPE: COOL PALETTE

DUNKIN' BRANDS DATA

STORE DIMENSIONS:	SQ. FOOTAGE
RETAIL SALES AREA	1433 SQ. FT.
NON RETAIL AREA	800 SQ. FT.
TOTAL AREA:	2233 SQ. FT.

SEATING:

# OF TABLES	8
# OF SEATS	22
# OF BARRIER FREE SEATING UNITS	2
STAND UP COUNTERS (Y/N)	Y (N)
TOTAL # OF SEATS	22

REST ROOMS:

NUMBER OF RESTROOMS	2
PUBLIC ACCESS TO REST ROOMS	(Y) N
HANDICAP ACCESSIBLE	(Y) N

DRIVE-THRU:

YES/NO	YES - EXISTING
NUMBER OF DRIVE THRU WINDOWS	1
MENU BOARD SIZE (SINGLE, COMBO)	SINGLE
CAR LENGTHS FROM MENU TO WINDOW	5
STACKING (TOTAL # OF VEHICLES)	10+
ESCAPE LANE	YES
DRIVE THRU TIMER SYSTEM	YES

BUILDING DATA

USE GROUP:	A2
TYPE OF CONSTRUCTION:	TYPE 5B
STORIES:	1
ALLOWABLE FLOOR AREA:	6000 S.F. - UN. HT.
ACTUAL FLOOR AREA:	2233 S.F.
OCCUPANCY LOAD:	
FIXED SEATS:	22 PERSONS
EMPLOYEES:	7 PERSONS
TOTAL OCCUPANCY:	29 PERSONS
ELECTRICAL SERVICE:	
600A 120/240V 3PH	

BASED ON THE FOLLOWING CODES:

NYS BUILDING STANDARDS & CODES 2016 UNIFORM CODE SUPPLEMENT
2015 INTERNATIONAL EXISTING BUILDING CODE, 5th PRINTING
2015 INTERNATIONAL BUILDING CODE, 3RD PRINTING
2015 INTERNATIONAL PLUMBING CODE, 3RD PRINTING
2015 INTERNATIONAL PLUMBING CODE, 3RD PRINTING
2014 NATIONAL ELECTRIC CODE

DUNKIN' BRANDS DATA

IMAGE TYPE: SINGLE BRAND / COMBO (DD) BR DD/BR

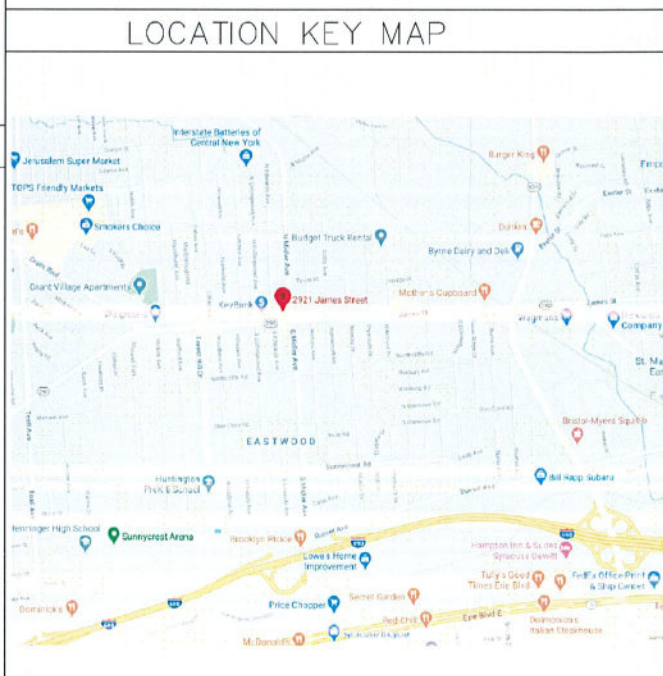
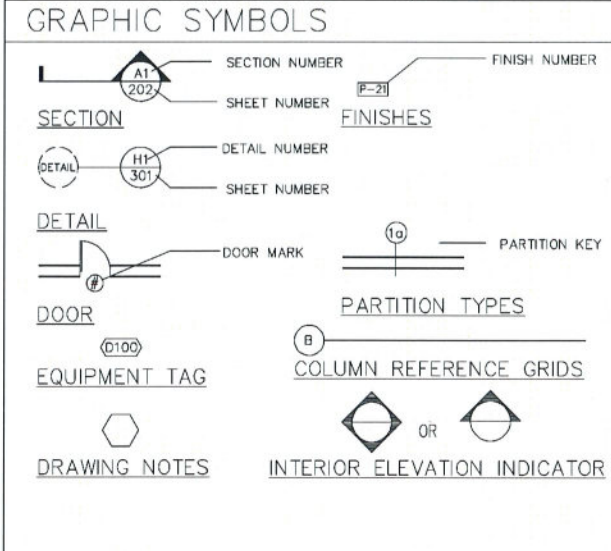
SIGNAGE:

TYPE	SQ. FOOTAGE	DIMENSIONS
FASCIA (1)	22.31	24" H "DUNKIN" PRIMARY SIGN
FASCIA (2)	12.5 SF	30" H "DD" SECONDARY SIGN
PYLON /MONUMENT	EXISTING TO BE REFACED	
SITE DIRECTIONAL	EXISTING TO BE REFACED	

NOTE: ALL SIGNAGE SUBJECT TO APPROVAL BY TOWN AND LANDLORD. FINAL SUBMISSION BY SIGN VENDOR.

WALK IN FREEZER/ COOLER:

BRAND	DD - EXISTING
LOCATION	INSIDE
CLG. HT. WHERE BOX IS LOCATED/CLEARANCE OVERHEAD	N/A
OVERALL DIMS.	N/A
FREEZER DIMS.	6'-0"W X 12'-0"L X 8'-7"H
COOLER DIMS.	6'-0"W X 12'-0"L X 8'-7"H
ANTE RM. DIMS.	N/A
REFRIGERATION SYSTEM (CIRCLE ONE)	N/A
REFRIGERATION LOCATION	N/A
REF. LINES NEEDED (PRES-CHARGED FOR REMOTE CONDENSING UNITS ONLY)	N/A
FLUSH SLAB OR DEPRESSED	N/A
HURRICANE OR SEISMIC TIE DOWNS REQ'D	N/A
COUNTY SPEC.S	N/A
CASTERS FOR SHELVEING	N/A



REVISIONS

NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JR	08/21/20

ROBERT C. ABBOTT JR.
ARCHITECT
2501 JAMES STREET - SUITE 110
SYRACUSE, NY 13206
(315) 437-1037

JOB LOCATION:
SYRACUSE, NY
2921 JAMES STREET
TITLE SHEET

CONSTRUCTION: NEXTGEN REMODEL

SHEET
T-1.0
JOB#: DD01906
DATE: 08/21/20
P.C.: 335450
C.M.: MARK DONAHOE

NO.	DESCRIPTION	BY	DATE
	INITIAL ISSUE	JR	08/21/20

ROBERT C. ABBOTT JR.
ARCHITECT
2501 JAMES STREET - SUITE 110
SYRACUSE, NY 13206
(315) 457-1057

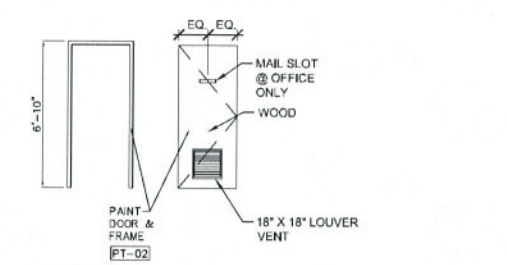
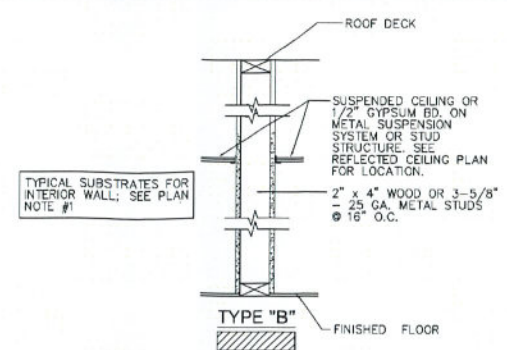
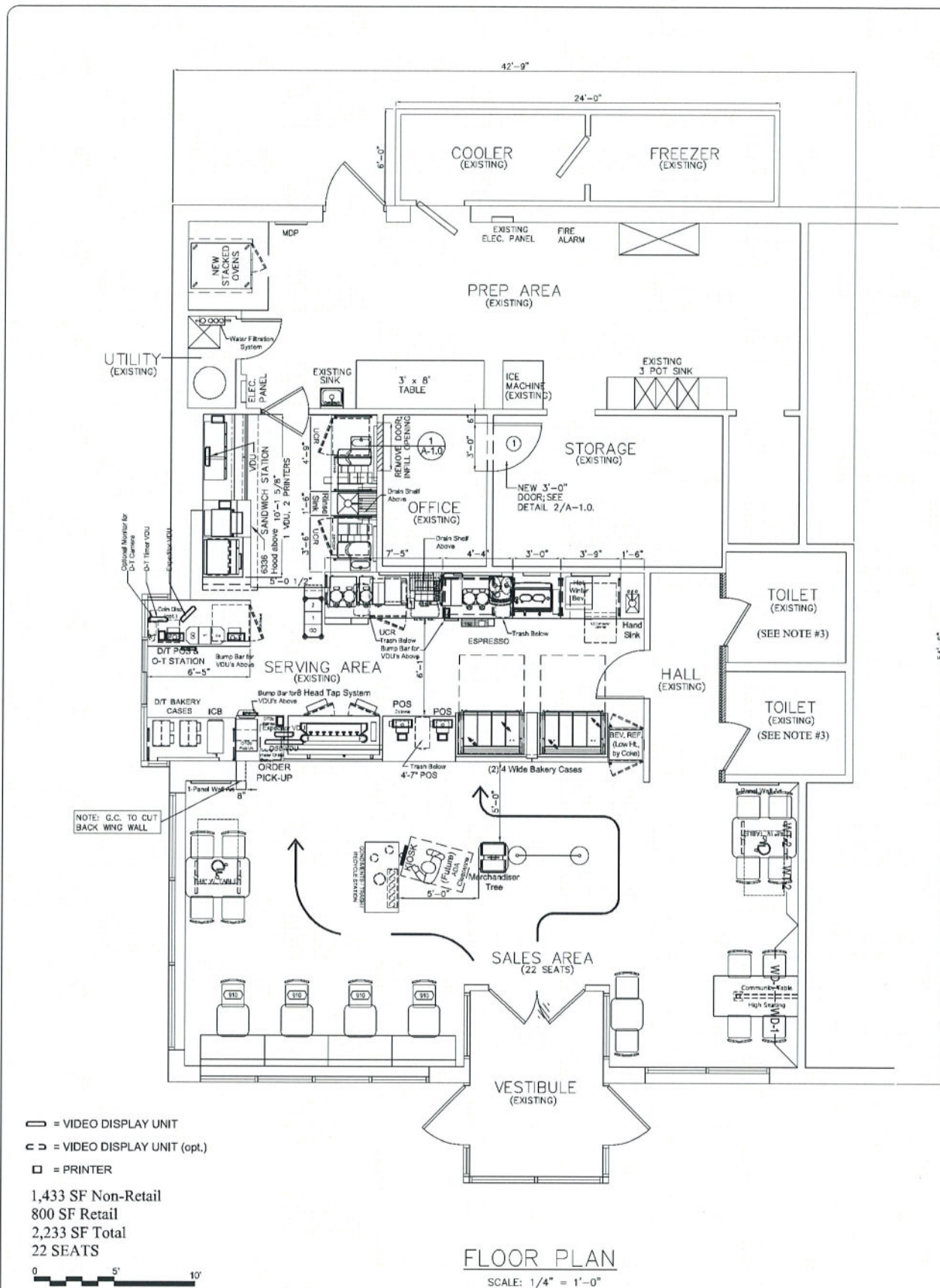
JOB LOCATION:
SYRACUSE, NY
2921 JAMES STREET

FLOOR PLAN; NOTES

CONSTRUCTION: NEXTGEN REMODEL

SHEET
A-1.0

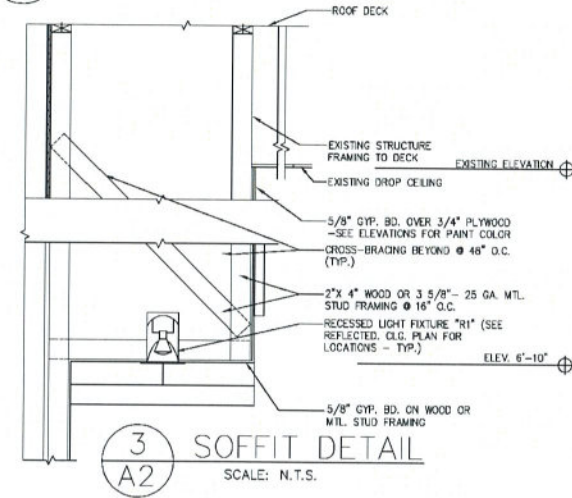
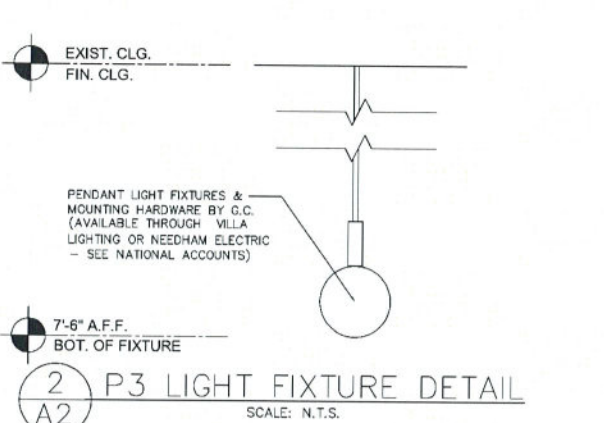
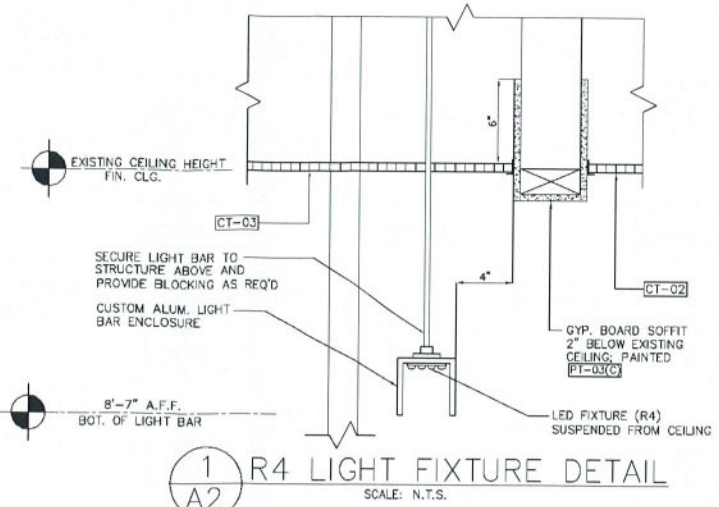
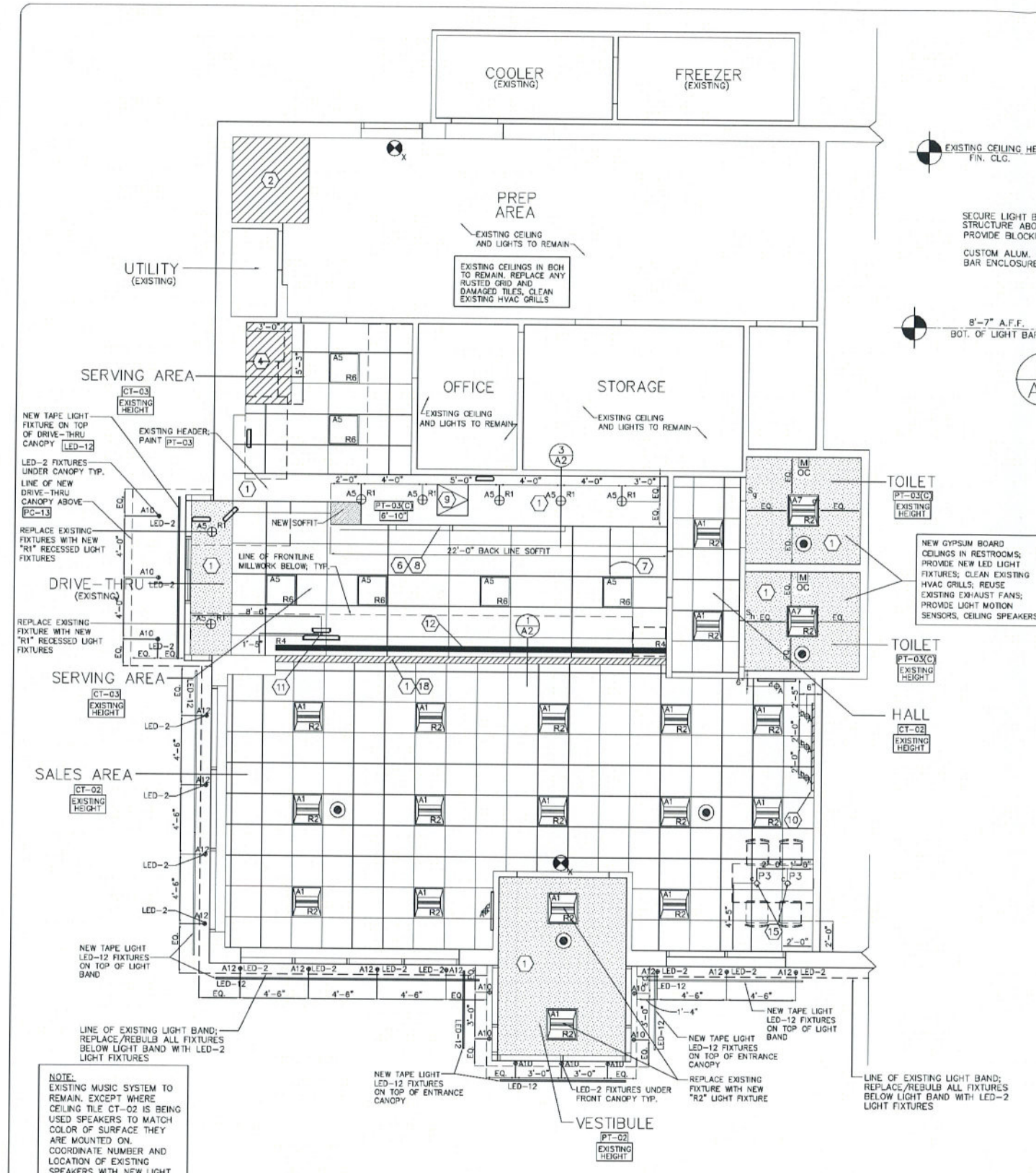
JOB#: DD01906
DATE: 08/21/20
P.C.: 335450
C.M.: MARK DONAHOF



NOTE:
FINISH WALL ON DUNKIN SIDE WITH WOOD LAMINATE. SEE INTERIOR ELEVATIONS; FINISH WALL ON TENANT; PAINT COLOR TBD

- DEMOLITION NOTES**
- NEW CEILING GRID/ CEILING TILES IN SALES AREA.
 - REPLACE EXISTING LIGHT FIXTURES IN SALES AREA/SERVING AREAS WITH NEW 2X2 LED LIGHT FIXTURES. SEE CEILING PLAN A-2.0.
 - WALK-IN FREEZER AND REFRIGERATOR TO REMAIN POWERED AND FUNCTIONAL THROUGHOUT DURATION OF PROJECT.
 - GC TO OBTAIN ALL CONSTRUCTION MATERIALS IN ADVANCE AND STORE WITHIN ONSITE STORAGE UNIT. MATERIALS WITHIN STORAGE UNIT ARE TO BE PACKED AND STAGED ACCORDING TO SEQUENCE OF PROJECT TO FACILITATE LOADING JOB.
 - EQUIPMENT SUPPLIER TO PLACE ALL NEW EQUIPMENT.
 - GENERAL CONTRACTOR TO PLACE ALL EXISTING EQUIPMENT AS INDICATED ON EQUIPMENT PLAN.
 - GENERAL CONTRACTOR TO MAKE ALL MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS FOR ALL THE EQUIPMENT AS INDICATED ON EQUIPMENT PLAN.
 - GENERAL CONTRACTOR TO DISCONNECT ALL EXISTING EQUIPMENT AS REQUIRED PER SCOPE OF OUTLINED WORK. SHUTDOWNS MAY BE STAGED, UNLESS MAJOR ELECTRICAL OR PLUMBING WORK IS REQUIRED THAT COULD CAUSE DAMAGE TO EQUIPMENT THAT IS CONNECTED.
 - EXISTING BACK LINE SOFFIT TO REMAIN. NEW RECESSED LIGHT FIXTURES. RE-INSTALL EXISTING DIGITAL MENU BOARDS ON FACE OF SOFFIT. SEE SHEET A2.0/AS.0.
 - GC TO COORDINATE PERMIT, APPROVALS, AND LOCATION OF DUMPSTER AND STORAGE UNIT PRIOR TO STORE CLOSING.
 - BACK OF HOUSE TO BE THOROUGHLY CLEANED INCLUDING ALL WALLS, FLOORS, RACKS, ETC.
 - CONSULT OWNER TO REPLACE TOILET FIXTURES. SEE PLUMBING PLAN P-1 FOR RESTROOM EQUIPMENT SCHEDULE.
 - REMOVE ALL EXISTING BUILDING SIGNS. SEE EXTERIOR ELEVATION SHEET FOR NEW SIGN. SIGN VENDOR TO APPLY FOR PERMITS.
 - EXISTING DRIVE-THRU MENU BOARD TO BE REMOVED/REPLACED. NEW DIGITAL MENU BOARD. SEE DETAIL ON SHEET A-5.2.
 - DEMO EXISTING CEILING TRACK AND PENDANT LIGHTS. NEW FIXTURES PER LIGHTING PLAN. SEE SHEET A2.0.
 - NEW FLOOR TILE IN VESTIBULE/SALES AREA/HALL & TOILETS. SEE SHEET A-3.0. O.C. TO REPLACE ANY BROKEN/DAMAGED TILES IN SERVING AREA.
 - ADD NEW VEHICLE CLEARANCE BAR. SEE EXTERIOR DETAIL SHEET A-5.2.
 - REMOVE ALL EXISTING FRONT LINE/RACK LINE MILLWORK.
 - REMOVE EXISTING TABLES/CHAIRSEPIKED TABLE BASES. REPAIR/REPLACE AFFECTED FLOOR TILES IF NEEDED. ALL NEW SEATING PER FLOOR PLAN.
 - REMOVE EXISTING WALL FINISHES THROUGHOUT THE SALES/SERVING/RESTROOM AREAS. ALL NEW WALL FINISHES. SEE INTERIOR ELEVATIONS A-8.0/8.1.
 - REPAIR ANY DAMAGED ASPHALT. RE-SEAL/RE-STRIP PARKING AS REQUIRED. UPDATE SITE LIGHTING TO LED. CONSULT OWNER.
 - DEMO SALES AREA SOFFIT AT VESTIBULE AND ABOVE FRONT LINE. REMOVE ALL RECESSED LIGHT FIXTURES. RELOCATE CAMERAS AS REQUIRED.

- PLAN NOTES**
- TYPICAL SUBSTRATES FOR NEW INTERIOR WALLS SHALL BE AS FOLLOWS:
 PREP/ KITCHEN AND STORAGE AREAS:
 0'-0" TO 3'-0" - 1/2" DUROCK CEMENT BOARD, 3'-0" AND ABOVE - 1/2" ORIENTED STRAND BOARD (OSB)
 SERVICE AREA:
 1/2" MN. ORIENTED STRAND BOARD (OSB), 1/2" DUROCK CEMENT BOARD BEHIND PORCELAIN/ CERAMIC TILES.
 SALES AND SEATING AREAS:
 1/2" GYPSUM BOARD, 1/2" DUROCK CEMENT BOARD BEHIND CERAMIC TILES, 1/2" ORIENTED STRAND BOARD @ DECORATIVE PLAM "WOOD" WALLS.
 RESTROOMS:
 1/2" DUROCK CEMENT BOARD
 - GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING AS REQUIRED THROUGHOUT: IN RESTROOMS FOR GRAB BARS, LAVATORIES, HAND DRIERS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND OTHER ACCESSORIES UNLESS OTHERWISE NOTED; IN SERVICE AREA FOR: VDU, WALL SHELVES, ETC.
 - DIMENSIONS SHOWN ARE TO THE FACE OF FINISH.
 - REFER TO EQUIPMENT "K" SHEETS FOR INFORMATION REGARDING THE EQUIPMENT AND EQUIPMENT LAYOUT.
 - REFER TO NEXT GENERATION PROTOTYPE SET FOR DOOR SCHEDULE AND DOOR & FRAME TYPES.
 - THESE PLANS ARE CONSIDERED MINIMUM DUNKIN' BRANDS CORPORATE DESIGN REQUIREMENTS. ANY STRUCTURAL DESIGN, REQUIRED ADA COMPLIANCE AND GENERAL BUILDING REQUIREMENTS MUST BE EVALUATED AND CERTIFIED BY AN ARCHITECT REGISTERED IN THE STATE WHERE THIS STRUCTURE IS TO BE BUILT.
 - THE FOLLOWING SITE ELEMENTS SHALL BE UPGRADED TO THE NEXT GENERATION IMAGE AS APPLICABLE:
 - HEIGHT RESTRICTION BAR
 - PREVIEW BOARD
 - MENU BOARD/ ORDER CANOPY
 - DIRECTIONAL SIGNS
 - PYLON MONUMENT SIGN
 - BOLLARD COVERS
 - PROVIDE FIRE EXTINGUISHERS, TYPE ABC, WALL HUNG, TOP @ 5'-0" A.F.F., (BY G.C.). - NUMBER AND LOCATION AS DETERMINED BY LOCAL CODE
 - LAYOUT NOTES:
 A. ARCHITECT & G.C. TO ENSURE 40" MINIMUM CLEAR ACCESS INTO AND THROUGHOUT THE STORE FOR DELIVERY OF LARGE EQUIPMENT ITEMS.
 B. FRANCHISEE'S ARCHITECT TO VERIFY COMPLIANCE WITH APPLICABLE ADA AND CODE REQUIREMENTS FOR RESTROOM(S) AND ENTRANCE(S).
 C. FRANCHISEE'S ARCHITECT SHALL DETERMINE MENUBOARD SIZE AND CONFIGURATION BASED ON FIELD CONDITIONS AND MENU CHOICES.
 - INDOOR AIR QUALITY MANAGEMENT REQUIREMENTS:
 A. DURING CONSTRUCTION THE USE OF SMOKING/TOBACCO PRODUCTS INSIDE THE BUILDING IS PROHIBITED.
 B. CONTRACTOR AND SUBCONTRACTORS SHOULD MAKE EVERY EFFORT TO MAINTAIN CLEAN WORK AREAS.
 C. MATERIALS THAT ARE ABSORPTIVE SHOULD BE ELEVATED FROM THE GROUND AND COVERED WITH VISQUEEN WHILE STORED ON SITE.
 D. IF THE HVAC SYSTEMS WILL BE USED DURING CONSTRUCTION ACTIVITIES, TEMPORARY FILTRATION (MERV 8) SHOULD BE USED ON ALL RETURN AIR INTAKES, AND THE FILTERS INSIDE THE UNIT SHOULD BE REPLACED PRIOR TO BUILDING TURN OVER.
 E. ALL INDOOR AIR QUALITY MANAGEMENT POLICIES OUTLINED ABOVE ARE PHOTOGRAPHED AT 25%, 50%, AND 75% PROJECT COMPLETION TO CONFIRM MEASURES WERE FOLLOWED.
 - CONSTRUCTION WASTE RECYCLING REQUIREMENTS:
 A. ALL CONSTRUCTION-RELATED RECYCLABLE WASTE SHOULD BE RECYCLED/REUSED OR OTHERWISE DIVERTED FROM LANDFILL WHENEVER POSSIBLE.
 B. AT MINIMUM ALL CONCRETE, METAL, AND PLASTIC THAT MEETS LOCAL RECYCLING STANDARDS SHOULD BE RECYCLED.
 C. WHERE LOCAL MUNICIPALITIES OR VENDORS OFFER COMMINGLED RECYCLING OPPORTUNITIES TO HELP ACHIEVE OVER 50% CONSTRUCTION WASTE DIVERSION RATE FROM LANDFILL, FRANCHISEE SHOULD PURSUE.
 - EXISTING EMERGENCY FIXTURES, SECURITY CAMERAS TO REMAIN.



LIGHTING/CEILING LEGEND

	WALL WASH FIXTURE BY CONTECH RL20SA3-35K-12-D/CTR2002CLR-P		EXTERIOR LED TAPE LIGHT (USED ON TOP OF ORANGE LIGHT BAND)
	LED LINEAR LIGHT BAR USED ABOVE FRONT LINE BY PINNACLE ARCHITECTURAL LIGHTING EX33A-35HD-XX-AC48JB-120-1C-CC-PMS165		2'x2' CEILING GRID SYSTEM
	RECESSED LED LIGHT FIXTURE BY CRE R06/CR61-160DL-35K		2'x4' CEILING GRID SYSTEM
	2X2 LAY-IN TROFFER LED LIGHT FIXTURE BY CRE CR22-32L-35K-S-HD		RECESSED CEILING SPEAKER
	2x2 LAY-IN LED LIGHT FIXTURE W/ LENS BY LSI SFP22-LED-VE-30-DIM-35-U		GYPSUM BOARD CEILING
	EXTERIOR SIGN LIGHT FIXTURE BY H-LIGHT MFG. INC. H-HDMR 16/18-1-19/MR16AD1C293010T-10-SI		WALL-MTD OCCUPANCY SENSOR
	EXTERIOR RECESSED LIGHT FIXTURE (USED UNDER ORANGE LIGHT BAND) BY DMF DRD1-R-4/DRD2M-10-9-40/DRD2T-R-4-S-W		WALL SWITCH "X"
			WALL EXIT SIGN

- #### GENERAL NOTES
- ALL INTERIOR & EXTERIOR LIGHTING TO BE LED (INCLUDING IN THE WALK-IN BOX).
 - EFFECTIVE LIGHTING CONTROLS STANDARD THROUGHOUT. OCCUPANCY SENSORS TO BE USED IN SPACES NOT ACTIVELY USED THROUGHOUT THE DAY (RESTROOMS, OFFICE, CONFERENCE ROOMS AND ETC.). INTEGRATE OCCUPANCY SENSORS IN SPACES NOT ACTIVELY USED THROUGHOUT THE DAY INCLUDING: RESTROOMS, OFFICE, WALK-IN BOX, CONFERENCE ROOMS & CLOSETS.
 - REFER TO MASTER FINISH SCHEDULE FOR CEILING FINISHES.
 - OPEN CEILING IN SALES & SERVING AREA TO BE ALTERNATIVE OFFICE.
 - ALL DEVICES (DIFFUSERS, RETURNS, SMOKE DETECTORS, ETC.) TO MATCH CEILING. WHEN OPEN CEILING IS USED ALL PIPES AND DUCTS AND ALL OTHER ITEMS THAT ARE ON CEILING TO BE PAINTED TO MATCH CEILING.
 - LAYOUT NOTES:
 - PROVIDE EMERGENCY LIGHTS & SMOKE DETECTORS AS REQUIRED BY LOCAL GOVERNING CODE.
 - ADD THE RH REMOTE WEATHER PROOF EMERGENCY HEAD (PRODUCT #21PB) TO THE EXTERIOR EGRESS DOORS IF REQUIRED BY CODE.
 - HOOD OVER SANDWICH STATION IS RECOMMENDED BUT NOT REQUIRED. ARCHITECT / ENGINEER MUST REVIEW LOCAL CODES TO DETERMINE WHETHER A HOOD IS REQUIRED. IF A HOOD IS NOT USED IT IS REQUIRED THAT AN EXHAUST GRILL BE PLACED IN THE CEILING ABOVE THE SANDWICH STATION. IF NO EXHAUST IS PROVIDED AT THE SANDWICH STATION THE FRP PANELS AND/OR DIGITAL MENU BOARDS COULD BE AFFECTED BY THE HEAT FROM THE SANDWICH STATION.

- #### PLAN NOTES
- GYPSUM WALL BOARD CEILING.
 - EXHAUST HOOD FOR MINI-RACK OVEN - EXISTING
 - FRONT HOOD WATER HEATER
 - EXHAUST HOOD FOR SANDWICH STATION
 - NOT USED.
 - INSTALL EXISTING DIGITAL MENU BOARDS ON NEW BACKLINE SOFFIT. CENTER WITH POS STATION AT FRONT LINE. RE-WIRE AS REQUIRED.
 - ARCHITECT TO ENSURE THAT ADEQUATE DISTANCE IS MAINTAINED BETWEEN MENU BOARDS AND OTHER OBSTRUCTIONS SUCH AS LIGHTS, SPRINKLER HEADS, CAMERAS AND TOASTER/OVEN. 36" MIN DISTANCE BETWEEN DMBS AND EACH OBSTRUCTION IS PREFERRED. LIGHTS PLACED TOO CLOSE TO DIGITAL MENUBOARD SYSTEM MAY CAUSE UNWANTED GLARE. HEAT FROM TOASTERS WILL LEAD TO SCREEN FAILURE
 - EXISTING DIGITAL MENU BOARD (DMB):
 - 4-49" (DEFAULT SIZE) DIAGONAL BOARDS IS 176" L (14'-8") AND 26 1/2" H (2'-2 1/2")
 - 24"x24" ACCESS PANEL.
 - "LOADY" PANEL ARTWORK - SEE INTERIOR ELEVATIONS. REFER TO DETAIL #3/ SHEET A-8.1.
 - G.C. TO PROVIDE BLOCKING AND TO INSTALL CEILING MOUNT POLE AND BUTTERFLY MOUNT (PROVIDED BY VENDOR) FOR ORDER STATUS BOARD AND EXPEDITOR VDU. TELEHOOK TH-1040 (WITH 2) SCREEN MOUNTING PLATES BACK TO BACK. REFER TO DETAIL #3A/ SHEET E-3.1.
 - CUSTOM LIGHT BAR MOUNTED ABOVE FRONT LINE @ 8'-7" A.F.F., SEE DETAIL #1A-2.0
 - HWAG-BUS/FRANK-BUS-TO BE INSTALLED AS HIGH AS POSSIBLE OR 4" BELOW SERVICE AREA CEILING/ SOFFIT CONSOLE.
 - BOTTOM OF SUSPENDED LINEAR LED FIXTURES @ 8'-0" A.F.F. (FIXTURE #1 AND #2)
 - PENDANT LIGHTS TO BE CENTERED ON COMMUNITY TABLE, MOUNTED @ 7'-6" A.F.F.
 - TRACK LIGHTS TO BE USED IN VIEW OF LIGHT FIXTURE WHEN ILLUMINATING ARTWORK WHERE BLEND ABOVE IS OPEN MOUNT @ 11'-0" A.F.F. (TYP.)
 - SPEAKERS LOCATED @ OPEN CLG. TO BE MOUNTED UNDER BOTTOM CHORD OF ROOF TRUSS.
 - FRONTLINE SOFFIT TO ALIGN WITH MILLWORK BELOW.

REFLECTED CEILING/ LIGHTING PLAN
SCALE: 1/4" = 1'-0"

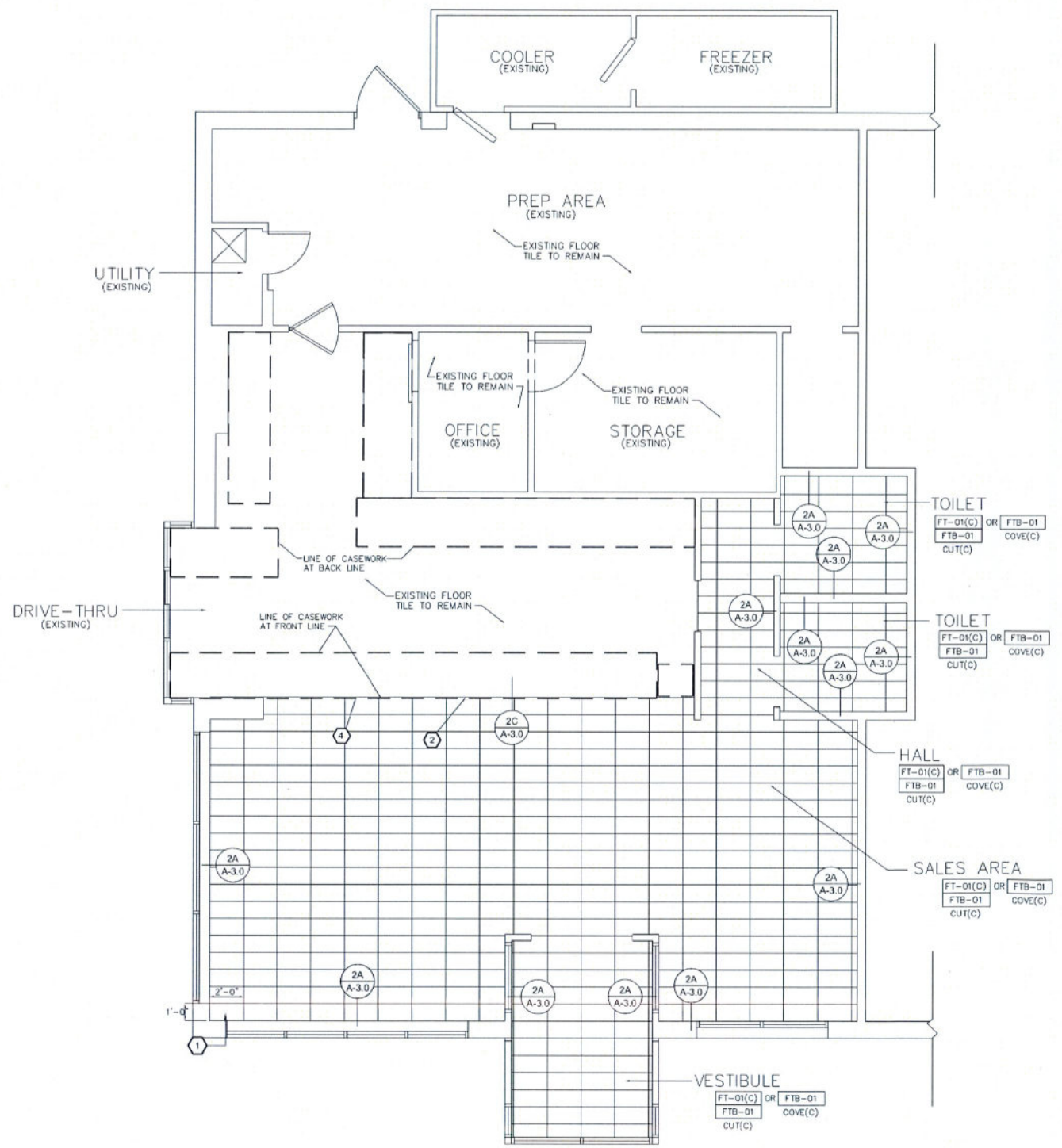
LIGHTING SCHEDULE NOTES

1. PROVIDE ALL FIXTURES COMPLETE WITH LAMPS. REFER TO NATIONAL ACCOUNT SOURCE INFO FOR LAMP SPECS & VILLA LIGHTING RE-LAMPING PROGRAM.
2. ALL BALLASTS SHALL BE HIGH POWER FACTOR.
3. PROVIDE HOLD-DOWN CLIPS FOR EACH CORNER OF FLUORESCENT GRID TROFFERS.
4. COORDINATE AND VERIFY ALL FIXTURE INFORMATION, TYPES AND FINAL LOCATIONS WITH THE REFLECTED CEILING PLAN.
5. LAMPS SHALL BE AS MANUFACTURED BY SYLVANIA, WESTINGHOUSE, GENERAL ELECTRIC OR APPROVED EQUAL.

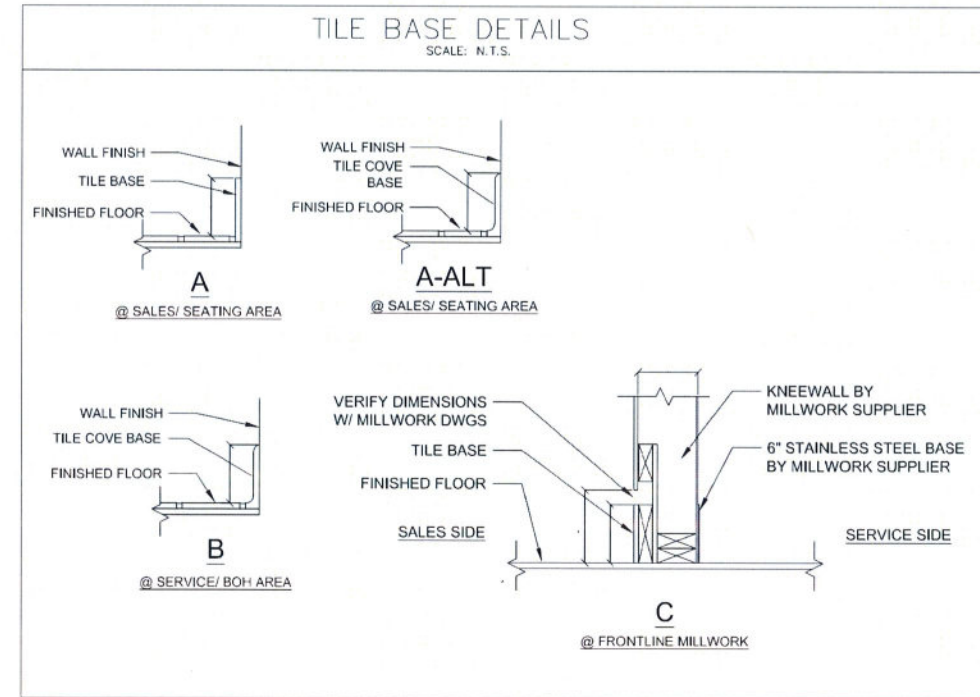
NOTE:
EXISTING MUSIC SYSTEM TO REMAIN, EXCEPT WHERE CEILING TILE CT-02 IS BEING USED. SPEAKERS TO MATCH COLOR OF SURFACE THEY ARE MOUNTED ON. COORDINATE NUMBER AND LOCATION OF EXISTING SPEAKERS WITH NEW LIGHT FIXTURES AND FRANCHISEE.

<p>NO. DESCRIPTION BY DATE</p> <p>INITIAL ISSUE JR 08/21/20</p>	<p>REVISIONS</p>
<p>ROBERT C. ABBOTT JR. ARCHITECT 2501 JAMES STREET, SUITE 110 SYRACUSE, NY 13206 (315) 437-1037</p>	
<p>SYRACUSE, NY 2521 JAMES STREET</p>	
<p>REFLECTED CEILING PLAN; LEGEND; LIGHTING PLAN; DETAIL; NOTES</p>	
<p>CONSTRUCTION: NEXTGEN REMODEL</p>	
<p>SHEET A-2.0</p>	
<p>JOB#: DDO1906 DATE: 08/21/20 P.C.: 335450 C.M.: MARK DONAHOE</p>	

- PLAN NOTES**
- 1 TILE WORK STARTING POINT.
 - 2 TILE TRANSITION MUST OCCUR UNDER FRONTLINE MILLWORK - (TYP.)
 - 3 NO TILE @ BACKWASH MOP SINK/ INTERIOR WALK-IN BOX.
 - 4 G.C. TO PROVIDE AND INSTALL TILE WALL BASE AT FRONTLINE MILLWORK.



FLOOR TILE PLAN
SCALE: 1/4" = 1'-0"



REVISIONS

NO	DESCRIPTION	BY	DATE

ROBERT C. ABBOTT JR.
ARCHITECT
2501 JAMES STREET - SUITE 110
SYRACUSE, NY 13206
(315) 437-1037

JOB LOCATION:
SYRACUSE, NY
2921 JAMES STREET

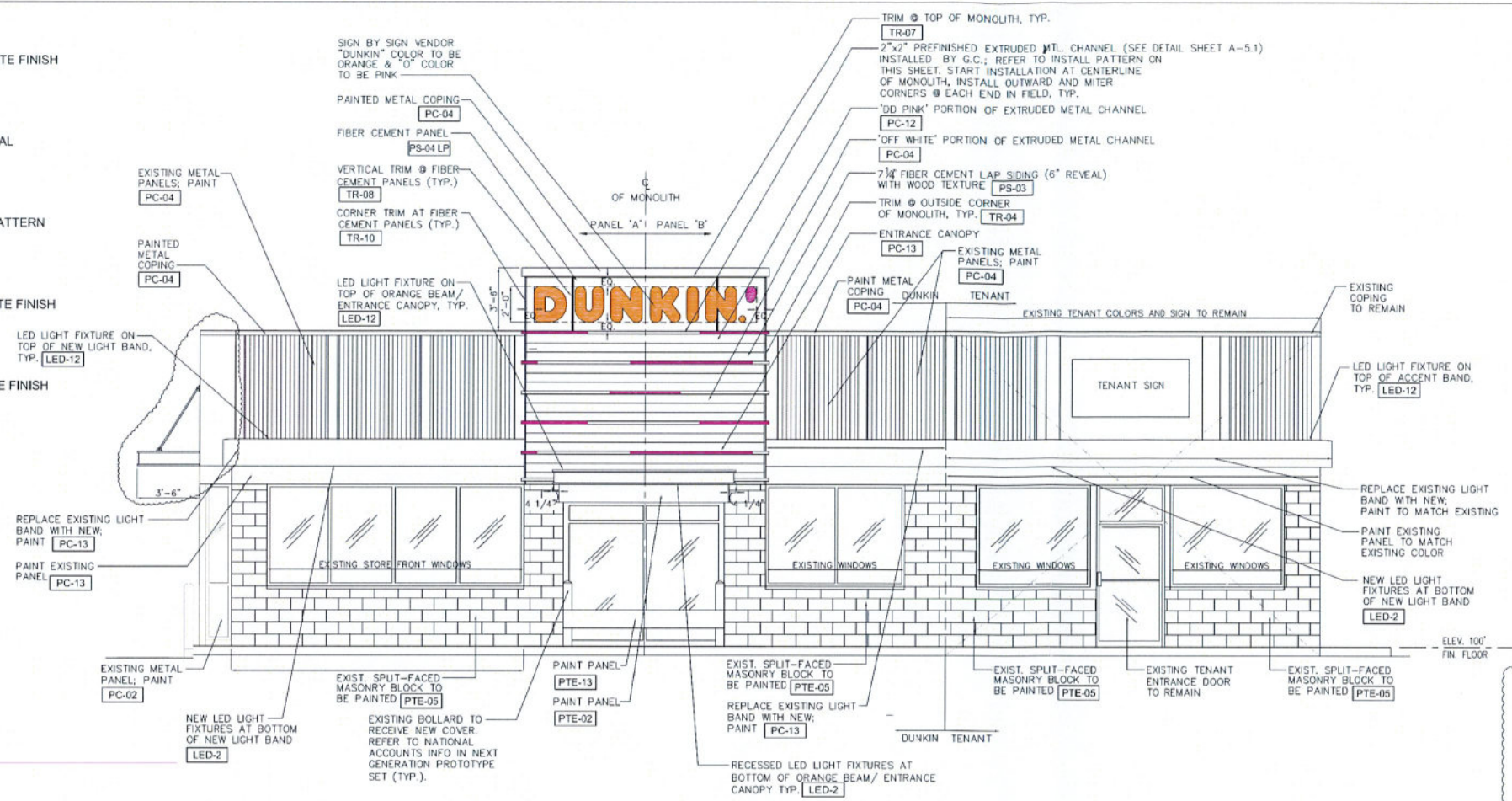
**FLOOR TILE PLAN;
DETAILS; NOTES**

CONSTRUCTION: NEXTGEN REMODEL

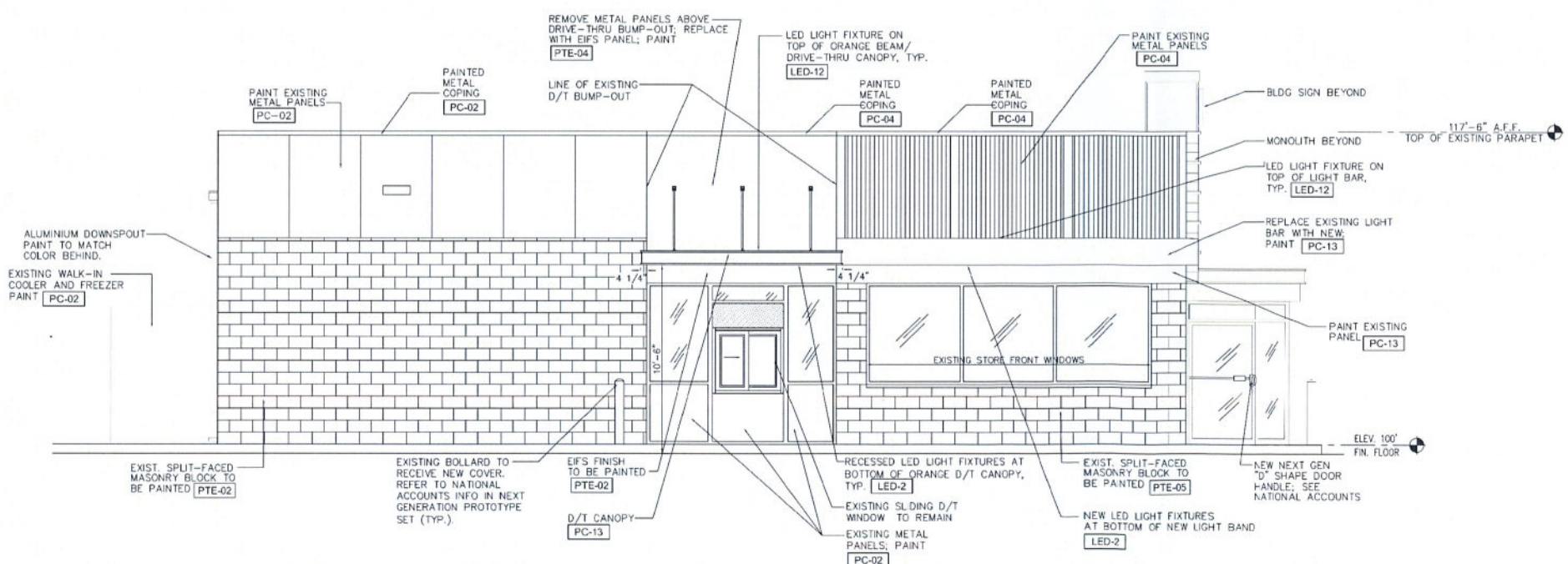
SHEET
A-3.0

JOB#: DD01906
DATE: 08/21/20
P.C.: 335450
C.M.: MARK DONAHOE

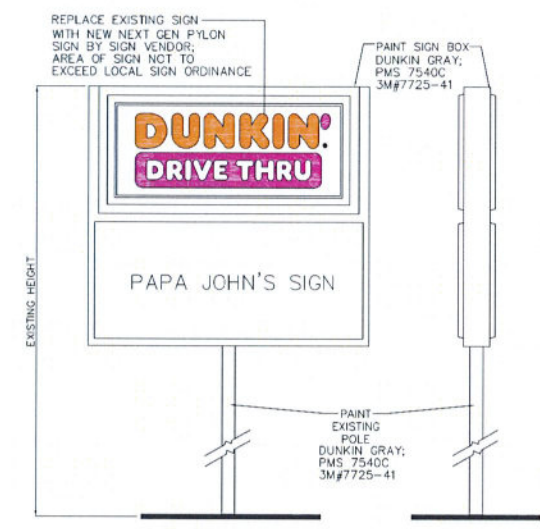
- 01 CONCRETE FINISH
- 02 CHARCOAL
- 03 WOOD PATTERN
- 04 OFF WHITE FINISH
- 05 MID-TONE FINISH
- 12 PINK
- 13 ORANGE



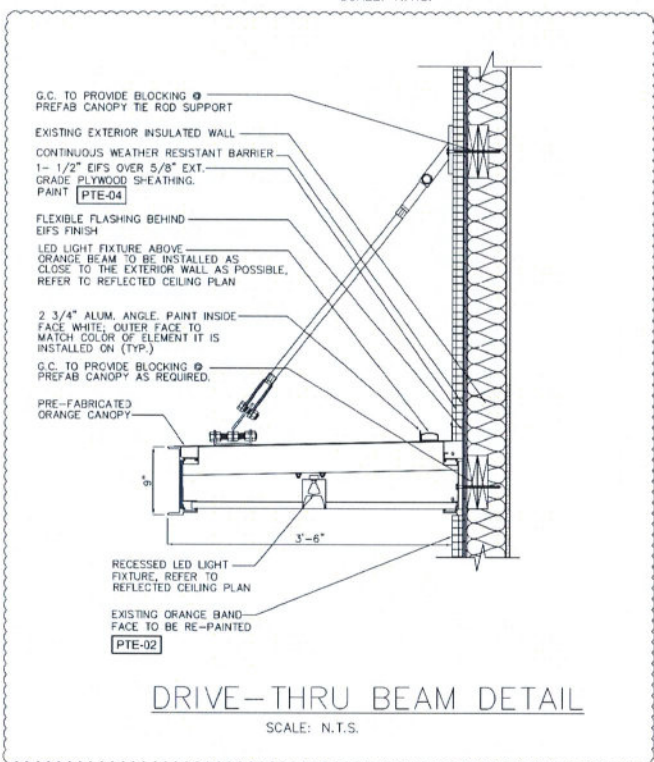
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



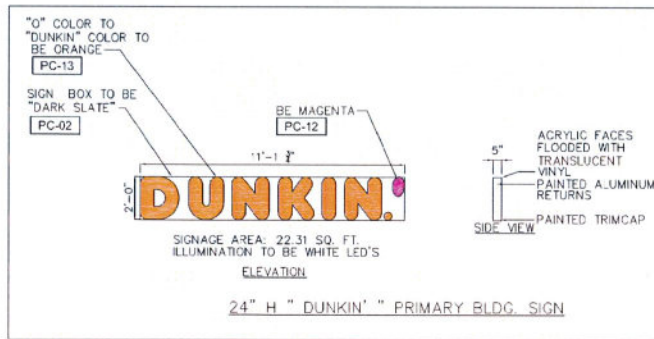
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PYLON SIGN ELEVATION
SCALE: N.T.S.



DRIVE-THRU BEAM DETAIL
SCALE: N.T.S.



DUNKIN' SIDE VIEW
SIGNAGE AREA: 22.31 SQ. FT.
ILLUMINATION TO BE WHITE LED'S
ELEVATION
24" H " DUNKIN' " PRIMARY BLDG SIGN

dunkin'
brands™

NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JR	08/21/20
2	BEAM DETAIL	JR	11/17/20

REVISIONS

ROBERT C. ABBOTT JR.
ARCHITECT
2501 JAMES STREET - SUITE 110
SYRACUSE, NY 13206
(315) 437-1037

SYRACUSE, NY
2921 JAMES STREET

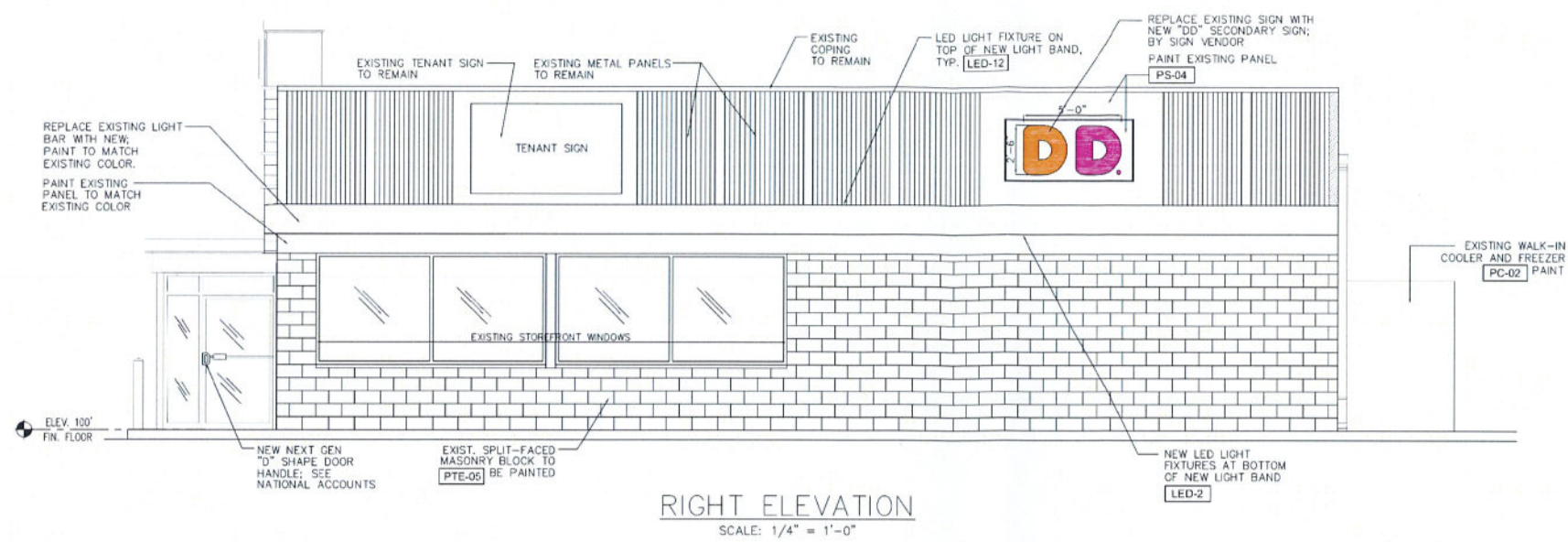
EXTERIOR ELEVATIONS

JOB LOCATION:
SYRACUSE, NY
2921 JAMES STREET

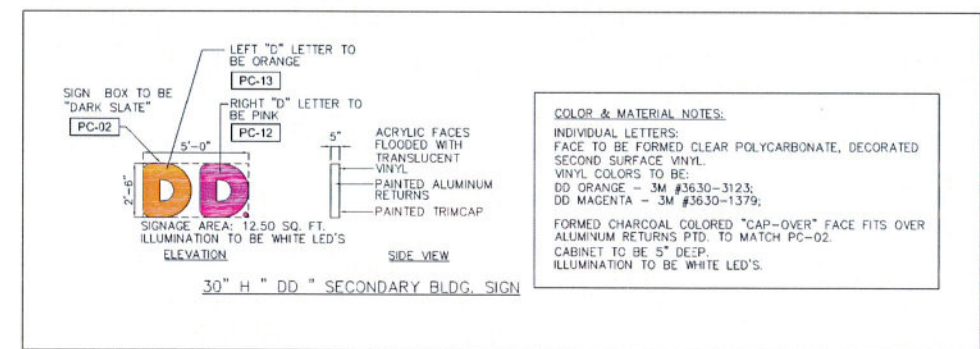
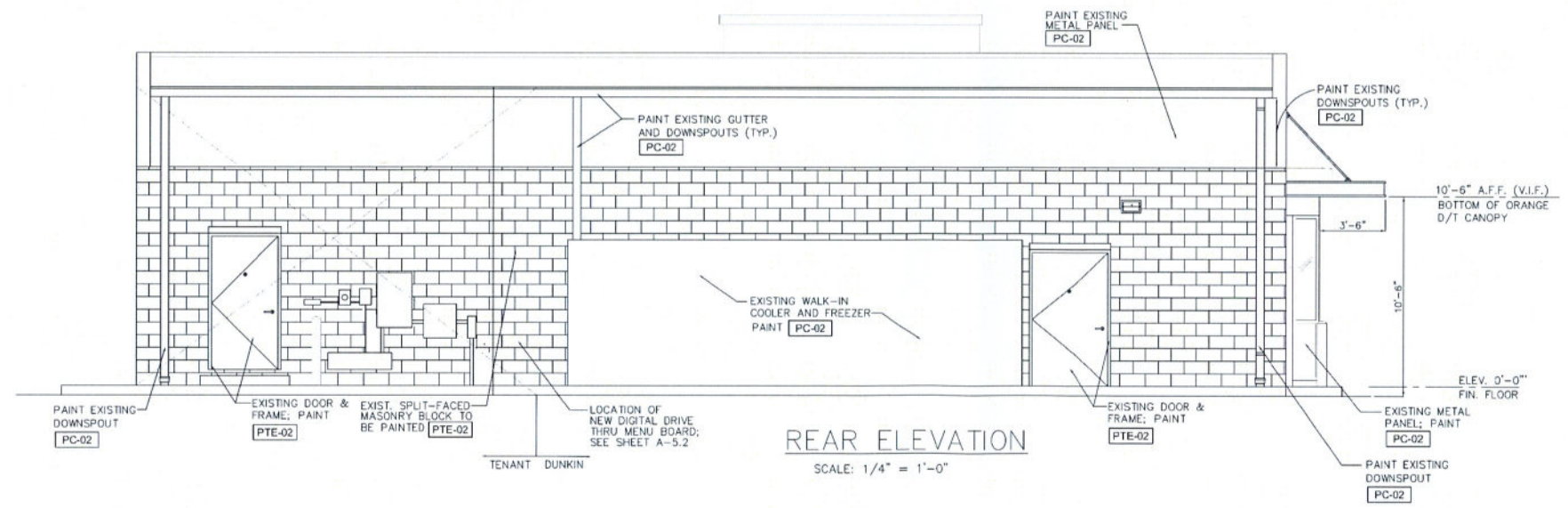
CONSTRUCTION: NEXTGEN REMODEL

SHEET
A-5.0

JOB#: DDO1906
DATE: 08/21/20
P.C.: 335450
C.M.: MARK DONAHOE



- 01 CONCRETE FINISH
- 02 CHARCOAL
- 03 WOOD PATTERN
- 04 OFF WHITE FINISH
- 05 MID-TONE FINISH
- 12 PINK
- 13 ORANGE

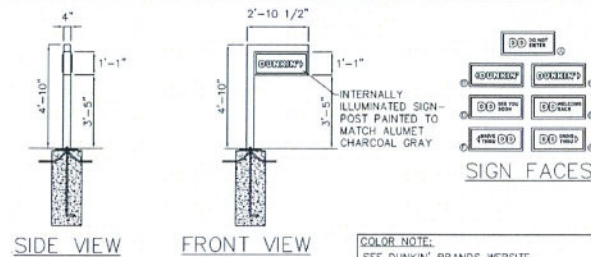


NO.	DESCRIPTION	BY	DATE

ROBERT C. ABBOTT JR.
ARCHITECT
2501 JAMES STREET - SUITE 110
SYRACUSE, NY 13206
(315) 437-1037

JOB LOCATION:
SYRACUSE, NY
2921 JAMES STREET
EXTERIOR ELEVATIONS
CONSTRUCTION: NEXTGEN REMODEL

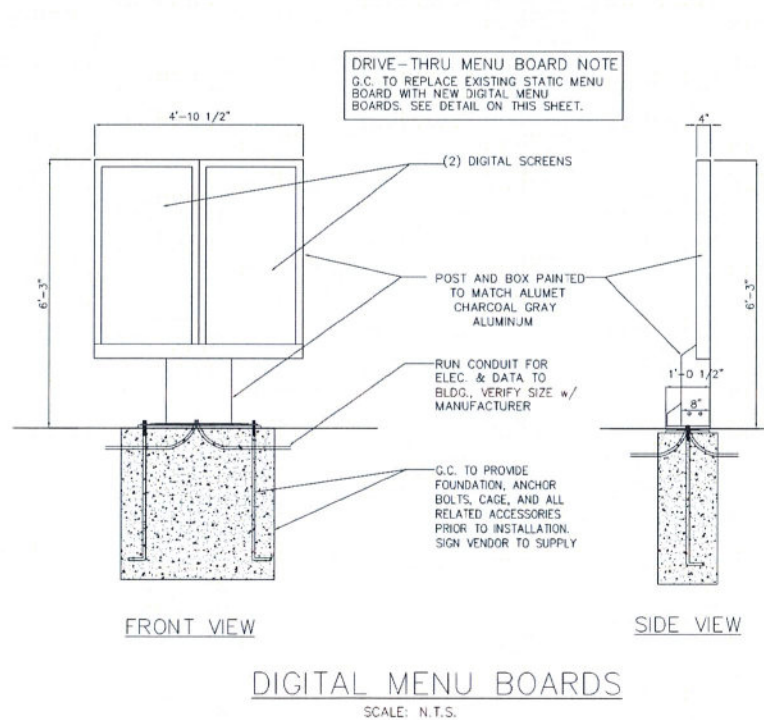
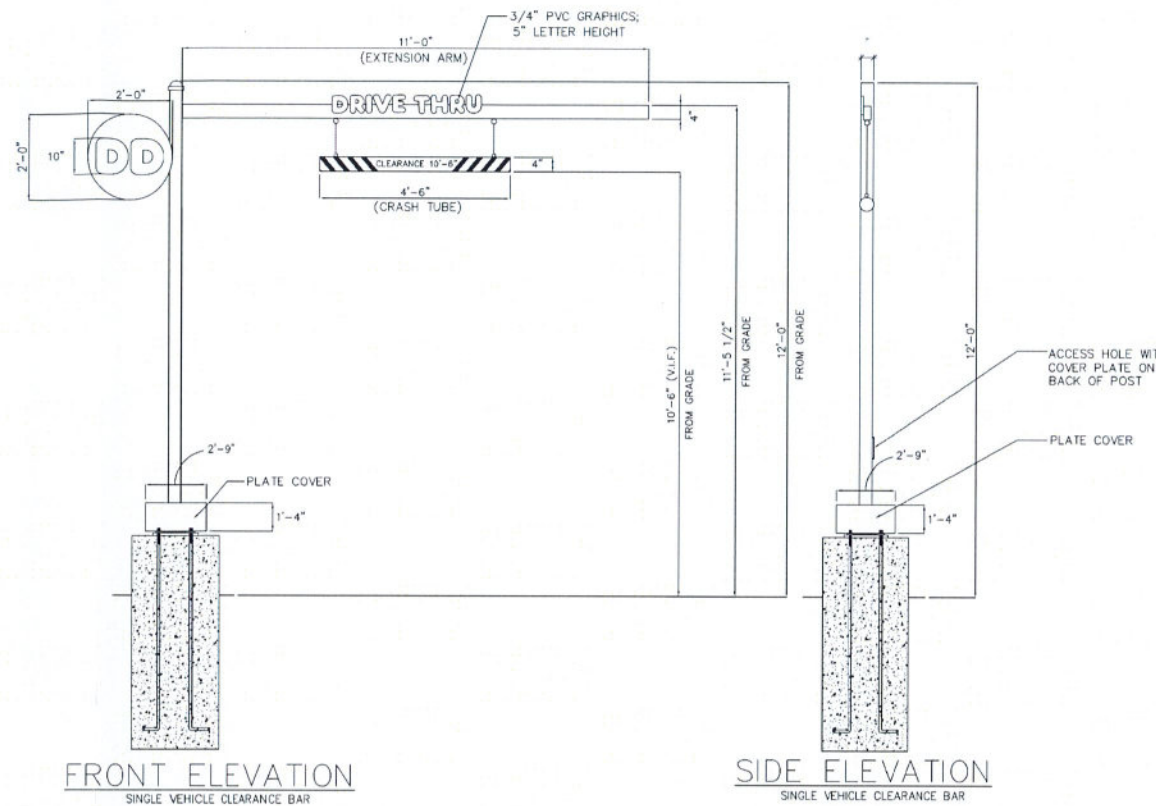
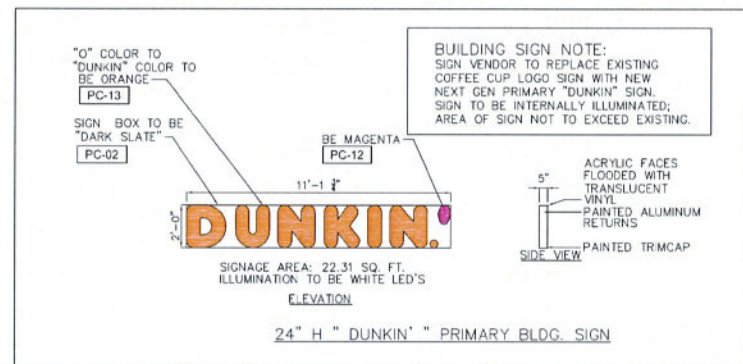
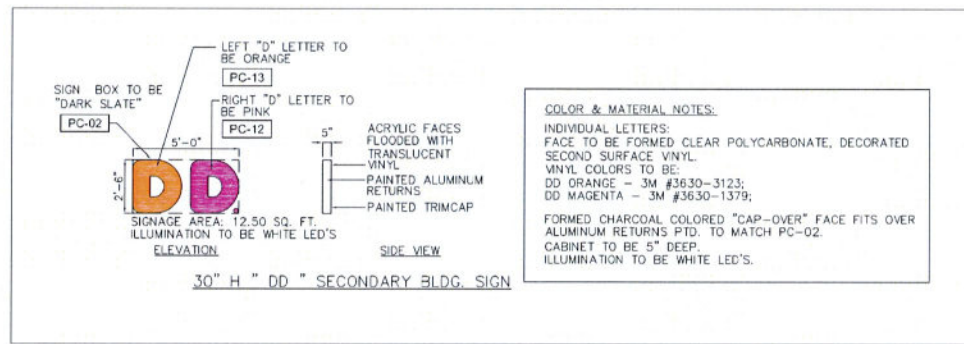
SHEET
A-5.1
JOB#: DD01906
DATE: 08/21/20
P.C.: 335450
C.M.: MARK DONAHOE



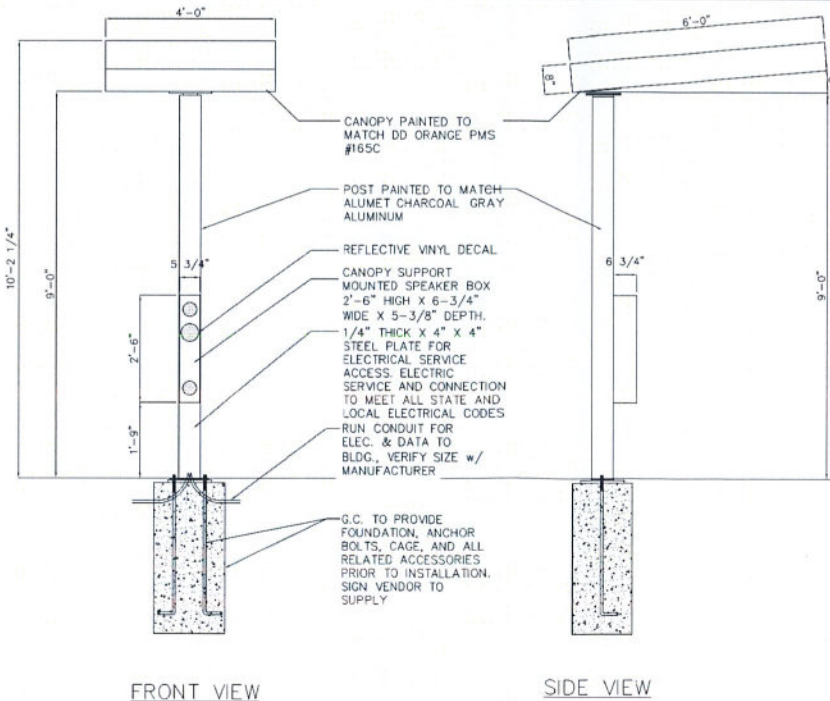
DIRECTIONAL SIGNS
SCALE: 1/4" = 1'-0"

AREA OF SIGN: 2.75 SQ FT
LIGHTING: FLORESCENT LAMP

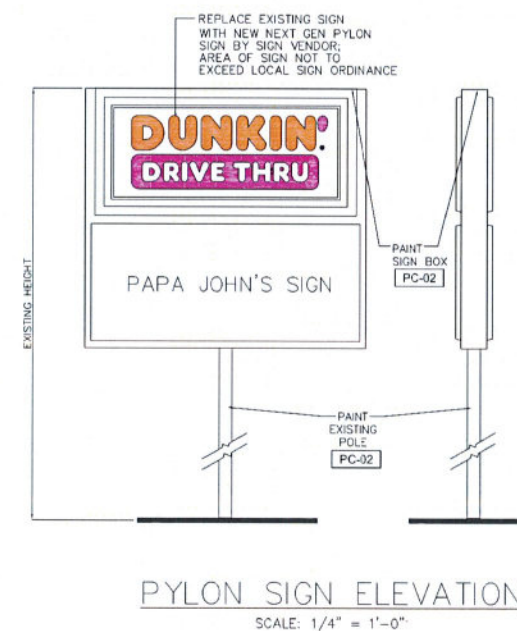
COLOR NOTE:
SEE DUNKIN' BRANDS WEBSITE,
<http://external.dunkinbrands.com>, FOR
COMPLETE INFORMATION AND DETAILS



DRIVE-THRU MENU BOARD NOTE
G.C. TO REPLACE EXISTING STATIC MENU BOARD WITH NEW DIGITAL MENU BOARDS. SEE DETAIL ON THIS SHEET.



ORDER CANOPY WITH SPEAKER
SCALE: N.T.S.



NO	DESCRIPTION	BY	DATE

ROBERT C. ABBOTT JR.
ARCHITECT
2501 JAMES STREET, SUITE 110
SYRACUSE, NY 13206
(315) 437-1037



JOB LOCATION:
SYRACUSE, NY
2921 JAMES STREET
EXTERIOR DETAILS
CONSTRUCTION: NEXTGEN REMODEL

SHEET
A-5.2

JOB#: D001906
DATE: 08/21/20
P.C.: 335450
C.M.: MARK DONAHOE

2921 JAMES ST.
FRONT



2921 JAMES ST.

SIDE (MIDLER AVE.)



2921 JAMES ST.
REAR-DRIVE-THRU

