

City of Syracuse Zoning Office

Application for PROJECT SITE REVIEW SITE PLAN REVIEW-LAKEFRONT DISTRICT
City Hall Commons - Room 500 * 201 E. Washington Street * Syracuse, NY 13202-1426 * 315-448-8640

For Office Use Filing Date: Case Number: Zoning District:

PROPERTY TAX ASSESSMENT ADDRESS(ES)

(See Tax Assessment Roll at syrgov.net/Assessment.aspx, or 315-448-8280)

TAX ID/SBL

(000.-00-00.0)

227 Teal Avenue (960 Canal Street)

031.-03-15.1

PROJECT TYPE (please check all that apply and briefly describe)

- Demolition (full and partial): _____
- New Construction: _____
- Exterior Alterations: New mezzanine exit door and exterior steel stair
- Site Changes: _____

PROJECT DESCRIPTION

The project will create a second exit from an existing mezzanine by added an exit door and a steel framed exterior stair to grade. No site changes will be made.

ZONING USE / BUILDING OCCUPANCY (existing, proposed, changes)

Zoning is Industrial A. The building is a maintenance facility for U-Haul fleet vehicles. There is no change in use.

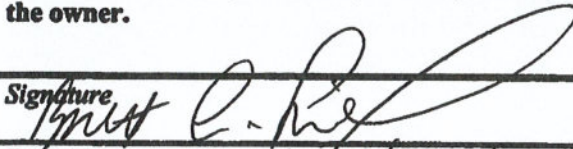
PROPERTY OWNER (required) <i>As listed on the Tax Assessment Roll available at syrgov.net/Assessment.aspx or 315-448-8280</i>				
<i>First Name</i> Brett	<i>Last Name</i> Lindsay		<i>Title</i> District 9 Owner's Rep	<i>Company</i> U-Haul of North Central New York
<i>Address</i> 8015 Oswego Road			<i>Address</i>	
<i>City</i> Liverpool	<i>State</i> NY	<i>Zip</i> 13080	<i>Phone</i> 315-726-1224	<i>email</i> brett_lindsay@uhaul.com
APPLICANT (if applicable)				
<i>First Name</i>	<i>Last Name</i>		<i>Title</i>	<i>Company</i>
<i>Address</i>			<i>Address</i>	
<i>City</i>	<i>State</i>	<i>Zip</i>	<i>Phone</i>	<i>email</i>
REPRESENTATIVE (architect, engineer, attorney, sign company, other, if applicable)				
<i>First Name</i> Bruce	<i>Last Name</i> King		<i>Title</i> Architect	<i>Company</i> Holmes King Kallquist & Associates, Architects
<i>Address</i> 575 North Salina Street			<i>Address</i>	
<i>City</i> Syracuse	<i>State</i> NY	<i>Zip</i> 13208	<i>Phone</i> 315-476-8371	<i>email</i> bck@hkkarchitects.com

DECLARATION

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

PROPERTY OWNER SIGNATURE (required)

As listed on the Syracuse Tax Assessment Roll available at syrgov.net/Assessment.aspx, or 315-448-8280. If not listed as the current owner, please include a proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a one page letter describing the legal representative arrangement. If the property owner is a Corporation or Organization, the person signing must provide verification they are a member. Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.

<i>Signature</i> 	<i>Date</i> 9/30/20
<i>Print Name</i> Brett C. Lindsay	<i>Title</i> Owners Rep
<i>Company</i> UHAUL	

Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: New Mezzanine exit door and stair			
Project Location (describe, and attach a location map): 960 Canal Street / 227 Teal Avenue, Syracuse, New York			
Brief Description of Proposed Action: The project will provide a second exit from a previously created mezzanine space, adding an exit door, and a steel exterior stair down to grade.			
Name of Applicant or Sponsor: U-Haul of North Central New York, attn: Mr. Brett Lindsay		Telephone: 315-726-1224 E-Mail: brett_lindsay@uhaul.com	
Address: 8015 Oswego Road			
City/PO: Liverpool	State: NY	Zip Code: 13090	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse Building Permit		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.9964 acres	
b. Total acreage to be physically disturbed?		.004 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.9964 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Brett C. Kindsey</u> Date: <u>9/30/20</u>		
Signature: <u>[Signature]</u> Title: <u>Owners Rep</u>		

PRINT FORM



Commercial Real Estate
Due Diligence Management
4125 State Route 43
Kent, OH 44240
866.290.8121
www.amnational.net

ALTA/ACSM Land Title Survey

Surveyor Certification

Syracuse NY
800060
1001 Canal St
Syracuse, NY
County of Onondaga

To: Times Square Abstract, LLC; the owner of the property; Amerco Real Estate Company, a Nevada Corporation; U-Haul Co. of New York; and American National, LLC.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 7a, 7b1, 7c, 8, 9, 11b, 13, 14, 16, 17, 18, 19, 20a of Table A thereof.

The field work was completed on December 2, 2014.



Jack W. Shoemaker
Land Surveyor Number 50495-1
Date of Expiration March 5, 2014
Date of Last Renewal December 15, 2014
Date of This Renewal May 19, 2015
Network reference #20140033

Survey Prepared By:
First Order, LLC
3701 William Penn Highway
Eaton, PA 16845
Phone 810-438-5840
Fax 810-438-0004
jshoemaker@firstorderllc.net
Project No. 3116

Legal Description

ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Syracuse, County of Onondaga and State of New York, being part of Block 504A, Block 506A and part of abandoned Winton Street and described as follows:

Beginning at the intersection of the south line of Canal Street and the west line of Teall Avenue (also the west line of an appropriation by The State of New York for construction of I-190) and running:

Thence S 09°-19'-20" E 173.20 feet along the west line of Teall Avenue and said appropriation to an angle point and the south corner of said appropriation;

Thence S 03°-19'-30" E 33.84 feet along the west line of Teall Avenue to a point;

Thence S 66°-10'-00" W 182.58 feet through Block 506A to an angle point in the common line between Lots 13 and 14 of Block 506A;

Thence S 66°-25'-20" W 591.47 feet on a line parallel to McIntyre Street abandoned and passing through the southern portion of Block 506A Winton Street abandoned and the southern part of Block 504A to a point in the west line of Lot #33 of said Block 504A; thence N 20°-44'-10" W 106.25 feet to the northwest corner of said Lot #33;

Thence N 20°-15'-10" W 32 feet along the west line of Lot #10 to the south line of Canal Street;

Thence N 69°-02'-50" E 816.10 feet along the south line of Canal Street to the place of beginning.

ALSO ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, with the building and improvements thereon erected, situate, lying and being in the City of Syracuse, County of Onondaga and State of New York, and being known as all of Lots 11, 12, 13, 14, 15, 16 and 17 and part of Lots 1, 2, 3, 4, 5, 6, 7, 10 and 18 in Block #505A of the Mather-Williams Tract in said City, described as follows:

Beginning at a point in the northerly boundary line of Canal Street located as follows: South 89°-02'-50" W 17 feet from a point at the intersection of the northerly boundary of Canal Street with the westerly boundary of Teall Avenue, said point being monumented by a City monument set 1.18 feet distant easterly from the westerly boundary of Teall Avenue and the northerly boundary of Canal Street extended, said point being 202.80 feet distant southerly measured at right angles from Station 168 plus 81.38, of the survey base line for the construction of Interstate Route 570, running thence South 69°-02'-50" W, along the northerly boundary line of Canal Street 255 feet.

Running thence in a northerly direction, parallel with the westerly line of Lot #11, a distance of 125.88 feet to lands of the People of the State of New York, thence along the lands of the People of the State of New York N 67°39'10" E, a distance of 303.54 feet; thence continuing along the lands of the People of the State of New York S 67°45'20" E 49.04 feet; thence still continuing along the lands of the People of the State of New York S 3°19'30" E 101.87 feet to the point or place of beginning.

Being the same tract of land described in a Title Report prepared by Times Square Abstract, LLC, Commitment No. TSA14-6015, dated January 23, 2014.

General Notes

1. THE SURVEYOR WAS NOT PROVIDED WITH ZONING INFORMATION BY THE INSURER PURSUANT TO TABLE A ITEM 6B.

PARKING PROVIDED -
-REGULAR = 8 SPACES
-HANDICAP = 0 SPACES
TOTAL SPACES PROVIDED = 8

2. PARCEL "A" IS KNOWN AS ALL OF LOTS 11, 12, 13, 14, 15, 16 AND 17 AND PART OF LOTS 1, 2, 3, 4, 5, 6, 7, 10 AND 18 IN BLOCK NO. 504A OF THE MATHER-WILLIAMS TRACT
PARCEL "B" IS PART OF BLOCK 504A AND BLOCK 506A AND PART OF ABANDONED WINTON STREET IN THE CITY OF SYRACUSE, ONONDAGA COUNTY, STATE OF NEW YORK.

3. PARCEL "A" LOT AREA = 34,489 S.F. OR 0.7918 AC., MORE OR LESS.
PARCEL "B" LOT AREA = 174,082 S.F. OR 3.9964 AC., MORE OR LESS.

4. IN RESPONSE TO ALTA/ACSM TABLE A ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

5. IN RESPONSE TO ALTA/ACSM TABLE A ITEM 17, THERE ARE NO KNOWN CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTIONS. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTIONS OR REPAIRS.

6. IN RESPONSE TO ALTA/ACSM TABLE A ITEM 18, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

7. IN RESPONSE TO ALTA/ACSM TABLE A ITEM 19, THE NATIONAL WETLANDS INVENTORY MAPS DO NOT INDICATE THE EXISTENCE OF WETLANDS ON THIS PROPERTY.

8. VERTICAL DATUM = NAVD 1988

9. BENCHMARK - MAG NAIL ELEV = 419.37

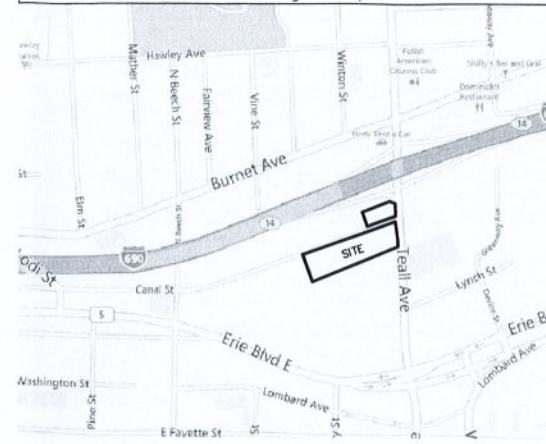
10. BASED ON VISUAL OBSERVATION, THE SUBJECT PROPERTY IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION. THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR ABOVE GROUND MARKINGS TO DETERMINE ANY SUBSURFACE LOCATION. CONTACT LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION

11. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/ACSM SPECIFICATIONS UNLESS OTHERWISE SHOWN.

Notes Corresponding to Schedule B

1. Permanent Easement for drainage and slope purposes as appropriated by the State of New York by instrument recorded March 11, 1966 in Liber 2290 of Deeds, page 391. AFFECTS SUBJECT PROPERTY, BUT CANNOT BE PLOTTED. SLOPE EASEMENT ALONG INTERSTATE 690.

Vicinity Map



Survey Description

Parcel A:
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATED, LYING AND BEING IN THE CITY OF SYRACUSE, COUNTY OF ONONDAGA AND STATE OF NEW YORK, AND BEING KNOWN AS ALL OF LOTS 11, 12, 13, 14, 15, 16 AND 17 AND PART OF LOTS 1, 2, 3, 4, 5, 6, 7, 10 AND 18, IN BLOCK NO 504A OF THE MATHER-WILLIAMS TRACT, IN SAID CITY, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT, said point being the intersection of the northerly boundary of Canal Street with the westerly boundary of Teall Avenue
THENCE South 69 degrees 02 minutes 50 seconds West for a distance of 255.00 feet along the northerly line of Canal Street to a point,
THENCE North 20 degrees 57 1/10 minutes 10 seconds West for a distance of 124.57 feet to a point,
THENCE South 67 degrees 39 minutes 10 seconds East for a distance of 250.17 feet to a point,
THENCE South 03 degrees 19 minutes 30 seconds East for a distance of 101.87 feet to THE POINT AND PLACE OF BEGINNING
Together with and subject to covenants, easements and restrictions of record
Said property contains 0.79 Acres (34,489 Sq Ft) more or less

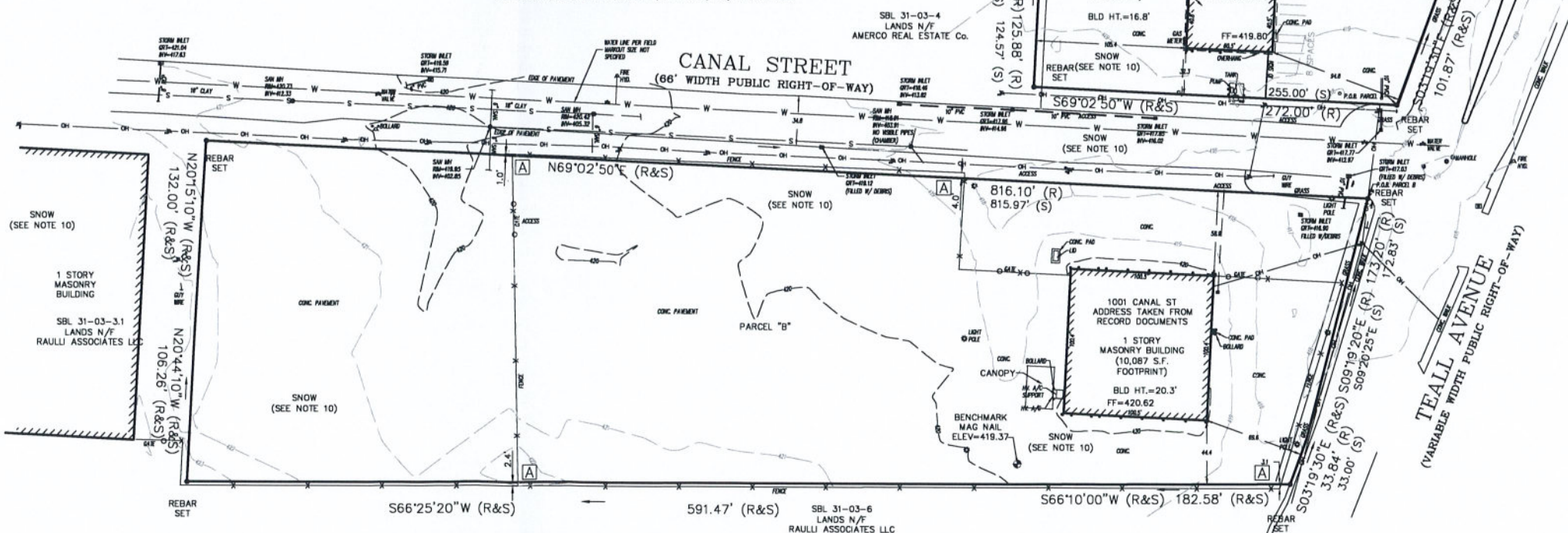
Parcel B:
ALL THAT TRACT OR PARCEL OF LAND SITUATED IN THE CITY OF SYRACUSE, COUNTY OF ONONDAGA AND STATE OF NEW YORK,
BEING: PART OF BLOCK 504A AND BLOCK 506A AND PART OF ABANDONED WINTON STREET AND DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT, said point being the intersection of the southerly line of Canal Street and the westerly line of Teall Avenue,
THENCE South 09 degrees 20 minutes 25 seconds East for a distance of 172.83 feet along the westerly line of Teall Avenue to a point,
THENCE South 66 degrees 10 minutes 00 seconds West for a distance of 182.58 feet to a point,
THENCE South 66 degrees 25 minutes 20 seconds West for a distance of 591.47 feet to a point,
THENCE North 20 degrees 44 minutes 10 seconds West for a distance of 105.01 feet to a point,
THENCE North 20 degrees 15 minutes 10 seconds West for a distance of 132.00 feet to a point along the southerly line of Canal Street,
THENCE North 69 degrees 02 minutes 50 seconds East for a distance of 815.97 feet continuing along the southerly line of Canal Street TO THE POINT AND PLACE OF BEGINNING.
Together With and subject to covenants, easements, and restrictions of record
Said property contains 4.00 Acres (174,088 Sq. Ft.) more or less.

Legend of Symbols & Abbreviations

● MONUMENT FOUND	⚡ POWERPOLE	—SS— SAN SEWER LINE
○ MONUMENT SET	⚡ GLY WIRE	⊙ SEWER MANHOLE
⊙ P.K. NAIL FOUND	⚡ LIGHT POLE	○ CLEAN OUT
⊙ P.K. NAIL SET	⚡ STREET LIGHT POLE	—SD— STORM DRAIN LINE
⊙ FND X MARK	⚡ ELEC. TRANSFORMER	⊙ STORM DRAIN MANHOLE
⊙ SET X MARK	⚡ AIR CONDITIONER	⊙ STORM INLET
⊙ R.R. SPIKE FOUND	⚡ BURIED ELECTRIC	⊙ CURB INLET
⊙ R.R. SPIKE SET	⚡ OVERHEAD ELECTRIC	⊙ PAY PHONE
⊙ BENCHMARK	⚡ ELEC. MANHOLE	⊙ TELEPHONE BOX
⊙ CONC. R/W MARKER	⚡ ELECTRIC METER	⊙ TELEPHONE MANHOLE
(R) RECORD DATA	⚡ WATER LINE	⊙ TELEPHONE POLE
(M) MEASURED DATA	⚡ WATER VALVE	—T— TELEPHONE LINE
(C) CALCULATED DATA	⚡ WATER METER	⊙/HT OVERHEAD TELEPHONE
R/W RIGHT OF WAY	⚡ HYDRANT	⊙ UNDERGROUND TELEPHONE MARKER
BSL BACK SET LINE	⚡ BACK FLOW PREVENTER	—C— CABLE TELEVISION
RCP REINFORCED CONC PIPE	⚡ GAS VALVE	⊙/HC OVERHEAD CABLE
CMP CORRUGATED METAL PIPE	⚡ GAS METER	⊙ CABLE BOX
PVC PLASTIC PIPE	⚡ UNDERGROUND GAS MARKER	⊙ UNDERGROUND CABLE MARKER
MTL METAL	⚡ GAS MANHOLE	⊙ TRAFFIC POLES
AGL ABOVE GROUND LEVEL	—G— GAS LINE	⊙ TRAFFIC SIGNAL
F.P. FOOTPRINT	⚡ BOLLARD	⊙ BORE HOLE
L/S LANDSCAPING	⚡ BORE HOLE MONITORING WELL	⊙ TRAFFIC MANHOLE
⊙ TREE	⚡ MAIL BOX	⊙ TRAFFIC SIGNAL BOX
	⚡ UNKNOWN MANHOLE	⊙ STOP SIGN
	⚡ SQUARE METAL LID	⊙ SIGN
	⚡ FUEL TANK LID	
	⚡ FLAG POLE	



BASIS OF BEARING
L. 3757 PG. 182

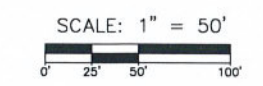


FLOOD NOTE: By graphic plotting only, this property is in Zone X (UNSHADED) of the Flood Insurance Rate Map, Community Panel No. 360565 0004 2, which bears an effective date of 05/15/1986 and is not in a Special Flood Hazard Area.

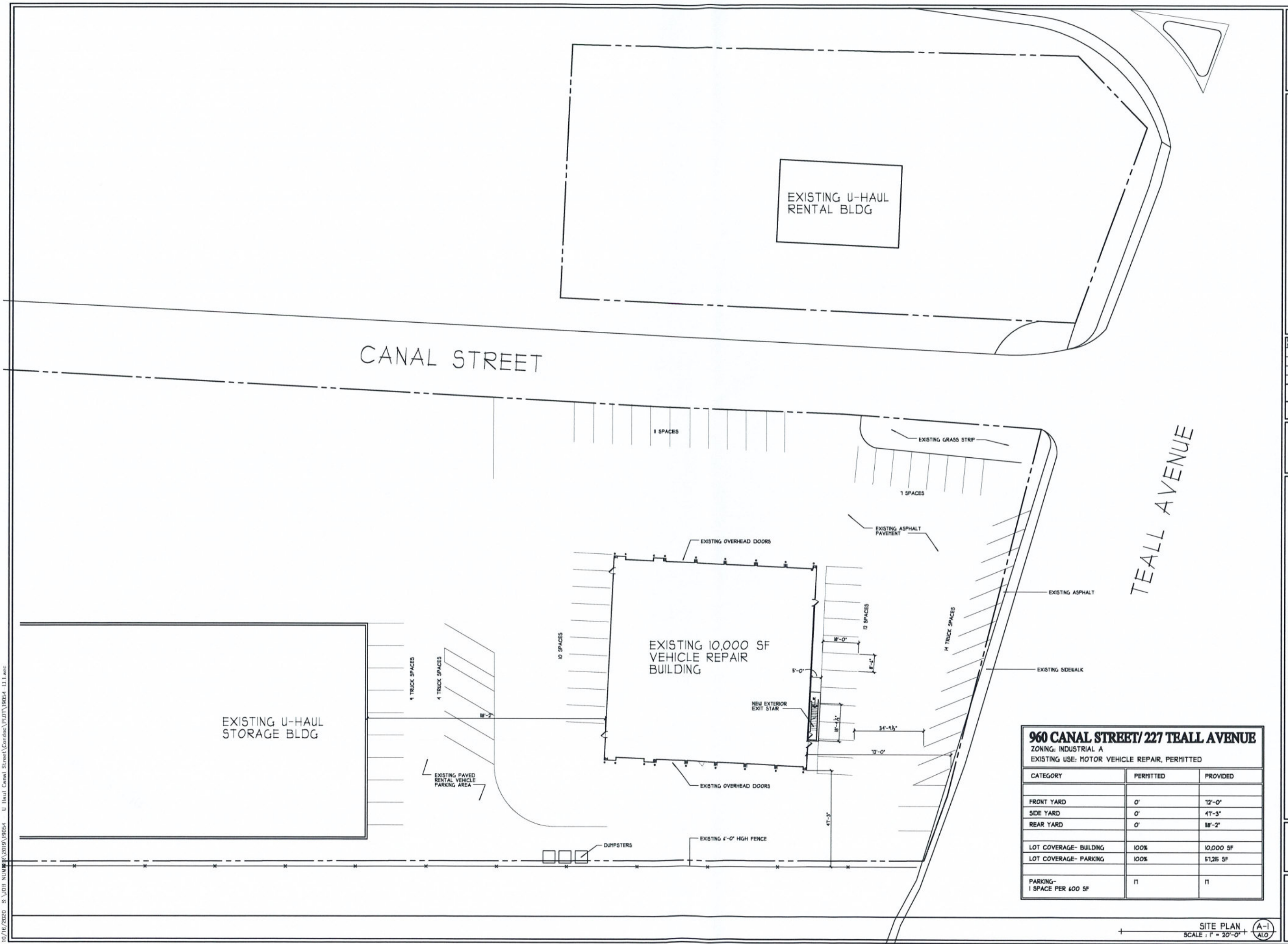
IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7208 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE VALID TRUE COPIES. CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

Encroachment Statement

A FENCE LINE CROSSES PROPERTY LINE AT MULTIPLE LOCATIONS BY VARYING DISTANCES.



10/16/2020 8:31:03 NUMBERS 2019\19054 U-Haul Canal Street\Condor\10/16/2020 11.1.ecd



960 CANAL STREET/227 TEALL AVENUE
 ZONING: INDUSTRIAL A
 EXISTING USE: MOTOR VEHICLE REPAIR, PERMITTED

CATEGORY	PERMITTED	PROVIDED
FRONT YARD	0'	12'-0"
SIDE YARD	0'	4'-3"
REAR YARD	0'	8'-2"
LOT COVERAGE- BUILDING	100%	10,000 SF
LOT COVERAGE- PARKING	100%	5126 SF
PARKING- 1 SPACE PER 400 SF	11	11

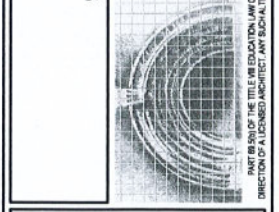
REV. NO.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED. COPYRIGHT ©
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO. 19054
 DATE: 10/16/2020
 DRAWN BY: TF
 SCALE: AS NOTED

CODE REVIEW FOR:
U HAUL
 960 CANAL STREET, SYRACUSE, NY

HOLMES ■ KING ■ KALLQUIST & Associates, Architects, LLP
 575 North Salina Street, Syracuse, NY 13208
 Ph: (315) 476-8371 Fax: (315) 476-5420
 www.hkkarchitects.com

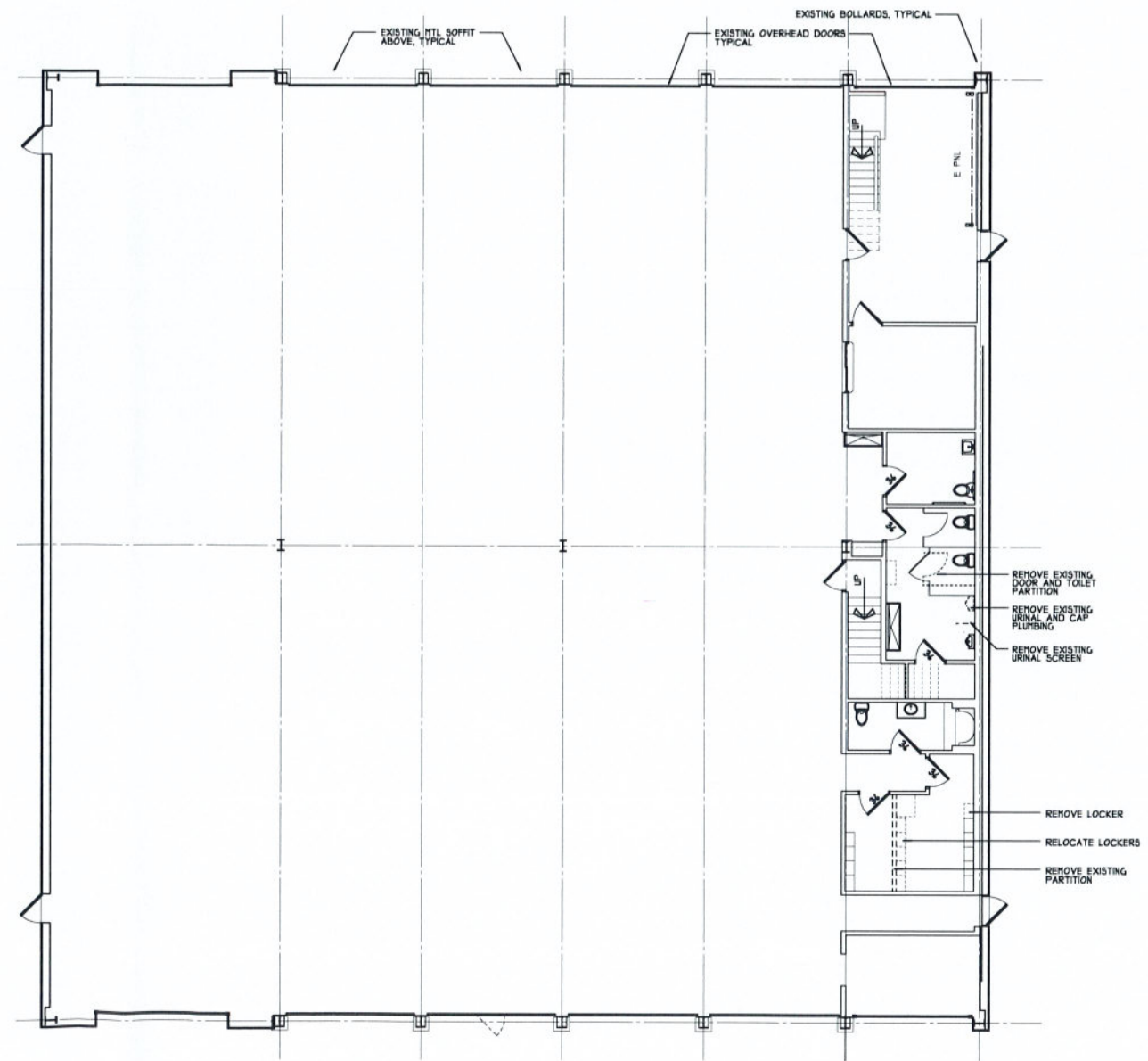


SITE PLAN

L1.1

SITE PLAN
 SCALE: 1" = 20'-0"
 A-1
 ALO

S:\1\2020 S\JOB NUMBERS\2019\19054 U Haul Canal Street\Comdec\FIG1\19054.dwg



FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

A-1
 DL

REV. NO.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED. COPYRIGHT ©
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO: 19054
 DATE: 09/11/2020
 DRAWN BY: TF
 SCALE: AS NOTED



CODE REVIEW FOR:
U HAUL
 960 CANAL STREET, SYRACUSE, NY

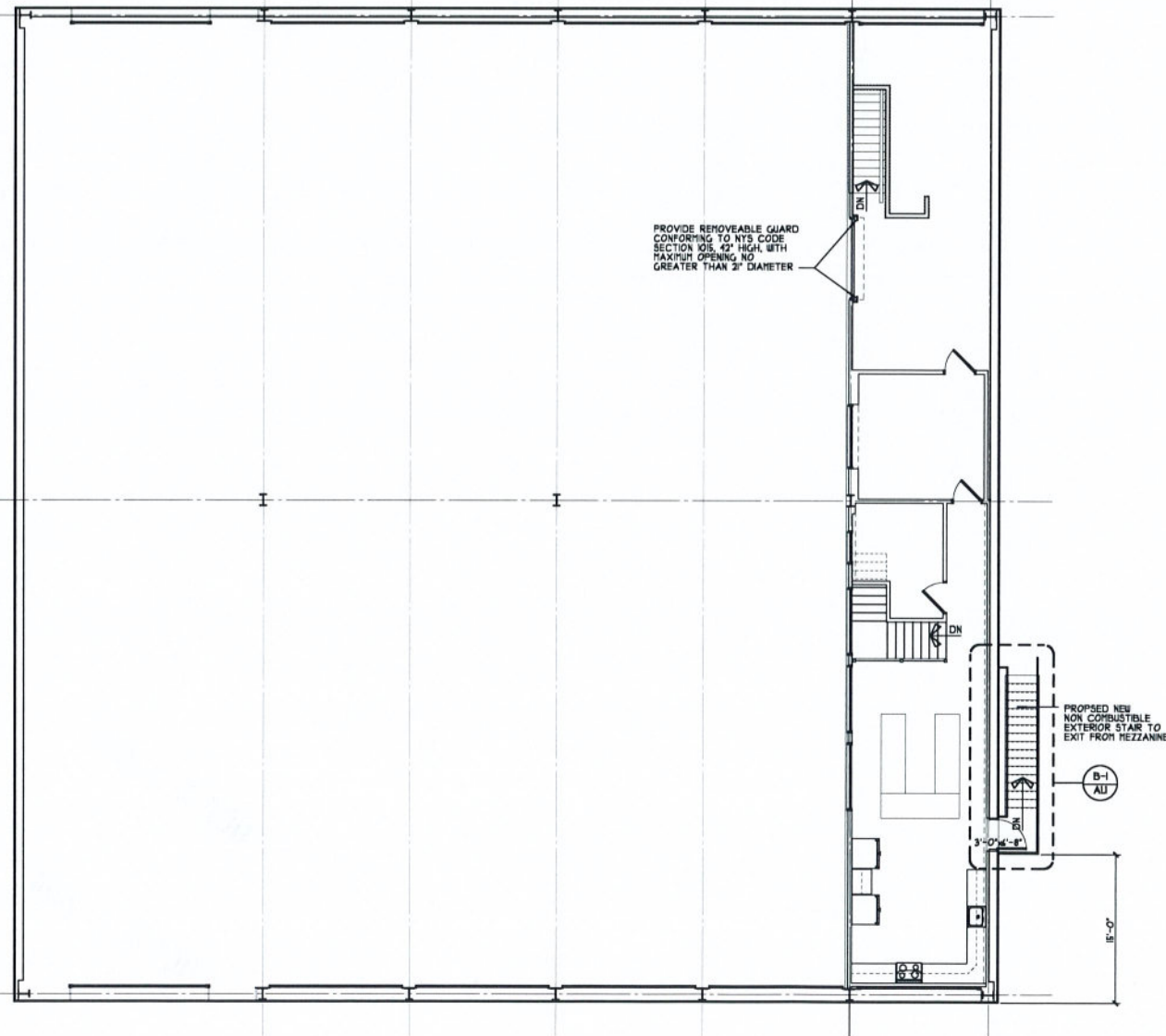
HOLMES • KING • KALLQUIST & Associates, Architects, LLP
 575 North Salina Street, Syracuse, NY 13208
 Ph: (315) 476-8871 Fax: (315) 476-5420
 www.hkkarchitects.com

FIRST FLOOR
 DEMOLITION PLAN

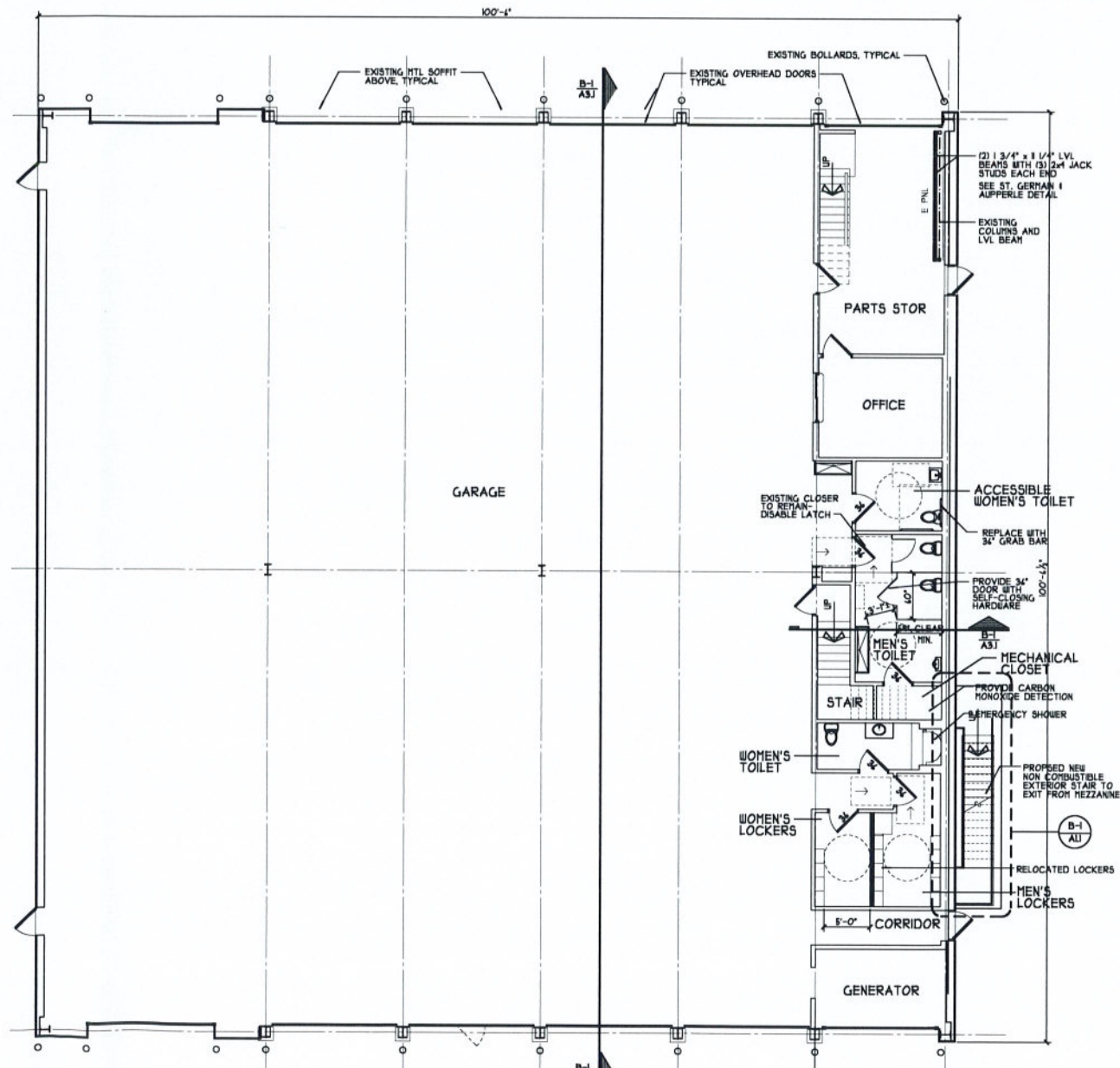
D1.1

PART BE BEY OF THE TITLE (IF EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THE DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART BE BEY.

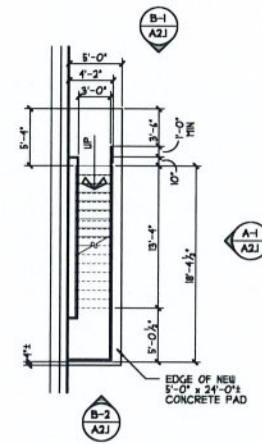
9/15/2020 8:40:01 AM U:\haul\canal\street\condoc\pl01\19054 - A1.dwg



MEZZANINE FLOOR PLAN
SCALE: 1/8" = 1'-0"
A-2
AU



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
A-1
AU



EXTERIOR STAIR PLAN
SCALE: 1/8" = 1'-0"
B-1
AU

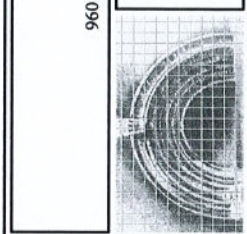
REV. NO.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT, AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT © THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO: 19054
DATE: 09/11/2020
DRAWN BY: TEF
SCALE: AS NOTED

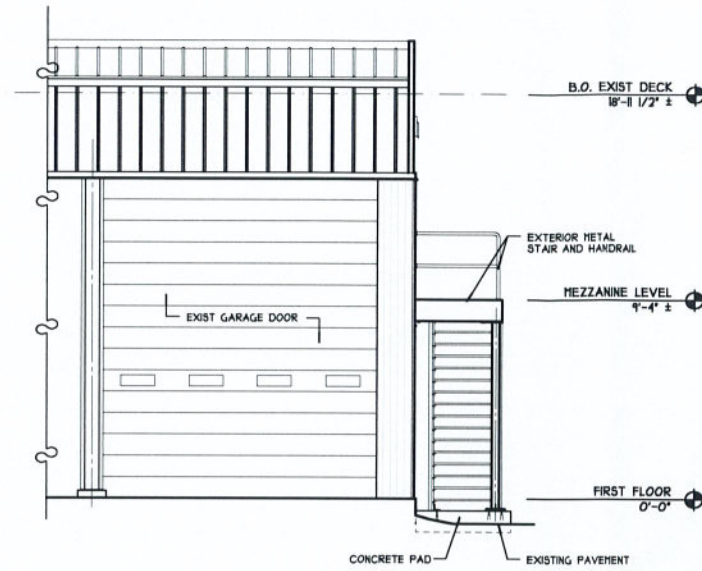
CODE REVIEW FOR:
U HAUL
960 CANAL STREET, SYRACUSE, NY

HOLMES • KING • KALLQUIST & Associates, Architects, LLP
575 North Salina Street, Syracuse, NY 13208
Ph: (315) 476-8871 Fax: (315) 476-5420
www.hkkarchitects.com

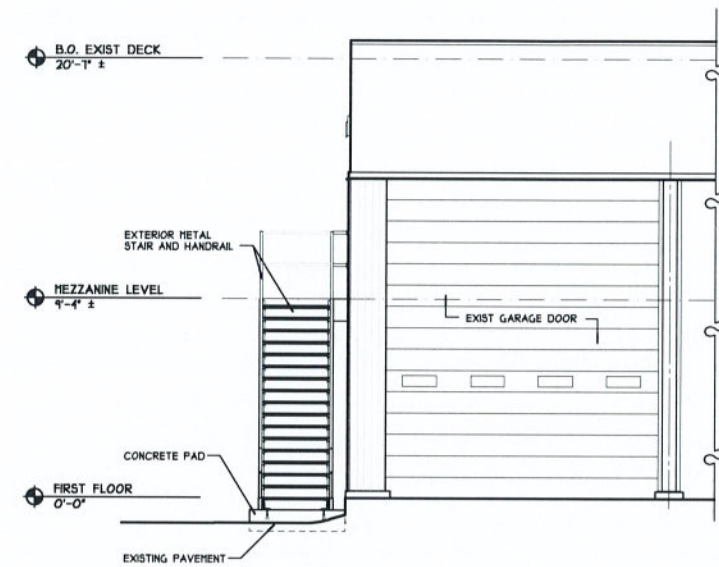


FIRST FLOOR PLAN AND MEZZANINE FLOOR PLAN

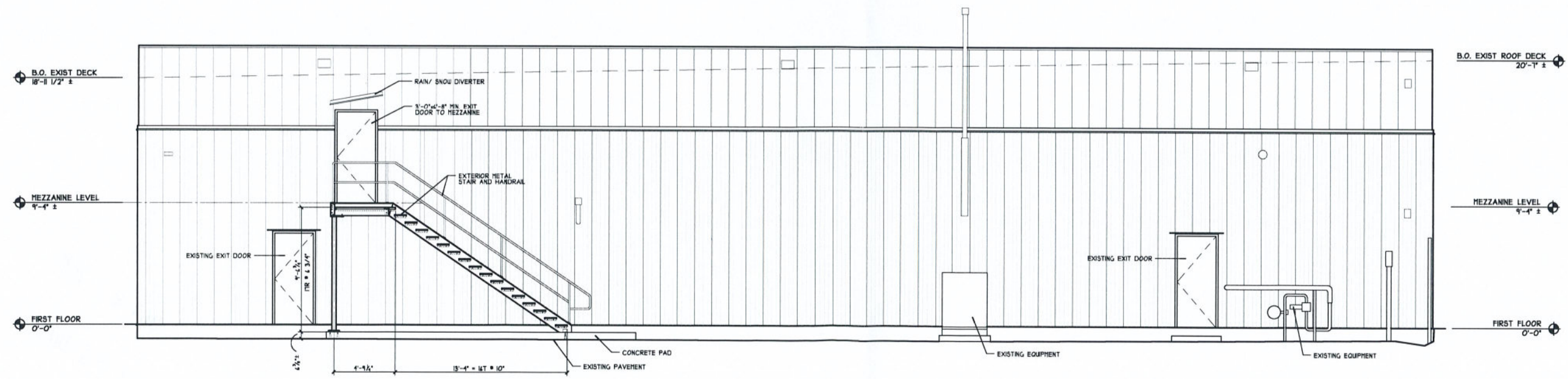
A1.1



PARTIAL EXTERIOR ELEVATION- SOUTH
SCALE: 1/4" = 1'-0"
B-2
A2.1



PARTIAL EXTERIOR ELEVATION- NORTH
SCALE: 1/4" = 1'-0"
B-1
A2.1



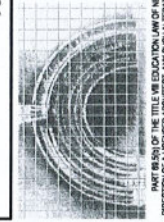
EXTERIOR ELEVATION- EAST
SCALE: 1/4" = 1'-0"
A-1
A2.1

REV. No.	DATE	DRAWN BY	DESCRIPTION

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED. COPYRIGHT (C) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

JOB NO: 19054
DATE: 09/11/2020
DRAWN BY: TEF
SCALE: AS NOTED

CODE REVIEW FOR:
U HAUL
960 CANAL STREET, SYRACUSE, NY
HOLMES • KING • KALLQUIST & Associates, Architects, LLP
572 North Salina Street, Syracuse, NY 13208
Ph: (315) 476-8371 Fax: (315) 476-5420
www.hkkarchitects.com

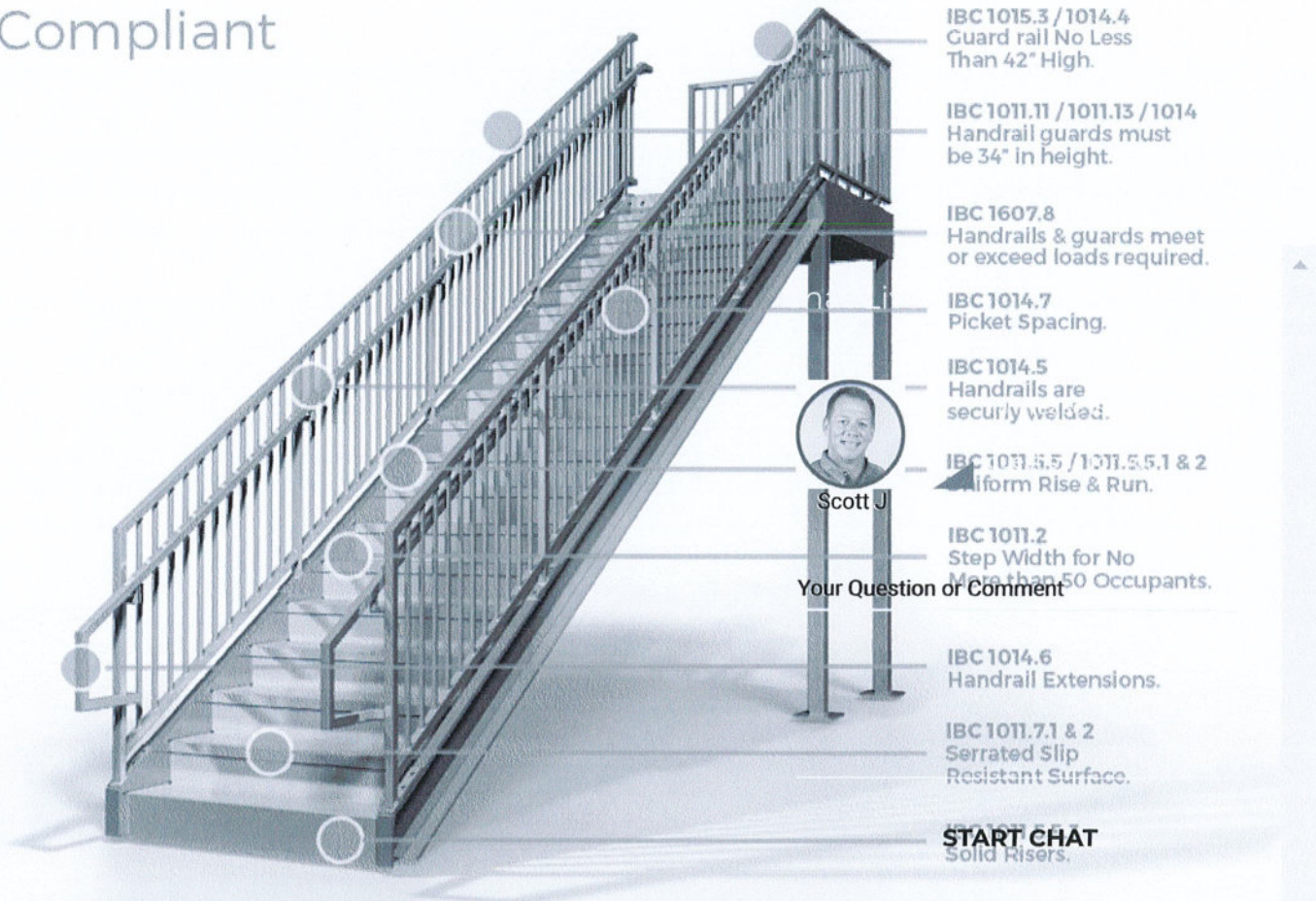


EXTERIOR ELEVATIONS

A2.1

Our metal stairs are IBC Compliant... are yours?

IBC Compliant



[International Building Code \(https://www.iccsafe.org/products-and-services/i-codes/2018-i-codes/ibc/\)](https://www.iccsafe.org/products-and-services/i-codes/2018-i-codes/ibc/) Guidelines overview for commercial buildings and common stairs in buildings. It is much more complex, but these are the general rules.

Stairways have to be at least 44" (1118mm) if occupant load is over 50 and 36" (914mm) width if under 50 occupants you can go to. Stairs must have at least 80" of head height measured off the tread nosings and it needs to be maintained for one additional riser depth at the bottom of the stairs. The riser height must be between 4" (102mm) and 7" (178mm) and the treads must be at least 11" (279mm) deep.

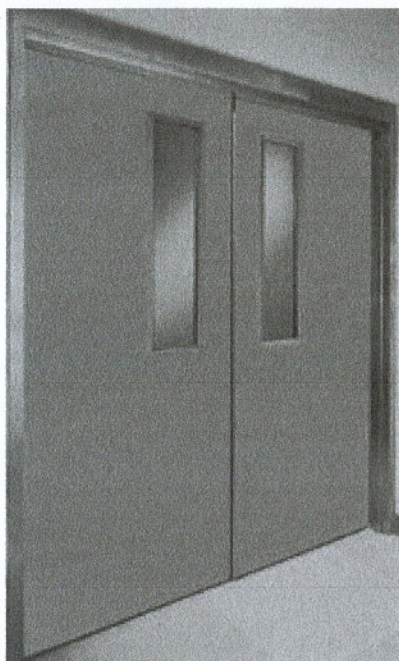
Stairs with winders need to be at least 11" (279mm) deep and when 12" (305mm) in from the narrow edge and the minimum depth must be 10" (254mm). ErectaStep commercial stairs with winders will be custom orders.

Stair landings are required for 12' (3658mm) vertical stairs inclines and must be at least as deep as the stairs are wide (up to 4'-0"). Where a door opens into the landing it can't project more than 7" (178mm) into the required depth of the landing.

Handrails in IBC buildings need to return to a wall, a guard or the walking surface or continue to another handrail. The IBC requires that your handrail extend 12" (305mm) past the top riser and one tread depth past the bottom riser. It is important to note that the ADA will require you to go one tread depth plus 12" (305mm) past the bottom riser so it

Chat

SL Series



About the product

The SL20 and SL18 Series **Square Edge** flush doors are designed to meet the architectural requirements for full flush doors. Refer to Section 11 (Architectural) for specifications and the selection and usage guide of the appropriate door constructions.

This door construction combines the strength and dimensional stability of steel with the structural integrity of the laminate core. The continuous bonding of core to steel face sheets provides an attractive, flat door, free of face welding marks. Tests have proven that the construction employed has integral high resistance to impact damage, low thermal conductivity and high STC ratings.

To meet application, specification and performance requirements, the SL Series door offers options including sizes, glass light designs and hardware preparations.

SL Series doors are 1 3/4" (45 mm) thick, with **Square Edges**.

Installation

1. Installation shall conform to the published Steelcraft installation instructions, ANSI A250.11-2012 (formerly SDI 105) *Recommended Erection Instructions for Steel Frames and HMMA 840*.
2. Fire Rated Assemblies must be in accordance with NFPA Pamphlet 80. The *Authority Having Jurisdiction* is the final authority on issues related to the installation and use of installed Fire Rated Doors.

Features and benefits

Steelcraft's SL Series doors offer the following standard features, which enhance performance and durability:

1. **Core Systems** that enhance the structural integrity of the door:
 - **Honeycomb (standard):** 1" (25 mm) cell kraft honeycomb configuration that increases structural integrity while reducing overall weight
 - **Polystyrene (optional):** enhanced thermal performance
2. **Full Height, Epoxy Filled Mechanical Interlock Edges** provide structural support and stability the full height of the door edges.
3. **Standard Hinge Preparations** for 4 1/2" (114 mm) x .134" (3.3 mm) standard weight or .180" (4.7 mm) heavy weight hinges.
4. **14 Gauge [0.067" (1.7 mm)] Inverted Top and Bottom Channels** provide stability and protection for the top and bottom edges from abuse.
5. **Square Hinge and Lock Edges** allow for non-handed inventory control for local distribution.
6. **Recessed Dezigner™ Glass Trim** provides a clean, neat and flush finish with the door surface.
7. **Factory Applied Baked-On Rust Inhibiting Primer** paint in accordance with ANSI A250.10-2011.

Specification compliance

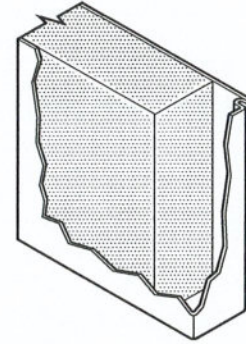
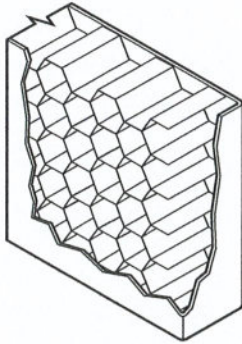
1. Door construction for Steelcraft SL Series doors meets the requirements of ANSI A250.8-2017 (SDI 100).
2. Hardware preparations and reinforcements are in accordance with ANSI A250.6-2003 (R2009). Locations are in accordance with ANSI/DHI A115 unless otherwise stated.

Fire ratings

SL Series doors meet the broadest fire rating requirements. They are listed for installations requiring compliance to both neutral pressure testing (ASTM E152 and UL-10B) and positive pressure standards (UL-10C).

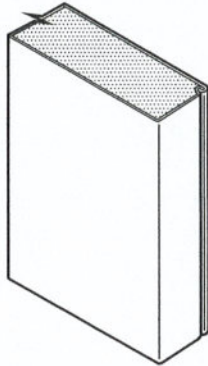
Doors • SL Series

Rigid Honeycomb



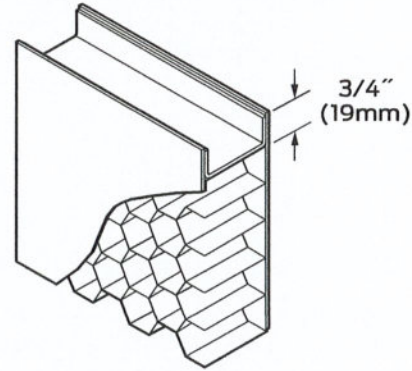
Standard Laminated Honeycomb Core

- 1" (25 mm) cell, 99 pound Kraft honeycomb
- Honeycomb surfaces sanded for maximum adhesion
- Impregnated with phenolic resin (resists mildew and vermin)
- Laminated to both face sheets with contact adhesive
- Assembled door is run through high pressure pinch rollers, achieving ultimate bond



Optional Polystyrene Core

- 1 pound (453.6g) per ft³ density slab
- Laminated to both face sheets with contact adhesive
- Labeled applications



Standard Rigid 14 Gauge End Channel Construction

- 14 gauge inverted galvanized top & bottom channels
- Projection welded to both face sheets
- For optional caps, see "Weather seals" on page 151.

Standard Premium Edge Construction

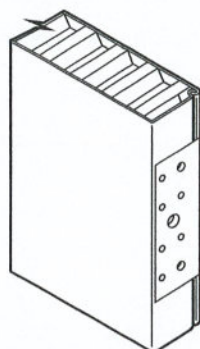
- Beveled hinge & lock edges
- Full height mechanical interlock with epoxy adhesive
- Visible edge seam standard

Door application and usage			
Series	Steel Thickness	Opening	Usage Frequency
SL20	20 Ga (0.8 mm)	Interior - Cold Rolled Steel	Standard Duty
SL20	20 Ga (0.8 mm)	Exterior - Galvanized Steel	Light Commercial applications with minimal use and abuse
SL18	18 Ga (1.0 mm)	Interior - Cold Rolled Steel	Heavy Duty
SL18	18 Ga (1.0 mm)	Exterior - Galvanized Steel	Heavy Commercial & Institutional applications with high use

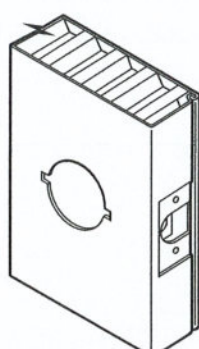
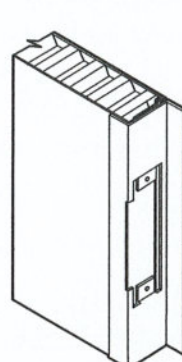
Doors • SL Series

Standard hardware preparations

Typical hardware applications shown. Refer to "Hardware" section for more details.

**Mortise Hinge**

7 Gauge hinge reinforcement,
reversible hinge fillers supplied

**161 Lock
61L Available****Inactive Leaf ASA
Strike Prep with
Astragal attached****Optional 14 Gauge
Closer Reinforcement****Standard: mortised and reinforced for**

- Template hinge preparations for 4 1/2" x .134" standard weight hinges or for 4 1/2" x .180" heavy weight hinges. Butt hinge preparations are cut through for non-handed function; spacer plates are furnished for field installation and handing.
- The cylindrical 161, 61L and mortise 86 lock preps are the most commonly used active leaf preparations. The 4 7/8 (124 mm) strike prep is the most commonly used inactive leaf preparation.
- Optional reinforcements for surface Closers are available.
- Limited hardware applications are available.

Door Sizes and ANSI A250.8 Conversions

Steelcraft product selection for SL Series doors has been matched to ANSI/SDI Level and Model designations.

- In accordance with ANSI A250.8-2017 (SDI 100), core material is not specific to the level or model designations. Core material selection is specified based on preference and application.
- Recommended minimum frame gauge also applies to the frequency of operation of the opening.

Series	ANSI A250.8 - SDI 100			Edge Construction	Edge Maximum Sizes		Recommended Gauge of Frame
	Level	Model	Description		Single	Pair	
Level 1: Light Commercial							
SL20	1	1	Full Flush	Visible	3'0" x 8'0" 914 mm x 2438 mm	6'0" x 8'0" 1829 mm x 2438 mm	18 Gauge [0.042" (1.0 mm)] 16 Gauge [0.053" (1.3 mm)]
Level 2: Heavy Duty Commercial & Institutional							
SL18	2	1	Full Flush	Visible	4'0" x 8'0" 1219 mm x 2438 mm	8'0" x 8'0" 2438 mm x 2438 mm	16 Gauge [0.053" (1.3 mm)]

Doors • SL Series

Door edge construction

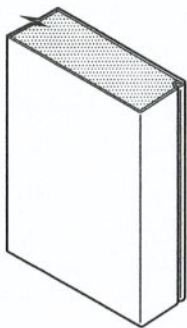
Optional Edge Seams available in the SL Series doors:

- SL: Standard feature includes visible edge seams with full height interlocked edges.

Standard visible edge seam

Features

- Full height mechanical interlock
- Interlock filled with epoxy adhesive
- Visible edge seam

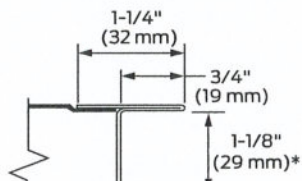
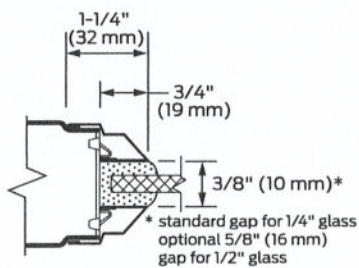


Glass light options

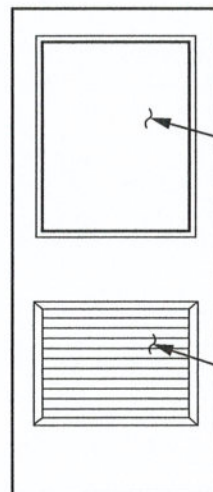
Refer to the Lights and Louvers section for further details.

Designer® Trim

- Standard for 1/4" Thick Glass
- Optional for 1/2" Thick Glass



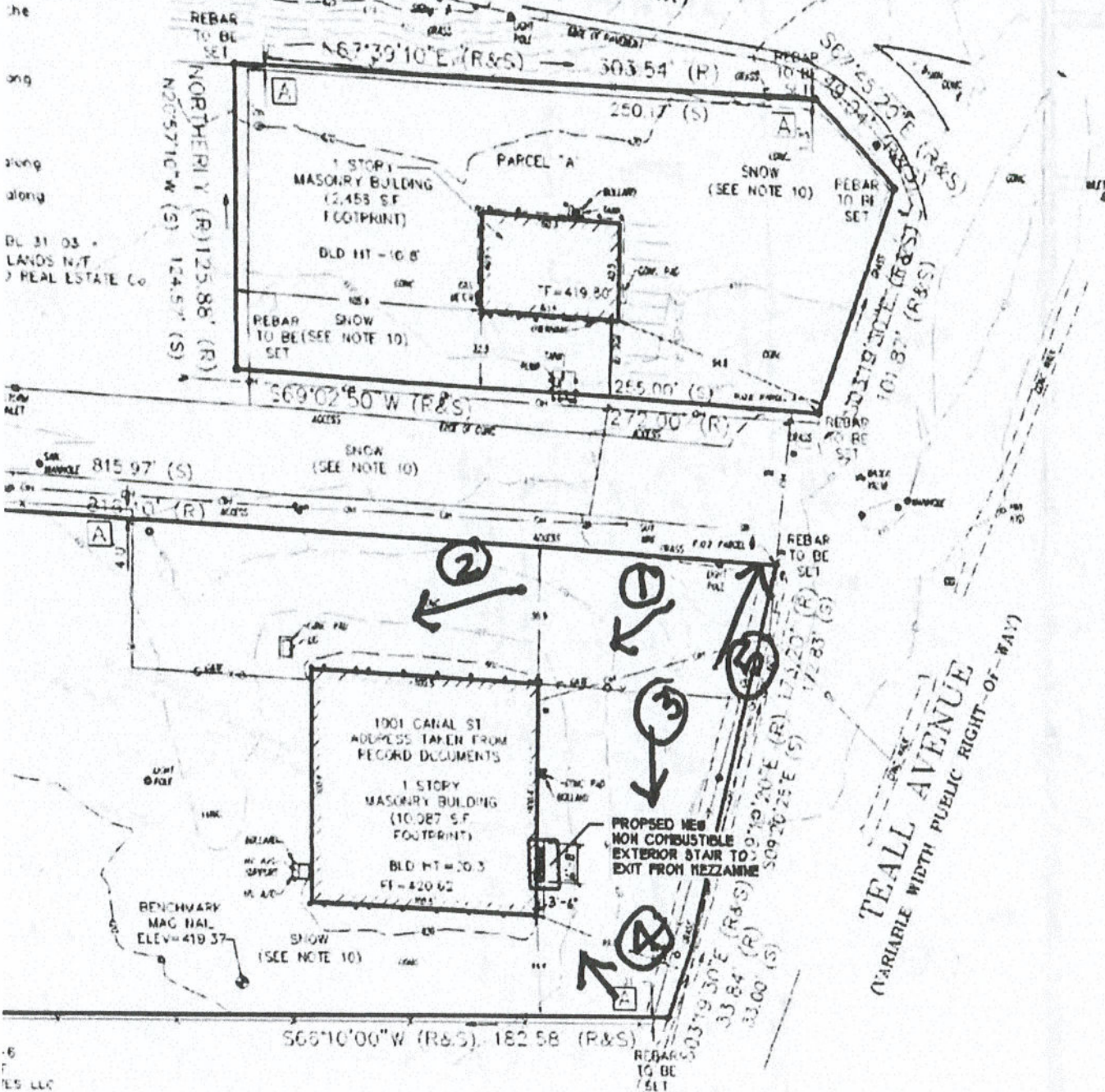
* standard gap for 1" glass optional 7/8" (22 mm) gap for 3/4" glass
Not available on 14 gauge doors



Note: Glazing type and thickness vary per job requirements.

Note: Louver size and type vary per requirements.

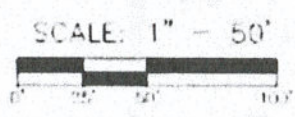
INTERSTATE 690
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



Encroachment Statement

PHOTO KEY

A LINE CROSSES PROPERTY LINE AT MULTIPLE LOCATIONS BY VARYING DISTANCES



⑤ U-haul
227 Teall Av



④

U-haul
227 Teall Ave



③ U-haul
227 Teall Ave



② U-haul
227 Teall Ave



① U-Haul
227 Teall Ave

