

City of Syracuse Zoning Office

Application for  PROJECT SITE REVIEW  SITE PLAN REVIEW-LAKEFRONT DISTRICT  
City Hall Commons - Room 500 \* 201 E. Washington Street \* Syracuse, NY 13202-1426 \* 315-448-8640

For Office Use:      Filing Date:                                      Case Number:                                      Zoning District:

PROPERTY TAX ASSESSMENT ADDRESS(ES)                                      TAX ID(S)/SBL

(See Tax Assessment Roll at [syrgov.net/Assessment.aspx](http://syrgov.net/Assessment.aspx), or 315-448-8280)

664 Burnet Avenue, Syracuse, NY 13203                                      030. - 04 - 19.0

PROJECT TYPE (please check all that apply and briefly describe)

- Demolition: Selective demolition for installation of new exterior finishes
- New Construction: \_\_\_\_\_
- Exterior Alteration: Installation of new siding, EIFS finish system and 2nd floor windows
- Site Changes: Parking lot improvements to incorporate Save the Rain Funding and reduce the curb cut at the street

PROJECT DESCRIPTION

Proposed improvements to 2nd floor of building and exterior work to include new exterior windows, siding and entrance canopy. 2nd floor to be built out as open plan office

Exterior improvements to be metal siding, building insulation and EIFS on existing facade

Parking lot improvements to incorporate pervious pavement, sidewalks, trees and green space

ZONING USE AND BUILDING OCCUPANCY INFORMATION (existing, proposed, and changes)

Existing Occupancy Type - (IA) work on second floor - Retail Storage (M) permitted use

Proposed Occupancy Type - (IA) - 2nd floor as Office (B) permitted use

**PROPERTY OWNER** (required)

As listed on the Tax Assessment Roll available at [syrgov.net/Assessment.aspx](http://syrgov.net/Assessment.aspx) or 315-448-8280

Kerry P. Quaglia CEO Home HeadQuarters Inc

*First Name* Kerry *Last Name* P. Quaglia *Title & Company* CEO Home HeadQuarters Inc  
538 Erie Blvd West, Suite 100

*Address* Syracuse NY 13204 315-474-1939 Kerryq@homehq.org

*City* Syracuse *State & Zip* NY 13204 *Phone* 315-474-1939 *email* Kerryq@homehq.org

**APPLICANT** (if different from owner)

Jasmes Williams Construction Project Manager Home HeadQuarters Inc

*First Name* Jasmes *Last Name* Williams *Title & Company* Construction Project Manager Home HeadQuarters Inc  
538 Erie Blvd West, Suite 100

*Address* Syracuse NY 132404 315-807-9036 cell Jimw@homehq.org

*City* Syracuse *State & Zip* NY 132404 *Phone* 315-807-9036 cell *email* Jimw@homehq.org

**REPRESENTATIVE** (architect, engineer, attorney, etc., if applicable)

*First Name* *Last Name* *Title & Company*

*Address*

*City* *State & Zip* *Phone* *email*

**DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

**PROPERTY OWNER SIGNATURE** (required)

As listed on the Syracuse Tax Assessment Roll available at [syrgov.net/Assessment.aspx](http://syrgov.net/Assessment.aspx), or 315-448-8280. If not listed as the current owner, please include a proof of ownership, e.g., a copy of the deed. **Attorney's** signing on behalf of the owner must include a one page letter describing the legal representative arrangement. If the property owner is a Corporation or Organization, the person signing must provide verification they are a member. **Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.**



3/13/2021

**PROPERTY OWNER SIGNATURE**

**DATE**

Kerry P. Quaglia , CEO Home HeadQuarters Inc

Please legibly **PRINT SIGNATURE NAME, and, if applicable, TITLE and COMPANY**

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

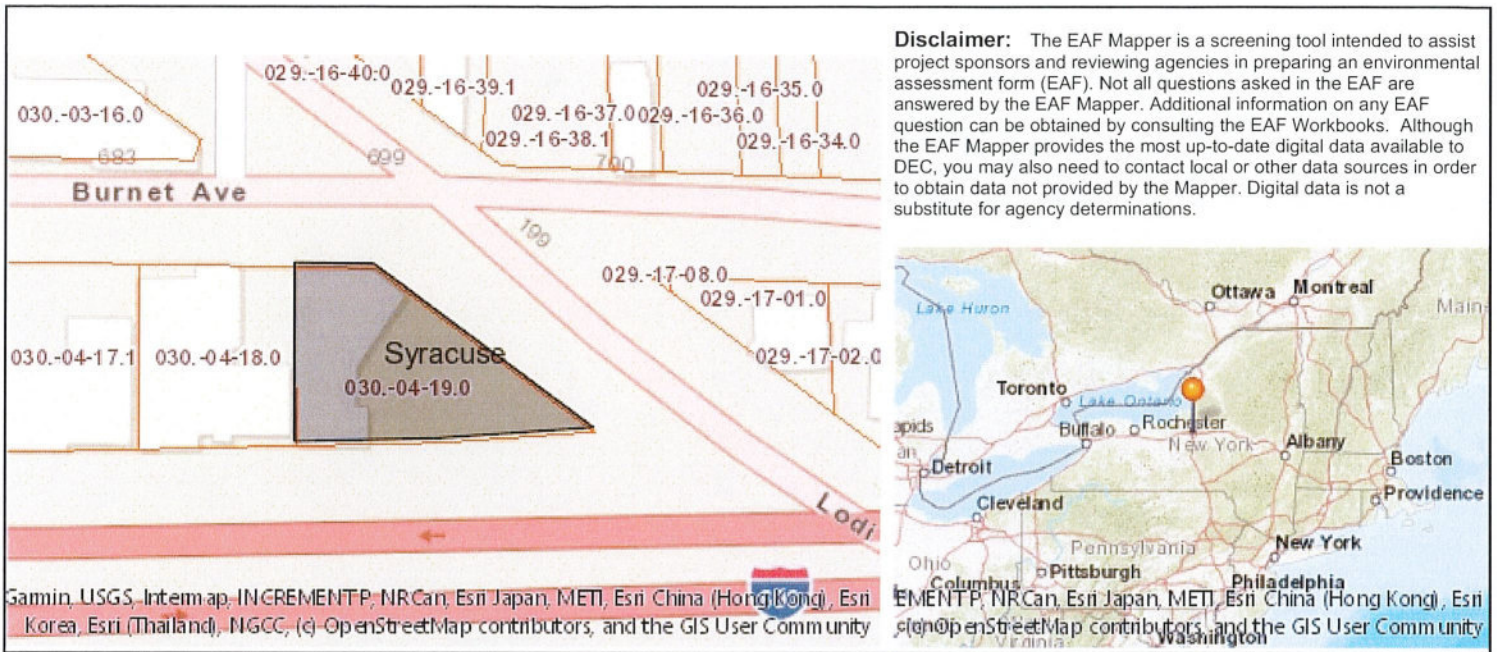
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project: 664 BURNET AVENUE - CORE AND SHELL RENOVATIONS AND SITE IMPROVEMENTS				
Project Location (describe, and attach a location map): 664 BURNET AVE, SYRACUSE, NY 13203				
Brief Description of Proposed Action: PROJECT INCLUDES INTERIOR SECOND FLOOR RENOVATIONS FOR OPEN PLAN OFFICE SPACE AND EXTERIOR BUILDING AND SITE IMPROVEMENTS. BUILDING WILL HAVE NEW SIDING AND EIFS FINISHES AND COMMERCIAL ALUMINUM WINDOWS INSTALLED ON THE EXTERIOR. SITE WILL INCLUDE ADDITION OF SIDEWALKS, GREEN SPACE AND PARKING LOT IMPROVEMENTS				
Name of Applicant or Sponsor: HOME HEADQUARTERS INC.		Telephone: 315-459-6676 E-Mail: JIMW@HOMEHQ.ORG		
Address: 538 ERIE BLVD WEST				
City/PO: SYRACUSE		State: NY	Zip Code: 13204	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYS - ESD, RESTORE NEW YORK, ONONDAGA COUNTY SAVE THE RAIN GIF			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 0.31 acres		
b. Total acreage to be physically disturbed?		_____ .224 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 0.31 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



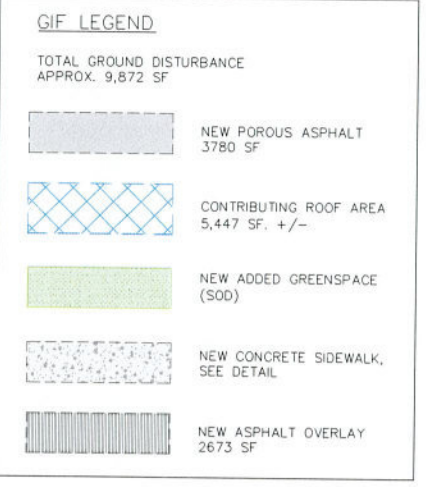
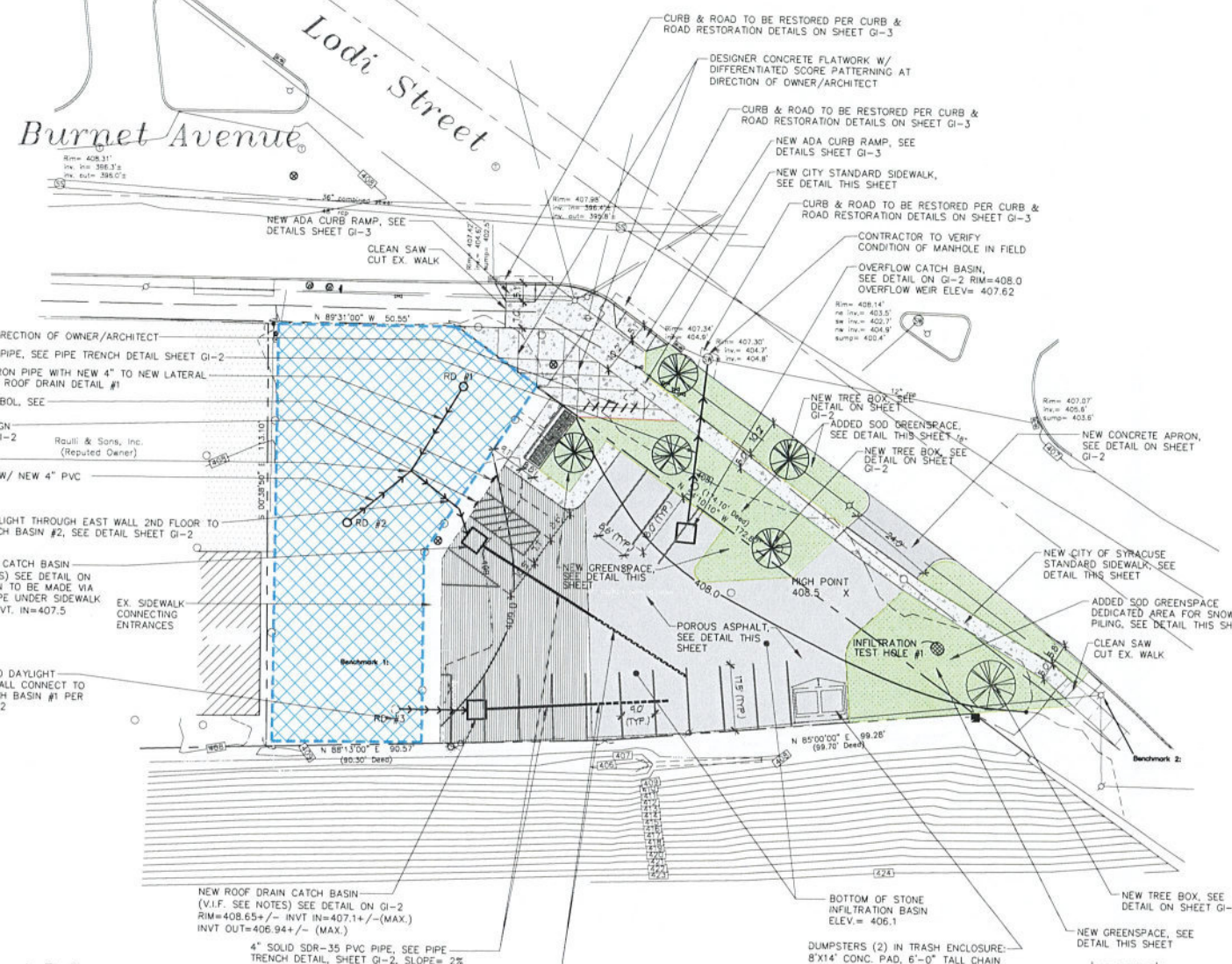


Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



North by Deed Reference

**ROOF DRAIN RETROFIT NOTES**  
 1. ALL CONNECTIONS FROM CAST IRON TO PVC TO BE MADE WITH FERNCO COUPLER OR EQUAL.  
 2. ALL PVC JOINTS TO BE SOLVENT WELDED.  
 3. ROOF DRAIN 14" TO BE ROUTED ABOVE DROP CEILING IN SERVICE AREA INTO THE 1ST FLOOR OF PARTS ROOM WITH PIPE RUN TO BE LOCATED OVERHEAD AT CEILING IN FIRST FLOOR OF PARTS AREA, DAYLIGHTED AS SHOWN ON PLAN.  
 4. ALL HORIZONTAL PIPE RUNS TO BE SLOPED AT 1/8" PER FT UNLESS OTHERWISE SHOWN.  
 5. NEW PIPE SIZES TO MATCH EXISTING UNLESS NOTED OTHERWISE.  
 6. DASHED LINES REPRESENT EXISTING PIPES/CONNECTIONS, SOLID LINES ARE NEW.



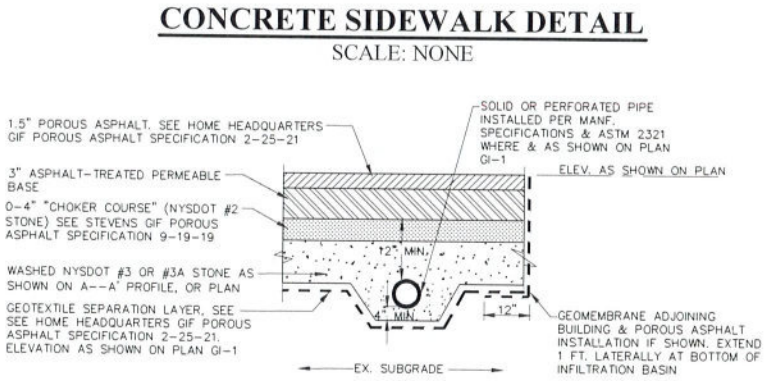
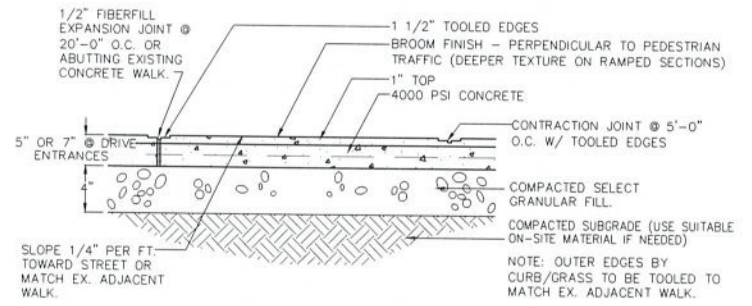
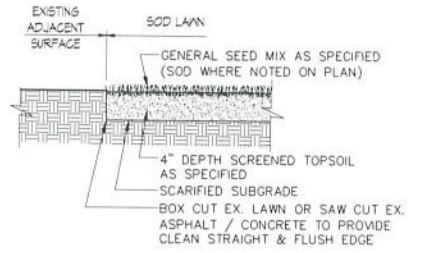
**Table 1: Infiltration Test Results - Former DeJulio's Renovation**  
 Location: 664-666 Burnet Ave, Syracuse, New York  
 Wednesday, June 19, 2019

Test Hole #	Pit Depth (in)	Time	Results					Soil Description
			Trial 1	Trial 2	Trial 3	Trial 4	Trial 5	
1	36	Start (in) Finish (in) Duration (min)	15.75 33.875 57	27.25 30.3 38	26.125 41 950	23.75 32 60	24 28 25	0'-6" asphalt, ROC 6'-36" dk brwn sand, fill, glass, stones

**Notes:**  
 Some leakage observed in Trials 1 and 2. Trial 5 adopted as representative infiltration rate.

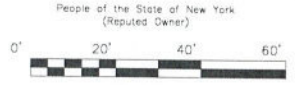
**Table 2: Porous Asphalt Lot Stormwater Retention Calculations - DeJulio's (GIF 182) 664-666 Burnet Ave., Syracuse**

Porous Asphalt Lot Area	3,805	sq ft
Total Contributing Area	12,672	sq ft
<b>Stormwater Mitigation</b>		
Porous Lot		
Runoff Volume from 2-in event	2,112	cu ft
Effective depth of infiltration basin storage:	18	in
Porous Lot Area	3,805	sq ft
Infiltration Basin Porosity	40%	
Maximum stormwater retention:	2,283	cu ft



**Deed Reference:**  
 DeJulio's Army & Navy Store, Inc.  
 Home Headquarters, Inc.  
 Bargain and Sale Deed dated September 17, 2017  
 Filed in the Madison County Clerk's Office on  
 September 22, 2017 as Instrument #2017-33460

**Interstate Route #690**



**SITE PLAN**  
 SCALE: 1"=20'-0"

- Legend:**
- light pole
  - utility pole
  - overhead utility wires
  - traffic signal pole
  - pedestrian signal pole
  - catch basin
  - storm water manhole
  - combined sewer manhole
  - communications manhole
  - electric manhole
  - gas valve
  - water valve
  - gas main
  - water main
  - traffic signal box
  - sewer clean out

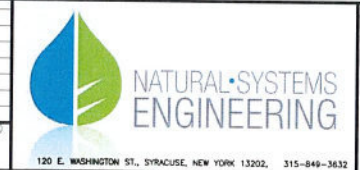
**GENERAL NOTES:**  
 1. THIS DESIGN IS FOR GREEN INFRASTRUCTURE (GI) MEASURE(S) INTENDED TO MITIGATE STORMWATER RUNOFF ASSOCIATED WITH IMPERVIOUS AREA(S). PROJECT IS BEING UNDERTAKEN PER THE CLIENT'S APPLICATION FOR REIMBURSEMENT OF SUCH GI UNDER ONONDAGA COUNTY'S "SAVE THE RAIN" PROGRAM. BECAUSE SUCH GI MEASURES INHERENTLY INVOLVE AN INFILTRATION COMPONENT, SUBSURFACE HYDROLOGY WILL INEVITABLY BE ALTERED. THIS DESIGN MAY INCORPORATE CERTAIN PRACTICAL AND SOUND ENGINEERING MEASURES INTENDED TO MITIGATE THE EFFECTS OF SUCH INFILTRATION ON BUILDING BASEMENTS AND OTHER SITE INFRASTRUCTURE, AS CONSIDERED PRUDENT & FEASIBLE, GIVEN THE TECHNICAL AND FISCAL CONSTRAINTS OF THE PROGRAM. NSE CANNOT AND DOES NOT ASSUME ANY LIABILITY, HOWEVER, FOR SUCH IMPACT TO ON-SITE INFRASTRUCTURE RESULTING FROM INFILTRATION OCCURRING AS A RESULT OF THE IMPLEMENTATION OF THIS PLAN.  
 2. ALL UNDERGROUND ITEMS ARE TO BE CONSIDERED APPROXIMATE LOCATIONS ONLY. ADDITIONAL BURIED UTILITIES OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE TO LOCATE BURIED UTILITIES / STRUCTURES. ALL UNDERGROUND UTILITIES MUST BE VERIFIED BY CONTRACTOR, INCLUDING BUT NOT LIMITED TO CONTACTING DIG-SAFELY NY AT 800-962-7962, PRIOR TO CONSTRUCTION.  
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND OTHER IMPROVEMENTS ADJACENT TO ANY AND ALL EXCAVATIONS AND OTHER CONSTRUCTION ACTIVITIES.  
 4. UNLESS OTHERWISE NOTED, ALL MATERIALS & METHODS OF CONSTRUCTION SHALL CONFORM TO NYSDOT STANDARD DETAILS & SPECIFICATIONS.  
 5. CONTRACTOR SHALL ENSURE THAT NEITHER EROSION OR SEDIMENTATION RESULTING IN ADVERSE IMPACT TO CITY SEWER SYSTEM OR ADJACENT/DOWNSTREAM PROPERTY(IES), THROUGH THE USE OF SILT FENCING, CATCH BASIN INLET PROTECTION, AND/OR OTHER ESC MEASURES, IF NECESSARY, PROJECT IS A REDEVELOPMENT PROJECT AS DEFINED BY NYSDEC AND WILL RESULT IN A NET DECREASE IN IMPERVIOUS AREA, THUS RESULTING IN IMPROVEMENT OVER EXISTING CONDITIONS WITH RESPECT TO STORMWATER QUALITY AND QUANTITY.  
 6. MATERIALS SELECTED AND METHODS OF ATTACHMENT FOR ALL BUILDING ATTACHMENTS, SUCH AS GUTTERS AND DOWNSPOUTS, ARE SUBJECT TO APPROVAL BY OWNER, IN CONSULTATION WITH AN ARCHITECT AT OWNER'S DISCRETION. CONTRACTOR SHALL CONSULT WITH OWNER ON ALL SUCH MATERIALS AND METHODS OF ATTACHMENT.  
 7. PIPE RUNS SHALL BE INSTALLED AT A SLOPE OF 2% OR GREATER UNLESS OTHERWISE NOTED.  
 8. LOCATIONS OF ALL NEW ROOF DRAIN CATCH BASINS AND ASSOCIATED RIM ELEVATIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BASED ON ACTUAL LOCATIONS OF ROOF DRAIN OUTLETS AS DETERMINED BY CONTRACTOR.  
 9. CONTRACTOR TO VERIFY FUNCTIONALITY OF ALL EXISTING SEWER LINES WHERE CONNECTIONS OR RECONNECTIONS OF NEW OR RETROFITTED CATCH BASINS ARE MADE. ANY PLUGGING OR OTHER BLOCKAGES SHALL BE CORRECTED PRIOR TO COMPLETING ALL CONNECTIONS.  
 10. CONTRACTOR TO MAINTAIN, RELOCATE, OR REPLACE ALL EXISTING SURVEY MONUMENTS, CONTROL POINTS, BENCHMARKS, AND STAKES WHICH ARE DISTURBED OR DESTROYED DURING CONSTRUCTION. PERFORM THE WORK TO PROVIDE THE SAME LEVEL OF ACCURACY AS THE ORIGINAL MONUMENT(S) IN A TIMELY MANNER, AND AT THE CONTRACTOR'S EXPENSE.

**SURVEY NOTES:**  
 1. TOPOGRAPHY BASED ON SURVEY BY MYERS & ASSOCIATES, P.C., NYSLS# 49229 (CANASTOTA, NEW YORK) DATED FEBRUARY 11, 2019.  
 2. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM OBSERVABLE SURFACE EVIDENCE AND RECORD INFORMATION PROVIDED BY VARIOUS MUNICIPAL AGENCIES.  
 3. CONTRACTOR TO MAINTAIN, RELOCATE, OR REPLACE ALL EXISTING SURVEY MONUMENTS, CONTROL POINTS, BENCHMARKS, AND STAKES WHICH ARE DISTURBED OR DESTROYED DURING CONSTRUCTION. PERFORM THE WORK TO PROVIDE THE SAME LEVEL OF ACCURACY AS THE ORIGINAL MONUMENT(S) IN A TIMELY MANNER, AND AT THE CONTRACTOR'S EXPENSE.  
 4. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM A COMBINATION OF FIELD MEASUREMENTS, AND INFORMATION PROVIDED BY OTHERS, THEREFORE THEIR LOCATION AND SIZE SHOULD BE CONSIDERED APPROXIMATE ONLY. THERE ALSO MAY BE OTHER FACILITIES, STRUCTURES OR UTILITIES THE EXISTENCE OF WHICH IS PRESENTLY UNKNOWN.  
 5. VERTICAL DATUM SOURCE - NAVD83  
 6. PARCEL AREA - 1.18 ACRES  
 7. ELEVATIONS SHOWN ARE BASED ON FIELD MEASUREMENTS. CONTOURS ARE MERELY AN INTERPOLATION AND SHOULD BE CONSIDERED AS SUCH ONLY.



NATURAL SYSTEMS ENGINEERING, PLLC, 2021. ALL RIGHTS RESERVED.

NO.	DATE	DESCRIPTION



AS NOTED	Home Headquarters, Inc.
DATE: 2-16-21	538 Eric Boulevard West, Suite 100, Syracuse, NY 13204
PROJECT: KET	DEJULIO'S RENOVATION
TITLE: ART	664-666 BURNET AVENUE SYRACUSE, NEW YORK 13203
SHEET NO:	SITE PLAN AND DETAILS
	GI-1

**PERMIT SET - NOT FOR CONSTRUCTION**



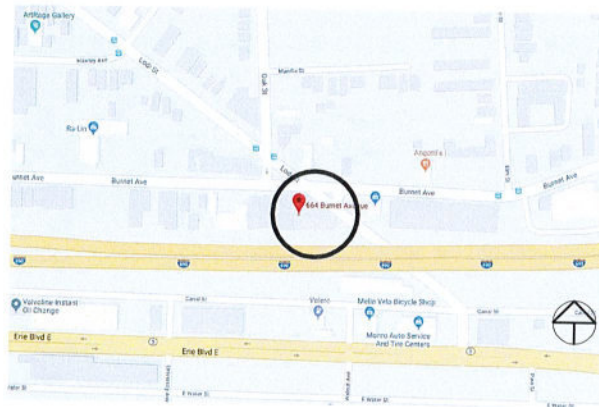
# DeJulio's Renovation

664 BURNET AVE.  
SYRACUSE, NY 13203

## Core and Shell Renovation + Site improvements

Building Exterior Improvements: New cladding and fenestration systems + New entry canopy.  
Building Interior Improvements: 2nd Floor office buildout, Including occupancy designation change and basic interior improvements.  
Multiple Site Improvements

LOCATION MAP: SYRACUSE 13203



### PROJECT TEAM

**OWNER**  
HOME HEADQUARTERS, INC.  
538 ERIE BLVD. WEST, SUITE 100  
SYRACUSE, NY 13204  
WWW.HOMEHQ.ORG

**ARCHITECT**  
ECHO ARCHITECTS  
466 WESTCOTT ST. # 2  
SYRACUSE, NY 13210  
WWW.ECHOMAKES.COM

**PROJECT ADDRESS**  
664 BURNET AVE.  
SYRACUSE, NY 13203

**PROJECT CONTACT:**  
JIM WILLIAMS  
jimw@homehq.org  
315-474-1939 x 6676

**PROJECT CONTACT:**  
ZACK BLOOMER  
zack@echomakes.com  
315-460-5435

### SCOPE OF WORK

PHASE 2 OF 2, SHELL RENOVATION OF THE FORMER DEJULIO'S ARMY NAVY STORE BUILDING EXTERIOR, NEW CLADDING AND FENESTRATION ON NORTH ELEVATION, ZONING/ LAND USE, OCCUPANCY CHANGE FOR THE 2ND FLOOR FROM RETAIL STORAGE TO OFFICE DESIGNATION.  
SITE: LANDSCAPE, SIDEWALK AND PARKING IMPROVEMENTS.  
NOTE: (FIRST FLOOR INTERIOR RENOVATION AND TENANT FIT OUT OCCURRED ON PREVIOUS PERMIT APPLICATION AND CONSTRUCTION HAS BEEN COMPLETED TO DATE).

MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS WILL BE DESIGNED TO ACCOMMODATE NEW USES AND PERFORM TO APPLICABLE CODE COMPLIANCE.

FIRE PROTECTION SYSTEMS (SPRINKLERS) CURRENTLY IN PLACE HAVE BEEN EVALUATED, VERIFIED AND MADE TO PERFORM TO APPLICABLE CODE COMPLIANCE.

MANUAL FIRE ALARM SYSTEM WILL BE UPGRADED TO CONFORM TO 907.2.9.1 BCNY'S.

### DRAWING LISTS

#### TITLE SHEETS:

T1: TITLE SHEET + CODE PATH  
T2: CODE COMPLIANCE  
T3: GENERAL INFO

#### SURVEY

S1: SURVEY

#### CIVIL

G1-1: SITE PLAN & DETAILS  
G1-2: DETAILS  
G1-3: DETAILS

#### ARCHITECTURAL

A1: ARCHITECTURAL SITE PLAN  
A2: DEMO PLANS  
A3: PROPOSED FLOOR PLANS  
A4: PROPOSED R.C.P.'S + POWER PLAN  
A5: ROOF PLAN  
A6: BUILDING ELEVATIONS  
A7: DETAILS  
A8: CANOPY PLAN + DETAILS  
A9: SCHEDULES  
A10: EXTERIOR MATERIAL SPEC OUTLINE + COLOR DIAGRAMS

### CODE ANALYSIS

**PROJECT TYPE:** ALTERATION: LEVEL 2 SHELL IMPROVEMENTS- NEW EXTERIOR INSULATION AND CLADDING WITH NEW WINDOWS, NEW ENTRY CANOPY INTERIOR RENOVATION/ BUILD-OUT OF 2ND FLOOR INCLUDING PARTIAL WINDOW REPLACEMENT

**BUILDING CODES:** NYS BUILDING CODE 2020 (BCNYS) NYS EXISTING BUILDING CODE 2020 (EBCNYS) FIRE CODE OF NYS 2020 PLUMBING, MECHANICAL, & FUEL AND GAS CODE OF NYS 2020 ELECTRICAL CODE OF NYS 2020 ENERGY CONSERVATION CODE OF NYS 2020 2009 ANSI 117.1 BARRIER FREE CODE

**LAND USE:** EXISTING OCCUPANCY TYPE: IA 2ND FLOOR ONLY- RETAIL STORAGE (M) PERMITTED USE

PROPOSED OCCUPANCY TYPE: IA 2ND FLOOR ONLY- OFFICE (B) PERMITTED USE

**CONSTRUCTION TYPE (602.3):** II-B NON-COMBUSTIBLE UNPROTECTED - (SPRINKLERED)

MIXED USE BLDG OCCUPANCY: RETAIL (M) | RETAIL (B) 4 STORY (B) | 4 STORY (B) 2 STORY

ALLOWABLE AREA = 76,000 (B) | 104,000 (S-2) 4,748 (B) | 3,312 (B) TOTAL: 8060 SF  
% OF PROGRAM 59% | 41%

**FIRE PROTECTION SYSTEM:** AUTOMATIC SUPPRESSION SYSTEM

**MEANS OF EGRESS HAZARD CATEGORIES (PER SECTION 1012.4)**  
EXISTING HAZARD: 3 (M)  
PROPOSED HAZARD: 4 (B) CHANGE TO LOWER HAZARD = ACCEPTABLE

**HEIGHTS AND AREAS HAZARD CATEGORIES (PER TABLE 1012.5)**  
EXISTING HAZARD: 3 (M)  
PROPOSED HAZARD: 4 (B) CHANGE TO LOWER HAZARD = ACCEPTABLE

**HEIGHTS AND AREA OF EXISTING BUILDING (PER 912.5.2) ACCEPTABLE**

**FIRE BARRIERS (PER 912.5.3):** 1 HOUR SEPARATION REQUIRED BETWEEN DIFFERENT BUILDINGS OCCUPANCIES IN SPRINKLERED MIX USE TYPE IIA BUILDING.

**EXISTING VERTICAL ASSEMBLIES > 3HR = 2HR** 8" CMU 2HR WALL ASSEMBLY  
**EXISTING HORIZONTAL ASSEMBLIES EXISTING = 1 HR** 5" CONC. + COMPOSIT DECK ON METAL BAR JOISTS

**2ND FLOOR: NUMBER OF EXITS (PER 1006.2.1)**  
1 EXIT ACCEPTABLE DUE TO SPRINKLERED BUILDING AND OCCUPANCY ≤ 49 AND MAX TRAVEL DISTANCE ≤ 100'

**MAX TRAVEL DISTANCE IN SPRINKLERED BUILDING (PER 1017.1):** B = 300' PROVIDED = 88'  
ALLOWABLE COMMON PATH DISTANCE B = 100' PROVIDED = 40'

**DEAD END CORRIDOR LIMIT (1020.4):** MAX = 20' PROVIDED = 0'

**OCCUPANT LOAD (OU) (PER TABLE 1004.1.1):** = 90: REFER TO OCCUPANCY PLANS

**EXIT CAPACITY (PER 1005):**  
TOTAL REQUIRED EXITS  
1ST FLOOR = 2 PROVIDED = 3  
2ND FLOOR = 1 (SEE ABOVE) PROVIDED = 1

**TOTAL REQUIRED EXIT WIDTH =**  
1ST FLOOR = 90 X .2 = 18" (MIN 32") PROVIDED = 114" (36" MIN)  
2ND FLOOR = 30 X .2 = 6" (MIN 32") PROVIDED = 36"

**TOTAL REQUIRED STAIR WIDTH =** 27 X .3 = 81" (MIN 36") PROVIDED = 40"

**TOTAL REQUIRED CORRIDOR WIDTH =** 90 X .2 = 18" (MIN 44") PROVIDED = 54"

**BUILDING HEIGHT (TABLE 504.3):** EXISTING: 22' 6" (MAX= 75') PROPOSED: NO CHANGE  
**NUMBERS OF STORIES:** EXISTING: 2 STORIES (MAX= 3) PROPOSED: NO CHANGE  
**AREA PER FLOOR (TABLE 506.2):** EXISTING: 5,516 1ST, 3,437 2ND PROPOSED: NO CHANGE  
**AREA TOTAL ALL FLOORS:** EXISTING: 8,953 SF (MAX 78,640 SF) PROPOSED: NO CHANGE

**INTERIOR WALL AND CEILING FINISHES (PER 803.5):** VERT. EXITS AND EXIT PASSAGES: TYPE B EXIT ACCESS CORRIDORS AND OTHER EXITWAYS: TYPE C ROOMS AND EXPOSED SPACES: TYPE C

**INTERIOR FLOOR FINISHES (PER 804.4):** ALL AREAS: CLASS 2 MIN.

**TYPE IIB CONSTRUCTION REQUIREMENTS: FIRE RESISTIVE RATINGS (PER 601 & 602):**  
STRUCTURAL ELEMENT: HOURLY RATING 0 HR  
EXTERIOR LOAD BARRING WALLS: 0 HR  
STRUCTURAL FRAME, INT. LOAD BEARING WALL, INT + EXT NON LOAD BEARING WALLS, FLOOR CONSTRUCTION & ROOF CONSTRUCTION INCLUDING SUPPORT BEAMS AND POSTS: 0 HR

### BUILDING TRADES

ALL TRADE WORK UNLESS EXPLICITLY DESIGNED AND PRESENTED WITHIN THIS DRAWING SET AND INVOLVED IN THIS RENOVATION PROJECT WILL BE DESIGNED, COORDINATED AND INSTALLED IN A DESIGN BUILD IMPLEMENTATION. EACH RESPECTIVE TRADE WILL BE DEVELOPED IN CONFORMANCE WITH THE RESPECTIVE CURRENT APPLICABLE CODES LISTED ABOVE. THE INDIVIDUAL TRADE CONTRACTORS WILL SURVEY CURRENT CONDITIONS, DOCUMENT DEFICIENCIES IN EXISTING SERVICES AND COORDINATE THEIR PROPOSED DESIGNS WITH RESPECT TO THE OVERALL INTENT OF THE PROJECT AND AMONGST ALL OTHER TRADES. ALL TRADE WORK TO BE SUBMITTED TO AND APPROVED BY ARCHITECT BEFORE IMPLEMENTATION.

### STRUCTURAL NOTES

NO MAJOR STRUCTURAL MODIFICATIONS TO SITING BUILDING: ADDITIONAL STRUCTURAL LOADING REQUIREMENTS ARE NOT REQUIRED FOR THE EXISTING BUILDING TO ACCOMMODATE THE CHANGE IN OCCUPANCY. THE CURRENT STRUCTURAL SYSTEMS WILL BE MAINTAINED THROUGHOUT. NO STRUCTURAL MODIFICATIONS OR CHANGES ARE PROPOSED TO ACCOMMODATE THE NEW SPATIAL LAYOUTS. THE NEW DESIGN WILL NOT AFFECT THE STRUCTURAL INTEGRITY OF THE ORIGINAL BUILDING DESIGN. NO ALTERATION WILL BE DONE TO ANY STRUCTURAL MEMBER THAT WILL REDUCE ITS EFFECTIVENESS TO DISTRIBUTE LOAD IN ITS INTENDED MANNER. THERE MAY BE INSTANCES WHERE SOME EXISTING STRUCTURAL MEMBERS WILL BE REQUIRED TO BE REINFORCED OR REPLACED (IN-KIND) TO ACCOUNT FOR PREVIOUS DAMAGE AND MAINTAIN SOUNDNESS OF INITIAL DESIGN STRENGTH. ALL NEW PUNCHED OPENINGS IN MASONRY WALLS WILL UTILIZE STEEL LINTELS, SUITABLY SIZED TO HANDLE THE DESIGN LOAD OF THE CORRESPONDING OPENING. NEW ELEVATOR SHAFT TO BE STRUCTURALLY SEPARATED FROM EXISTING BUILDING BY ELASTOMERIC CONTROL JOINT.

### FIRE SAFETY

BUILDING IS FULLY SPRINKLERED WITH QUICK RESPONSE HEADS. AN EVALUATION/ANALYSIS HAS BEEN CARRIED OUT TO VERIFY THE SYSTEM IS IN ACCORDANCE WITH NFPA 13. AN EMERGENCY EVACUATION PLAN SHALL BE DEVELOPED AND POSTED ON EACH FLOOR. THERE WILL BE A 1 HOUR FIRE SEPARATION MAINTAINED BETWEEN DIFFERENT OCCUPANCIES. INSTALLATION AND VERIFICATION OF THE AUTOMATIC SMOKE DETECTION SYSTEM IN ACCORDANCE WITH PROPERTY CONSERVATION CODE OF THE CITY OF SYRACUSE 27-43 (D) (3) (B). PROVIDE APPROVED TRUSS IDENTIFICATION SIGNS AT BUILDING ENTRANCE DOORS AND EXIT DISCHARGE DOORS.

### ACCESSIBILITY

2ND FLOOR: OFFICE B TO FOLLOW REQUIREMENTS PER CODE.

### ENERGY CODE

EXISTING BUILDING, WHEN RENOVATED IN A MANNER THAT INCREASES ENERGY CONSUMPTION, I.E. AIR CONDITIONED SPACE, MUST COMPLY WITH CURRENT ENERGY CODES IN ALL AREAS OF RENOVATION.

**DESIGN SUMMARY:** APPLICABLE DESIGN STANDARDS: U-FACTORS + R-VALUES FOR ZONE 5A (R102.1.3)

DESIGN STANDARDS	U-FACTOR	R-VALUE
CEILINGS/ROOF =		R-30
MASS WALLS =		R-11.4
EXTERIOR WALLS =		R-13
FENESTRATION (FIXED) =	.37	R-2.7
NON-SWING DOORS =		R-4.75
ENTRANCE DOORS =	.77	R-1.3

SYSTEMS PROVIDED IN DESIGN:	U-FACTOR	R-VALUE
ROOF @ ELEVATOR =		R30 + R12 = R-42
MASS WALLS (EXISTING CMU EXPOSED) =		R-1.1 + R-13 = R-14.1
EXTERIOR WALLS =		R-13 + R-1.1 + R-13 = R-27.1
FENESTRATION (FIXED) =	.37	R-2.7
NON-SWING DOORS =		NA
ENTRANCE DOORS =		NA

### PARKING REQUIREMENTS

**1ST FL:**  
RETAIL: 1/300 S.F.: 2,400 S.F. (NET) = 8 SPACES REQUIRED  
ACCESSORY OFFICE: 1/500 S.F.: 2,000 S.F. (NET) = +6 SPACES REQUIRED  
TOTAL FROM PREVIOUSLY APPROVED PROGRAM: 12 SPACES

**2ND FL:**  
OFFICE: 1/500 S.F.: 2,496 S.F. (NET) = +5 SPACES REQUIRED  
TOTAL REQUIRED SPACES FOR BUILDING: 17 SPACES  
1 ACCESSIBLE SPACE

REDUCTIONS:

**PROVIDED:** 17 SPACES  
2 ACCESSIBLE SPACES

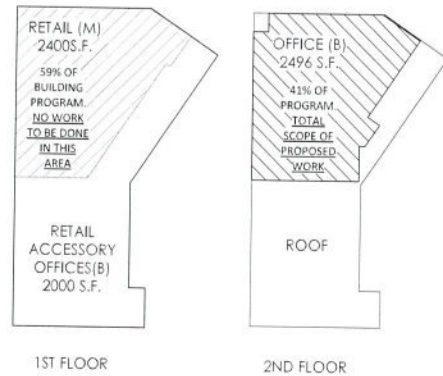
### GENERAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE CODES AND LOCAL BUILDING REQUIREMENTS IN FORCE AT TIME OF ISSUANCE OF PERMIT, ICC 2015.
- IT IS INCUMBENT UPON THE G.C. AND ALL OF THEIR SUBCONTRACTORS TO VISUALLY SURVEY AND MEASURE THE SITE TO VERIFY THAT THE SPACE AS DESIGNED CAN BE ACCOMMODATED. PRIOR TO ANY CONSTRUCTION, THE G.C. SHALL CHALK LINE THE ENTIRE PREMISES, REVIEW ALL EXISTING CONDITIONS, INCLUDING BUILDING SYSTEMS AND STRUCTURES SCHEDULED TO REMAIN OR OWNER SYSTEMS WHICH PASS THROUGH THE PROJECT SPACE, FOR NON-INTERFERENCE WITH PROPOSED DESIGN AS INDICATED ON THESE DOCUMENTS. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT AND OWNER IMMEDIATELY TO ALLOW FOR A CLARIFICATION DOCUMENT TO BE ISSUED PRIOR TO PERFORMANCE OF ANY WORK IN QUESTION. FAILURE TO COMPLY SHALL MAKE THE G.C. LIABLE FOR ALL COSTS AND/OR CORRECTIONS TO ACCOMMODATE DESIGN INDICATED WITHIN THESE DOCUMENTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING WITH ANY WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION. DO NOT SCALE DRAWINGS.
- ANY DISCREPANCIES BETWEEN PLAN SHEET AND/OR PROFESSIONAL DISCIPLINES SHALL BE REPORTED TO THE OWNER AND ARCHITECT AFTER A THOROUGH REVIEW OF THE CONSTRUCTION SET PRIOR TO THE START OF CONSTRUCTION. ALL CONTRACTORS, AND SUBCONTRACTORS SHALL REVIEW A FULL SET OF PLANS TO DETERMINE THEIR SCOPE OF WORK AND SHALL REPORT ANY INCONSISTENCIES TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION. NO EXCEPTIONS WILL BE TAKEN. ALL QUESTIONS REGARDING THE CONSTRUCTION SET AND SPECIFICATIONS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT OF RECORD IN THE FORM OF A WRITTEN REQUEST FOR INFORMATION TO CLARIFY THE INTENT OF THE DRAWINGS.
- WHEN THE CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, THEY SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL CONTINUOUS DIMENSION LINES ARE TO FACE OF CONCRETE OR FACE FINISH SURFACE, OR CENTERLINE OF OPENING UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING MEASURES REQUIRED TO COMPLY WITH LOCAL ORDINANCES GOVERNING NOISE AND POLLUTION, INCLUDING BUT NOT LIMITED TO INSTALLATION OF NOISE AND DUST BARRIERS AS REQUIRED TO PROTECT EXISTING ADJACENT BUILDINGS AND PROPERTY, AND TO MAINTAIN AN ENVIRONMENT SUITABLE TO PERMIT OCCUPANCY OF ADJACENT BUILDINGS. DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT NEIGHBORS.
- ALL SAW CUTTING AND/OR CORING LOCATIONS SHALL BE APPROVED AND COORDINATED WITH OWNER PRIOR TO CUTTING/CORING.
- REMOVE ALL EXISTING CONSTRUCTION WHICH INTERFERES WITH THE WORK SHOWN ON THESE DRAWINGS. PATCH THE SUBFLOOR TO A UNIFORM LEVEL AS REQUIRED TO ACCOMMODATE THE NEW FLOORING. VERIFY NEW FLOOR SLOPE AND REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
- ALL WORK SHALL CONFORM WITH THE LATEST ADA GUIDELINES & ANSI A 117.1 2009.
- PROVIDE PORTABLE FIRE EXTINGUISHER(S) WITH U.L. LABEL AND A RATING OF NOT LESS THAN 3A 403C WITH 75 FT. TRAVEL DISTANCE TO ALL POSITIONS OF AREA OF WORK OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
- THE ENTIRE BUILDING ENVELOPE AND ALL PIPES SHALL BE PROPERLY THERMALLY INSULATED IN CONFORMANCE WITH THE NATIONAL, STATE, AND LOCAL ENERGY CODES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR 'WAYS AND MEANS' OF CONSTRUCTION.
- ALL METHODS & MATERIALS INCLUDING CONSTRUCTION SHALL COMPLY WITH ALL GENERALLY ACCEPTED STANDARDS INCLUDING PROPER DRAINAGE FLASHING, SEALING AND CAULKING OF THE BUILDING NECESSARY TO PREVENT MOISTURE PENETRATION TO THE INTERIOR FROM THE OUTSIDE SURFACE OF ALL ENVELOPE COMPONENTS. WHERE ON ANY OF THE DRAWINGS OR DETAILS, A PORTION OF THE WORK IS SHOWN AND/OR DETAILED AND THE REMAINDER IS INDICATED IN OUTLINE, THE PARTS SHOWN AND/OR DETAILED SHALL APPLY TO ALL OTHER LIKE PORTIONS OF THE WORK.
- ALL TRADES SHALL BE RESPONSIBLE FOR COORDINATION WITH G.C. AND GIVING OWNER START/COMPLETION DATES.
- ALL ELECTRICAL SERVICE SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES INCLUDING NFPA 70.

### PLUMBING FIXTURES

NATIONAL STANDARD PLUMBING CODE: PLUMBING FIXTURE REQUIREMENTS (PER TABLE 2902.1)	2ND FLOOR: OCCUPANT LOAD: OFFICE = 27 W.C. 1 PER 25 FOR 1ST 50 THEN 1 PER 50 THEREAFTER LAV 1 PER 40 FOR 1ST 80 THEN 1 PER 80 THEREAFTER DRINKING 100-1000 = 1 1 SERVICE SINK
REQUIRED	PROVIDED

WATER CLOSET	1	1 UNISEX
LAVATORY	1	1
DRINKING FOUNTAINS	1	1
SERVICE SINK	1	1



### BUILDING PROGRAM PER FLOOR

N.T.S.



538 Erie Blvd West, Suite 100  
Syracuse, NY 13204

## DeJulio's Renovation

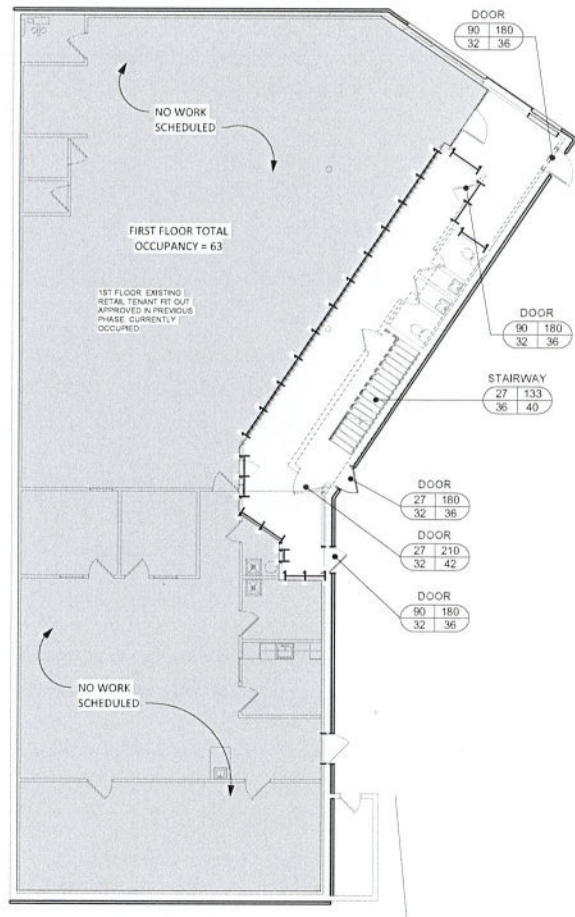
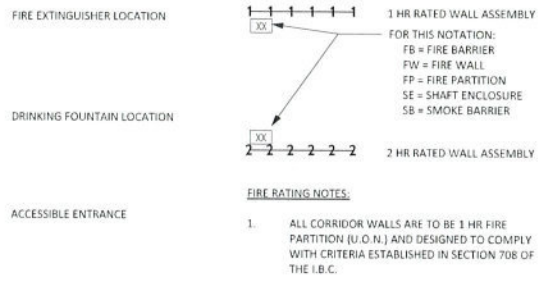
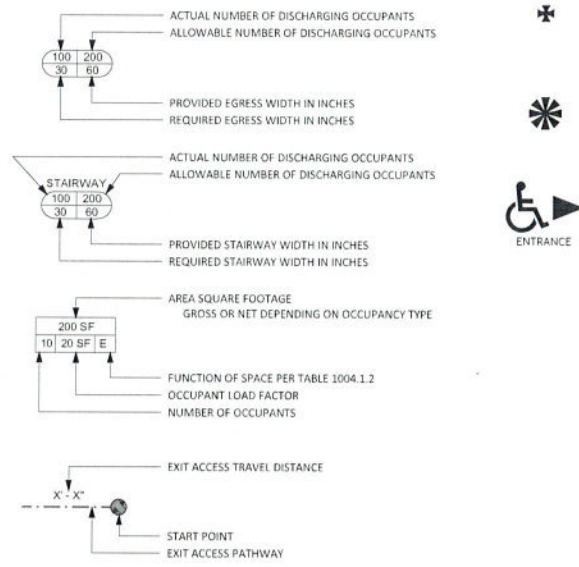
Phase 2: Exterior & Site Improvements + Elevator + 2nd Floor Change of Occupancy

Permit Documents  
Date: 02-24-2021

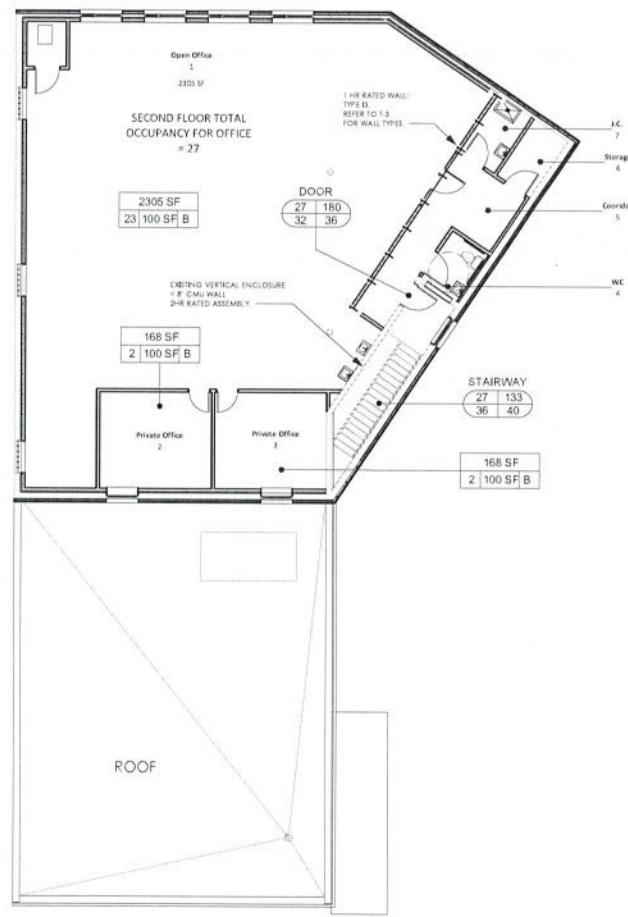
TITLE SHEET + CODE PATH

T1

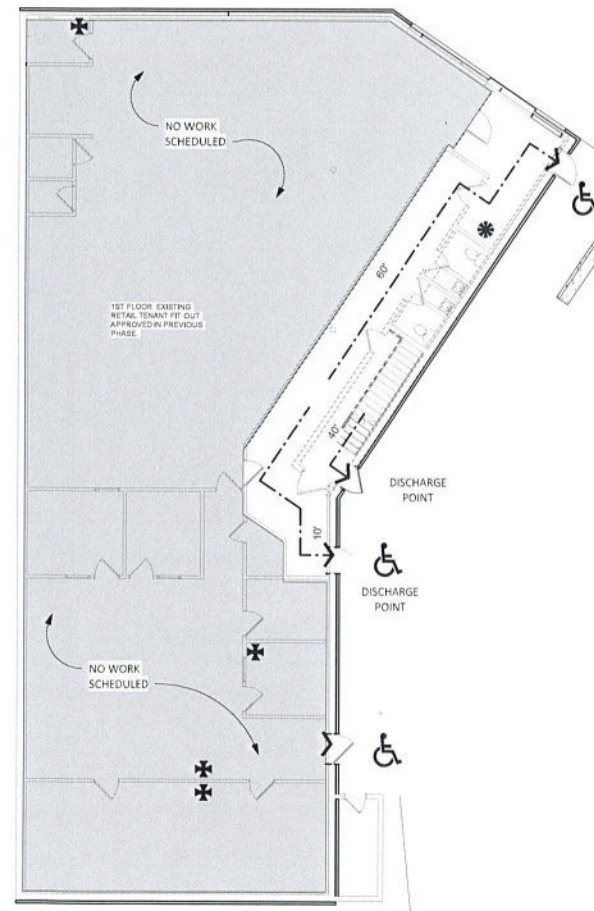
**CODE COMPLIANCE AND LIFE SAFETY LEGEND:**



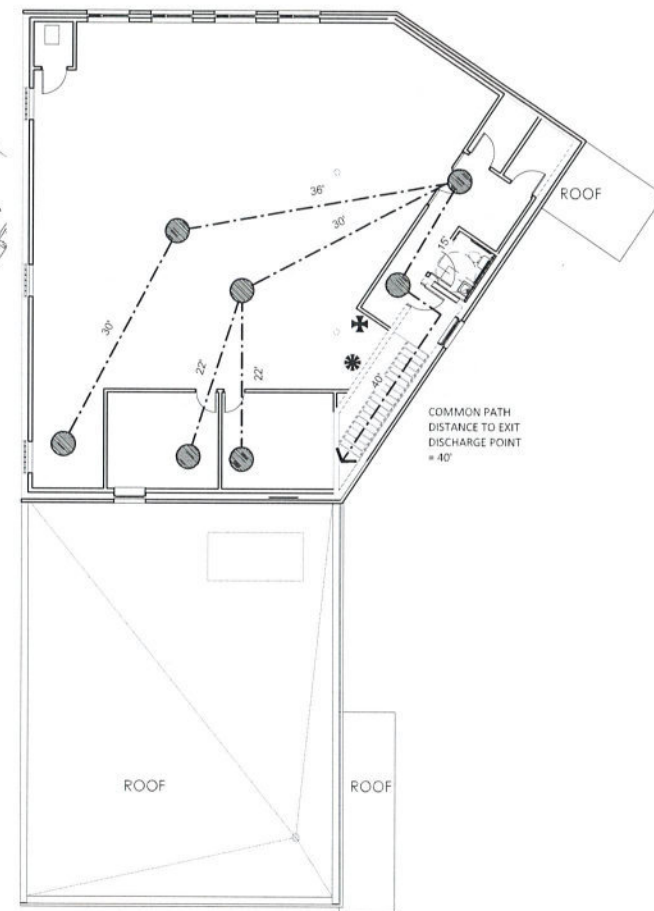
1 FIRST FLOOR: OCCUPANCY  
3/32" = 1'-0"



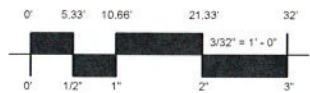
2 SECOND FLOOR: OCCUPANCY  
3/32" = 1'-0"



3 FIRST FLOOR: EGRESS PATH  
3/32" = 1'-0"



4 SECOND FLOOR: EGRESS PATH  
3/32" = 1'-0"



INCH INCREMENTS SHOWN ARE AT FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY

**ABBREVIATIONS:**

@	AT	DIAM	DIAMETER	HB	HOSE BIBB	NAT.	NATURAL	STL	STEEL
AAC	ASBESTOS ABATEMENT CONTRACTOR	DIM	DIMENSION	H.C.	HOLLOW CORE, HTG.	N.I.C.	NOT IN CONTRACT	STOR.	STORAGE
A.B.	ANCHOR BOLT	DL	DEAD LOAD	HCP	HANDICAPPED	NOM.	NOMINAL	STRU	STRUCTURAL
ACM	ASBESTOS-CONTAINING MATERIAL	DN	DOWN	HDWR.	HARDWOOD	N.T.S.	NOT TO SCALE	SURF.	SURFACE
A.C.T.	ACOUSTICAL CEILING TILE	DR	DOOR	HDWR.	HARDWARE	O.C.	ON CENTER	SV	SHEET VINYL
ADA	AMERICAN'S W/DISABILITIES ACT	DS	DOWNSPOUT	HM	HOLLOW METAL	O.D.	OUTSIDE DIMENSION	SYNTH.	SYNTHETIC
ADD.	ADDENDUM	DTL	DETAIL	HORIZ.	HORIZONTAL	OPG	OPENING	SYS.	SYSTEM
ADHES.	ADHESIVE	DWG.	DRAWING	HT.	HEIGHT	OPP.	OPPOSITE	QT	QUARRY TILE
ADJ.	ADJACENT	EA	EACH	I.A.	INSIDE DIAMETER	PL	PLATE OR PROPERTY LINE	T	TREAD
A.F.F.	ABOVE FINISHED FLOOR	E.B.	EXPANSION BOLT	IN	INCH(ES)	P.	PLUMBING CONTRACT(OR)	TEL	TELEPHONE
AHU	AIR HANDLING UNIT	E.C.	ELECTRIC(AL) CONTRACT(OR)	INSUL.	INSULATE(D)(TION)	P.C.	PLUMBING CONTRACT(OR)	TEMP.	TEMPORARY, TEMPERATURE
ALT.	ALTERNATE	EDF	ELECTRIC DRINKING FOUNTAIN	INT	INTERIOR	P. LAM.	HIGH-PRESSURE PLASTIC LAMINATE	T&G	TONGUE AND GROOVE
ALUM.	ALUMINUM	EF	EXHAUST FAN	INV.	INVERT	PLYWD	PLYWOOD	T.O.	TOP OF
ANOD.	ANODIZED	E.F.S.	EXT. INSUL. & FINISH SYSTEM	JAN.	JANITOR	PROJ.	PROJECT	T.O.B.	TOP OF BEAM
APPROX.	APPROXIMATE	E.J.	EXPANSION JOINT	JB	JUNCTION BOX	PSF	POUNDS PER SQUARE FOOT	T.O.M.	TOP OF MASONRY
ARCH.	ARCHITECT	ELEC.	ELECTRIC	IT	JOINT	PT	PAINT, PRESSURE TREATED	T.O.S.	TOP OF STEEL
ASB.	ASBESTOS	ELEV.	ELEVATION, ELEVATOR	L	LENGTH, LONG	PTD	PAINTED	T.O.W.	TOP OF WALL
AUTO.	AUTOMATIC	EM	EMERGENCY	LAV	LAVATORY	PTN	PARTITION	TV	TELEVISION
BLKG.	BLOCKING	ENCL	ENCLOSURE	L	LENGTH, LONG	PVC	POLYVINYL CHLORIDE	TYP.	TYPICAL
BD.	BOARD	ENG.	ENGINEER	L.V.	LOW VOLTAGE	PVMT.	PAVEMENT	U.O.N	UNLESS OTHERWISE NOTED
BIFUM.	BIFUMINOUS	EQ	EQUAL	L	LENGTH, LONG	R	RISER, RADIUS	V	VENT
B.O.	BOTTOM OF	EQUIP.	EQUIPMENT	LF	LINEAR FOOT	RB	RESILIENT BASE	VAT	VINYL ASBESTOS FLOOR TILE
B.O.F.	BOTTOM OF FOOTING	E.W.	EACH WAY	LH	LEFT HAND	RD	ROOF DRAIN	VCT	VINYL COMPOSITION TILE
B.O.S.	BOTTOM OF STEEL	EXP.	EXPANSION	LN.	LINEAR(L)	REQ.	REQUIRE (ED)	VIF	VERIFY IN FIELD
BLDG.	BUILDING	EXST.	EXISTING	LL	LONG LEG HORIZONTAL	REINF.	REINFORCE(D)(ING)	VERT.	VERTICAL
BRG.	BEARING	EXT.	EXTERIOR	LLV	LONG LEG VERTICAL	REV.	REVISE(D)(TION)	VTR	VENT THROUGH ROOF
B.U.R.	BUILT-UP ROOFING	F/A	FIRE ALARM	LV	LOW VOLTAGE	RM.	ROOM	VWC	VINYL WALL COVERING
CB	CATCH BASIN, CIRCUIT BREAKER	FD	FLOOR DRAIN, FIRE DAMPER	LVR	LOUVER	R.O.B.	RUN OF BANK GRAVEL	W	WIDE, WASTE
C.G.	CORNER GUARD	F.E.	FIRE EXTINGUISHER	MATL.	MATERIAL	SIM.	SIMILAR	W/	WITH
CLG.	CEILING	F.E.C.	FIRE EXTINGUISHER CABINET	MAX.	MAXIMUM	S.C.	SOLID CORE	W/C	WATER CLOSET
CLR.	CLEAR	FIN	FINISHED	M.D.	MASONRY OPENING	S.D.	STORM DRAIN	WD.	WOOD
CMU	CONCRETE MASONRY UNIT	F.F.E.	FINISHED FLOOR ELEVATION	M.ECH.	MECHANICAL	SF	SQUARE FEET	WH	WALL HUNG, WALL HYDRANT
C.O.	CLEANOUT	FH	FIRE HYDRANT	MEZ.	MEZZANINE	S.O.G.	SLAB ON GRADE	W/O	WITHOUT
CONC.	CONCRETE	FTG	FOOTING	MFR.	MANUFACTURER	S.S.	STAINLESS STEEL	WT.	WEIGHT
COL.	COLUMN	GA	GAUGE	M.H.	MAINTENANCE HOLE	SPEC.	SPECIFICATION(S)	W/WF	WELDED WIRE FABRIC
CONT.	CONTINUOUS	GALV.	GALVANIZED	MIN.	MINIMUM	SPL	SPECIAL	YD	YARD DRAIN
CPT	CARPET	G.C.	GENERAL CONTRACT(OR)	MISC.	MISCELLANEOUS	STD	STANDARD		
CRS.	COURSE	GLAZ.	GLAZING	M.O.	MASONRY OPENING	STG	SEATING		
CT	CERAMIC TILE	GYPBD.	GYPSPUM BOARD	MTL.	METAL				
☒	CENTERLINE								

**STANDARD SYMBOLS:**

**BUILDING SECTION**

**WALL SECTION**

**VIEW TITLE**

**INTERIOR ELEVATION**

**DETAIL CALLOUT**

**VERT./HORIZ. DATUM**

**DOOR NUMBER**

**WINDOW TYPE**

**DEMO KEYNOTE**

**ROOM TAG**

**WALL/PARTITION TYPE**

**CEILING TAG**

**KEYNOTES**

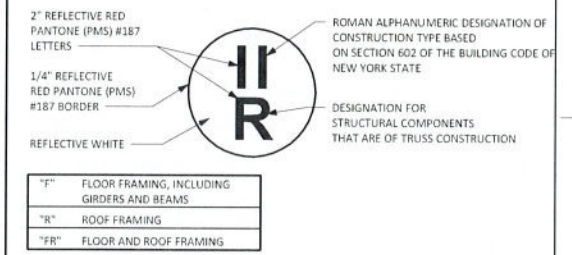
**CUTLINE**

**NORTH ARROW**

**MATERIALS:**

	MASONRY		UNDISTURBED EARTH		FINISH WOOD
	CAST STONE		STEEL		BATT INSULATION
	CONCRETE MASONRY UNIT		SAND OR GYPSUM BOARD		WOOD FRAMING (CONTINUOUS)
	RIGID INSULATION		PLYWOOD		WOOD BLOCKING (DISCONTIN.)
	CONCRETE		GRAVEL OR CRUSHED STONE		

**TRUSS IDENTIFICATION SIGN:**  
(COMPLIANCE W/ 19 NYCRR PART 1264)



**SIGN MOUNTING**

SIGN LOCATION	SIGN PLACEMENT
EXTERIOR BUILDING ENTRANCE DOORS, EXTERIOR EXIT DISCHARGE DOORS, AND EXTERIOR ROOF ACCESS DOORS TO A STAIRWAY.	ATTACHED TO THE DOOR, OR ATTACHED TO A SIDELIGHT OR THE FACE OF THE BUILDING, NOT MORE THAN 12" (305MM) HORIZONTALLY FROM THE LATCH SIDE OF THE DOOR JAMB, AND NOT LESS THAN 42 INCHES (1067 MM) AND NO MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACING.
MULTIPLE CONTIGUOUS EXTERIOR BUILDING ENTRANCE OR EXIT DISCHARGE DOORS.	ATTACHED AT EACH END OF THE ROW OF DOORS AND AT A MAXIMUM HORIZONTAL DISTANCE OF 12 FEET (3.65 M) BETWEEN SIGNS, AND NOT LESS THAN 42 INCHES (1067 MM) AND NO MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE.
FIRE DEPARTMENT HOSE CONNECTIONS	ATTACHED TO THE FACE OF THE BUILDING, NOT MORE THAN 12 INCHES (305 MM) HORIZONTALLY FROM THE CENTERLINE OF THE FIRE DEPARTMENT HOSE CONNECTION, AND NOT LESS THAN 42 INCHES (1067 MM) AND NO MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE.



**HOME HEADQUARTERS**  
SYRACUSE & CENTRAL NY

538 Erie Blvd West, Suite 100  
Syracuse, NY 13204

**INTERIOR WALL TYPES:**

<b>I1</b>	NON RATED ASSEMBLY 3 5/8" 24 GA. METAL STUDS @ 24 O.C., 1 LAYER 5/8" (TYPE X) GYP. BD. ONE SIDE. CARRY TO STRUCTURE ABOVE. 3 1/2" OF FIBERGLASS INSULATION WITH PAPER BACKED VAPOR BARRIER (R-13 MIN)	
<b>I2</b>	NON RATED ASSEMBLY 3 5/8" 24 GA. METAL STUDS @ 24 O.C., 1 LAYER 5/8" (TYPE X) GYP. BD. TWO SIDES. CARRY TO 6" A.F. CEILING	
<b>I3</b>	1 HOUR FIRE RATED UL-U419 3 5/8" 24 GA. METAL STUDS @ 24 O.C., 1 LAYER 5/8" (TYPE X) GYP. BD. TWO SIDES. CARRY TO STRUCTURE ABOVE.	

**EXTERIOR WALL TYPES**

<b>E1</b>	EXTERIOR WALL ASSEMBLY - TYPE E.1 EIFS wall system (Finish Coat on Base Coat on 2" rigid insulation board (R-13) on Adhesive Drainage Plane on liquid applied waterproofing) on Existing 6" CMU. 3 5/8" 24 GA. metal studs @ 24 o.c., with 5/8" (TYPE X) GYP. BD. with 3 1/2" fiberglass insulation with paper-backed vapor barrier (R-13 MIN)	
<b>E2</b>	EXTERIOR WALL ASSEMBLY - TYPE E.2 Ribbed siding panels with factory finish on Vertical Sub-gr. 2" Continuous foil-faced polyiso rigid rigid insulation (R-13) with taped joints on liquid applied waterproofing on Existing 6" CMU. 3 5/8" 24 GA. metal studs @ 24 o.c., with 5/8" (TYPE X) GYP. BD. with 3 1/2" fiberglass insulation with paper-backed vapor barrier (R-13 MIN)	
<b>E3</b>	EXTERIOR WALL ASSEMBLY - TYPE E.3 Same assembly as Type E.1 on 10" CMU	
<b>E4</b>	EXTERIOR WALL ASSEMBLY - TYPE E.4 Same assembly as Type E.2 on 10" CMU	
<b>E5</b>	EXTERIOR WALL ASSEMBLY - TYPE E.5 Exterior latex paint on existing 10" CMU	
<b>E6</b>	EXTERIOR WALL ASSEMBLY - TYPE E.6 Exterior latex paint on acrylic elastomeric fluid applied waterproofing covering on existing CMU on 2" Continuous foil-faced polyiso rigid rigid insulation (R-13) with taped joints on 1st floor where interior walls are already in place and cavity is inaccessible. 3 5/8" 24 GA. metal studs @ 24 o.c., with 5/8" (TYPE X) GYP. BD. and 3 1/2" fiberglass insulation with paper-backed vapor barrier (R-13 MIN)	
<b>E7</b>	EXTERIOR WALL ASSEMBLY - TYPE E.7 6.3/2" Cement board panels with exterior latex paint finish on Vertical Sub-grts on 2" Continuous foil-faced polyiso rigid rigid insulation (R-13) with taped joints on Waterproofing membrane on New 6" CMU	

**DeJulio's Renovation**  
Phase 2: Exterior & Site Improvements + Elevator + 2nd Floor Change of Occupancy

664 Burnet Ave  
Syracuse, NY 13203

Permit Documents  
Date: 02-24-2021

GERNERAL INFO

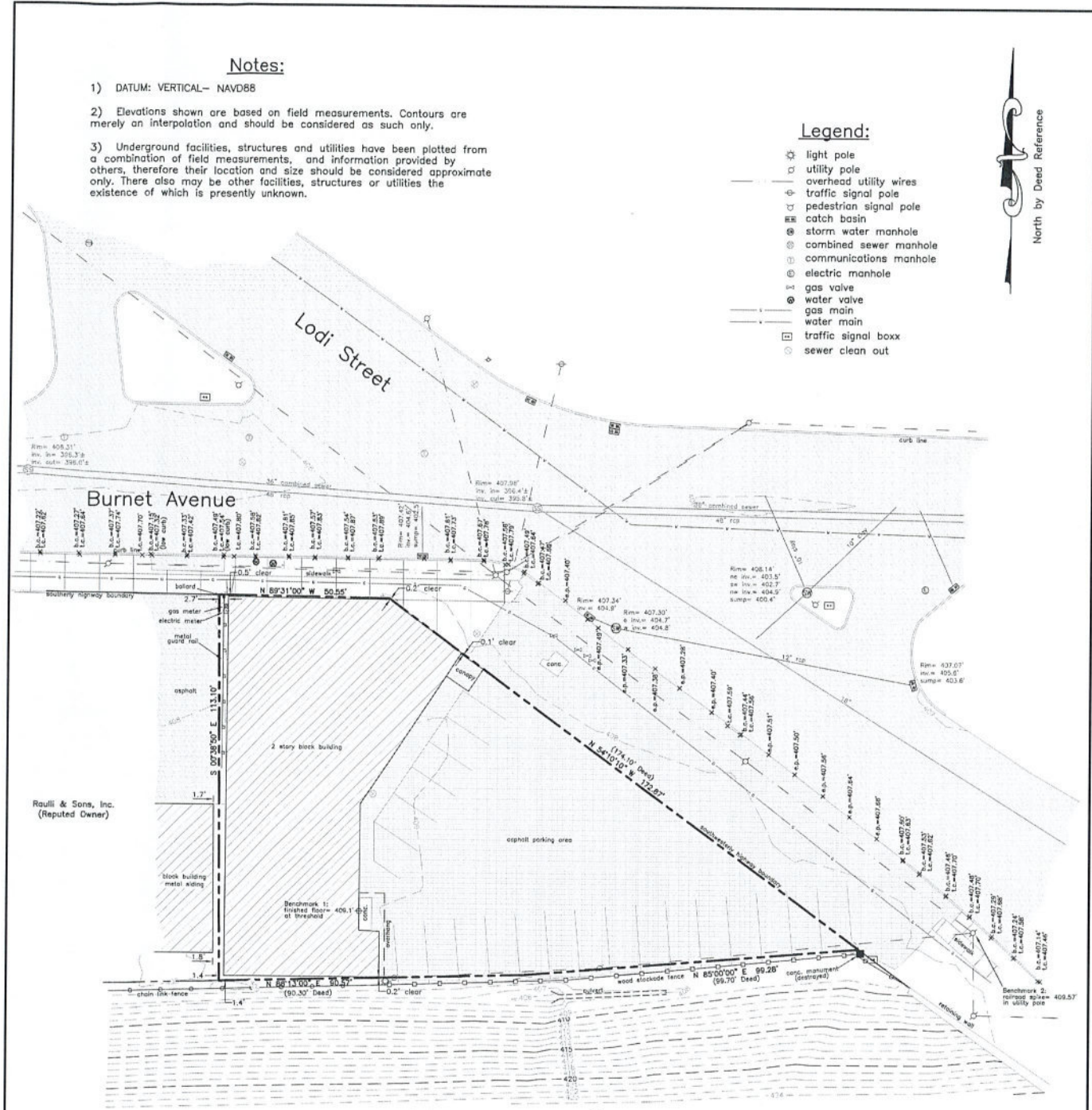
T3

**Notes:**

- 1) DATUM: VERTICAL- NAVD88
- 2) Elevations shown are based on field measurements. Contours are merely an interpolation and should be considered as such only.
- 3) Underground facilities, structures and utilities have been plotted from a combination of field measurements, and information provided by others, therefore their location and size should be considered approximate only. There also may be other facilities, structures or utilities the existence of which is presently unknown.

**Legend:**

- ☉ light pole
- ⊕ utility pole
- overhead utility wires
- ⊕ traffic signal pole
- ⊕ pedestrian signal pole
- ☐ catch basin
- ⊕ storm water manhole
- ⊕ combined sewer manhole
- ⊕ communications manhole
- ⊕ electric manhole
- gas valve
- ⊕ water valve
- gas main
- water main
- ☐ traffic signal box
- ⊕ sewer clean out



**Deed Reference:**

Deed Reference:  
 People of the State of New York  
 (Reputed Owner)  
 DeJulio's Army & Navy Store, Inc.  
 To  
 Home Headquarters, Inc.  
 Bargain and Sale Deed dated September 17, 2017  
 Filed in the Madison County Clerk's Office on  
 September 22, 2017 as Instrument #2017-33460

Scale 1"=20 Feet

FILE NO. 04-111T

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.  
 THE ALTERATION OF SURVEY MAPS BY ANYONE OTHER THAN THE ORIGINAL PREPARER IS MISLEADING, CONFUSING, AND NOT IN THE GENERAL WELFARE AND BENEFIT OF THE PUBLIC.  
 LICENSED LAND SURVEYORS SHALL NOT ALTER SURVEY MAPS, SURVEY PLANS, OR SURVEY PLATS PREPARED BY OTHERS.

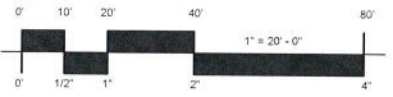
It is hereby certified that this map was made from an actual field survey dated January 9, 2019 and that both map and survey are correct.

*Frederick W. Myers Jr.*  
 Frederick W. Myers Jr., L.S.#049229

MAP BY: BP  
 CHECKED BY: RM



Topographical Survey Lands of Home Headquarters, Inc. 664-666 Burnet Avenue City of Syracuse - Onondaga County State of New York	Revisions 02/11/19
Myers and Associates, P.C. 127 South Peterboro Street Canastota, New York 13032 Telephone (315) 697-2281 Fax (315) 697-5232	



INCH INCREMENTS SHOWN ARE AT FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY



THIS IS A COPY OF THE ORIGINAL SURVEY MAP AS PREPARED BY THE SURVEYOR AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.

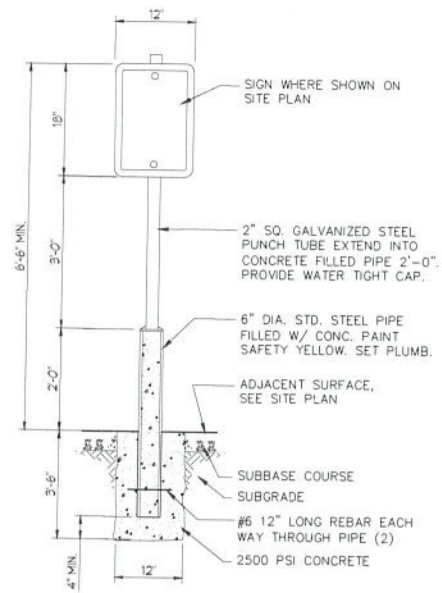
HOME HEADQUARTERS  
 SYRACUSE & CENTRAL, NY  
 538 Erie Blvd West, Suite 100  
 Syracuse, NY 13204

**DeJulio's Renovation**  
 Phase 2: Exterior & Site Improvements +  
 Elevator + 2nd Floor Change of Occupancy  
 664 Burnet Ave  
 Syracuse, NY 13203

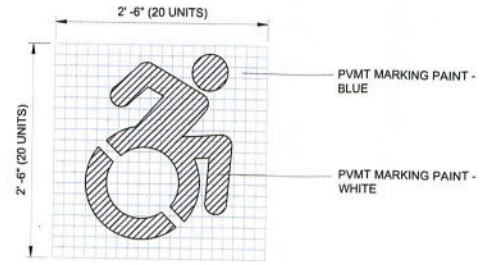
Permit Documents	Date: 02-24-2021
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SURVEY

S1

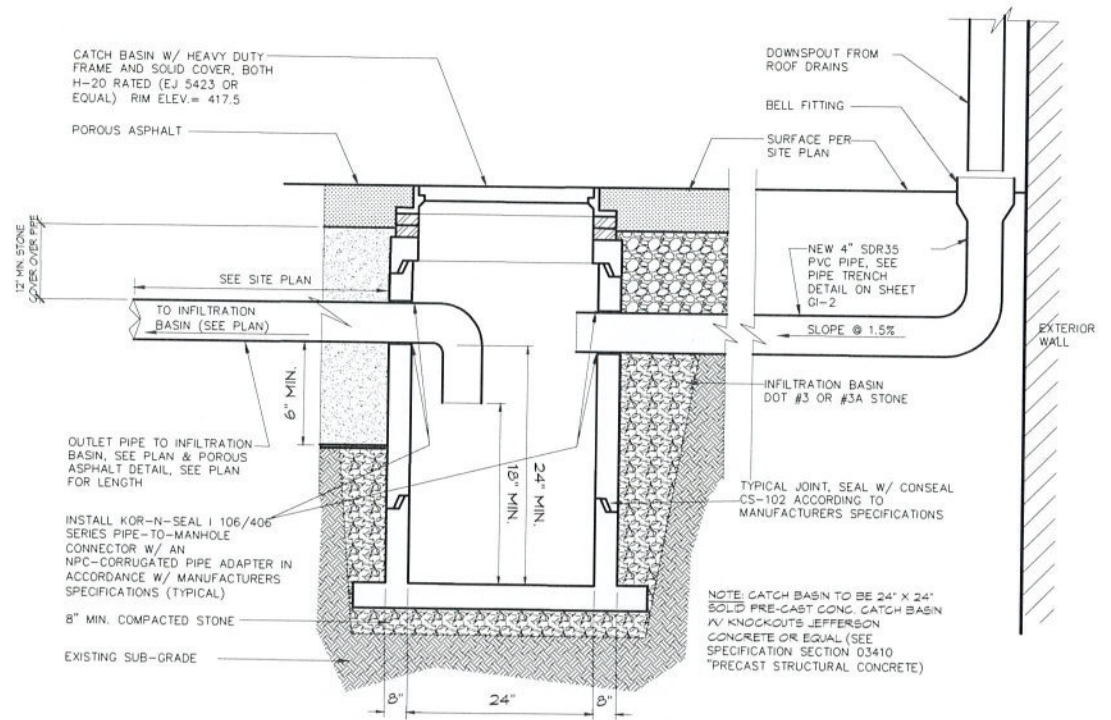


NOTE: ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NYS DOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES

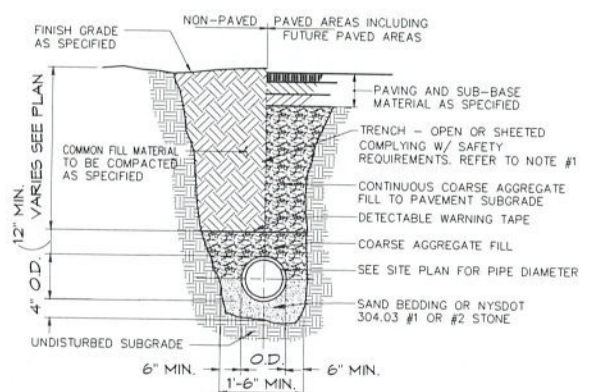


**PAINTED HANDICAP SYMBOL DETAIL**  
SCALE: NONE

**HANDICAP SIGN & POST DETAIL**  
SCALE: NONE

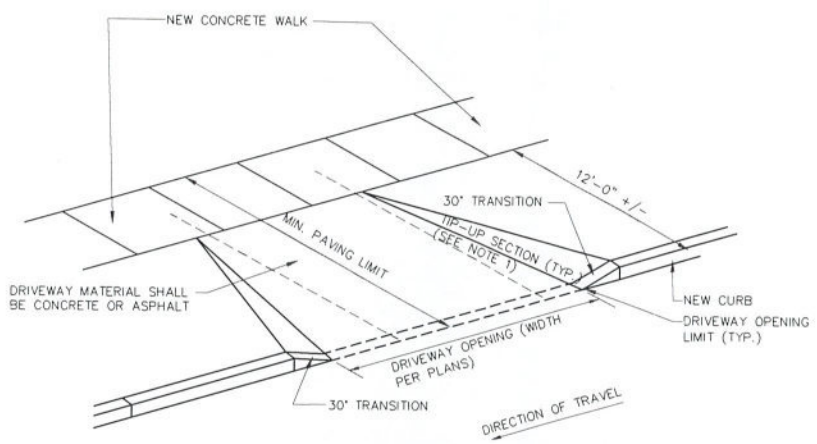


**ROOF DRAIN CATCH BASIN #1 DETAIL**  
SCALE: NONE



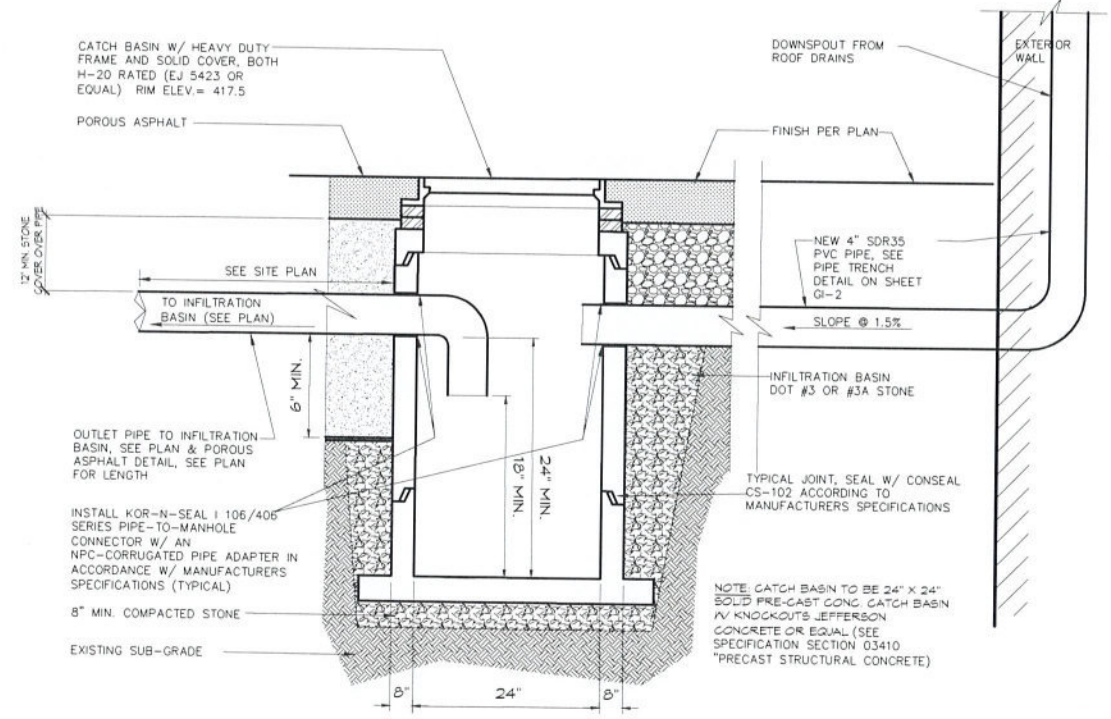
NOTE:  
1. TRENCH DEPTHS, WIDTHS, SHEETING, SHORING, BRACING & CUTBACK SLOPES TO BE DETERMINED BY THE CONTRACTOR AND SHALL COMPLY WITH O.S.H.A., NEW YORK STATE DEPT. OF LABOR, NEW YORK STATE INDUSTRIAL CODE & ALL OTHER APPLICABLE SAFETY STANDARDS.  
2. REFER TO PLAN FOR PAVED AND NON-PAVED DETAILS.  
3. ALL EXCAVATIONS SHALL BE BACKFILLED & STABILIZED AT THE END OF EACH WORK DAY.

**PIPE TRENCH DETAIL**  
SCALE: NONE

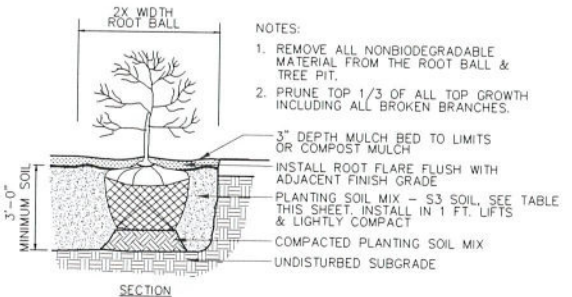


**NYS DOT TYPE 3 DRIVEWAY ENTRANCE**  
TAPER METHOD WITH SIDEWALK AWAY FROM CURB, OR NO SIDEWALK  
NOTES:  
1. A DRIVEWAY TIP-UP SECTION SHOULD EXTEND TO A LOGICAL TERMINI (EXAMPLE: SIDEWALK EDGE, WHERE THE DRIVEWAY GRADE MATCHES EXISTING GROUND, OR LAYOUT POINT) FOR REFERENCE. A REASONABLE LENGTH FOR TAPERING THE TIP-UP SECTION BACK TO THE EDGE OF THE DRIVEWAY IS 3 TO 4 TIMES THE LENGTH OF THE CURB DROP. THE TIP-UP SECTION IS NOT PART OF THE DRIVEWAY OPENING WIDTH.  
2. DRIVEWAY ENTRANCES SHALL BE INSTALLED PER CITY OF SYRACUSE STANDARDS.

**CONCRETE APRON DETAIL**  
SCALE: NONE

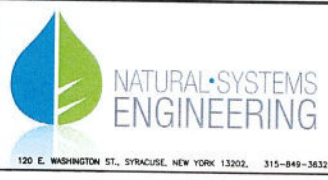


**ROOF DRAIN CATCH BASIN #2 DETAIL**  
SCALE: NONE

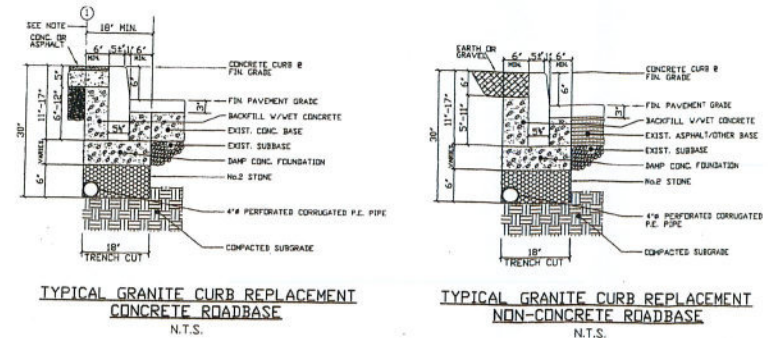


**TREE BOX DETAIL**  
SCALE: NONE

NO.	REV.	DATE	DESCRIPTION



SCALE: AS NOTED	CLIENT: Home Headquarters, Inc. 538 Erie Boulevard West, Suite 100, Syracuse, NY 13204
DATE: 2-16-21	PROJECT: DEJULIO'S RENOVATION 664-666 BURNET AVENUE SYRACUSE, NEW YORK 13203
DRAWN BY: KET	TITLE: DETAILS
CHECKED BY: ART	SHEET NO: GI-2

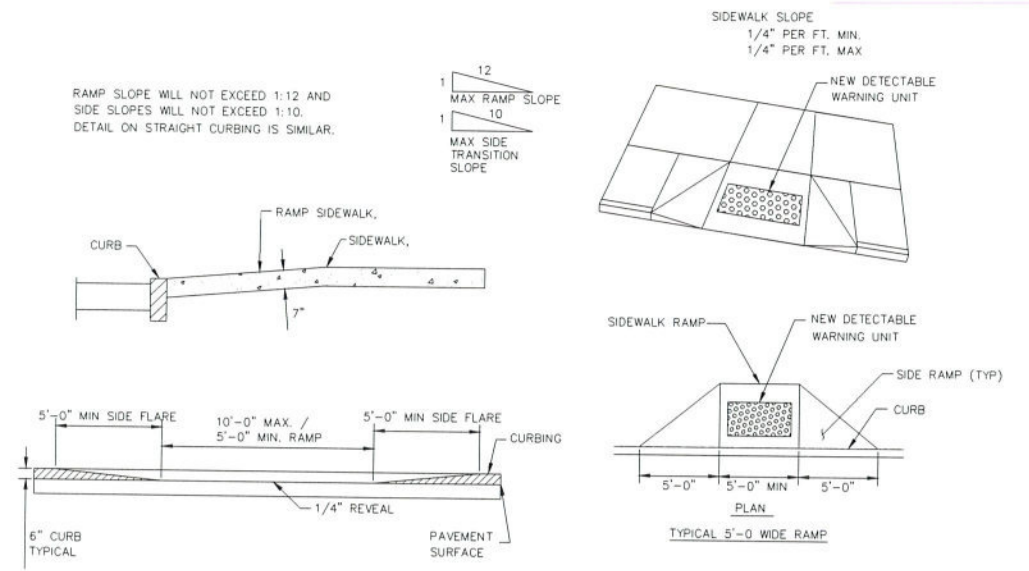


**TYPICAL GRANITE CURB REPLACEMENT  
CONCRETE ROADBASE**  
N.T.S.

**TYPICAL GRANITE CURB REPLACEMENT  
NON-CONCRETE ROADBASE**  
N.T.S.

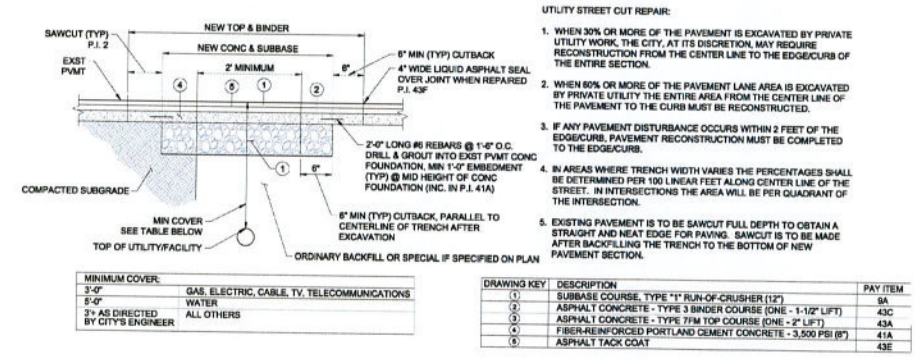
**GRANITE CURB**  
PAY ITEMS 15 & 16

- NOTES:**
- 1) SIDEWALK OR DRIVEWAY WITH CONCRETE OR ASPHALT SURFACE TO BE SAWCUT 11" BACK FROM FACE OF CURB.
  - 2) REMOVAL AND RESTORATION OF EXISTING AND NEW MATERIAL RESPECTIVELY TO BE AS DIRECTED BY CITY'S ENGINEER.
  - 3) 8" DIMENSION FROM TOP OF CURB TO BOTTOM OF CURB IS OPTIMAL DESIGN DIMENSION. THIS DIMENSION WILL VARY DUE TO CHANGES IN PAVEMENT GRADES AS PER PLANS OR THE CITY'S ENGINEER.
  - 4) CONCRETE SIDEWALK TO BE 5" OVERALL IN DEPTH OF WHICH FIRST COURSE GRUFF FIN. OF 4" IS ON COMPACTED BASE. TOP COURSE TO BE 1" WITH BROOM FINISH. (SEE SPECIFICATIONS).



**TYPICAL SIDEWALK ADA RAMP CURB DETAILS**  
SCALE: NONE

**FULL REVEAL CITY STANDARD GRANITE CURB DETAIL**  
SCALE: NONE



- UTILITY STREET CUT REPAIR:**
1. WHEN 30% OR MORE OF THE PAVEMENT IS EXCAVATED BY PRIVATE UTILITY WORK, THE CITY, AT ITS DISCRETION, MAY REQUIRE RECONSTRUCTION FROM THE CENTER LINE TO THE EDGE/CURB OF THE ENTIRE SECTION.
  2. WHEN 80% OR MORE OF THE PAVEMENT LANE AREA IS EXCAVATED BY PRIVATE UTILITY THE ENTIRE AREA FROM THE CENTER LINE OF THE PAVEMENT TO THE CURB MUST BE RECONSTRUCTED.
  3. IF ANY PAVEMENT DISTURBANCE OCCURS WITHIN 2 FEET OF THE EDGE/CURB, PAVEMENT RECONSTRUCTION MUST BE COMPLETED TO THE EDGE/CURB.
  4. IN AREAS WHERE TRENCH WIDTH VARIES THE PERCENTAGES SHALL BE DETERMINED PER 100 LINEAR FEET ALONG CENTER LINE OF THE STREET. IN INTERSECTIONS THE AREA WILL BE PER QUADRANT OF THE INTERSECTION.
  5. EXISTING PAVEMENT IS TO BE SAWCUT FULL DEPTH TO OBTAIN A STRAIGHT AND NEAT EDGE FOR PAVING. SAWCUT IS TO BE MADE AFTER BACKFILLING THE TRENCH TO THE BOTTOM OF NEW PAVEMENT SECTION.

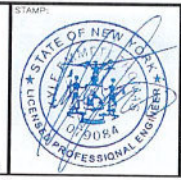
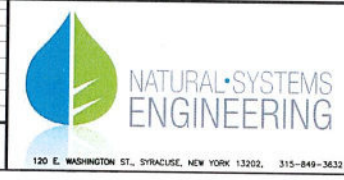
MINIMUM COVER:	AS DIRECTED BY CITY'S ENGINEER
3'-0"	GAS, ELECTRIC, CABLE, TV, TELECOMMUNICATIONS
5'-0"	WATER
3'-0"	ALL OTHERS

DRAWING KEY	DESCRIPTION	PAY ITEM
1	SUBBASE COURSE, TYPE 1" RUN-OF-CRUSHER (13)	8A
2	ASPHALT CONCRETE - TYPE 3 BINDER COURSE (ONE - 1-1/2" LIFT)	43C
3	ASPHALT CONCRETE - TYPE 7M TOP COURSE (ONE - 2" LIFT)	43A
4	FIBER-REINFORCED PORTLAND CEMENT CONCRETE - 3,000 PSI (8')	41A
5	ASPHALT TACK COAT	43E

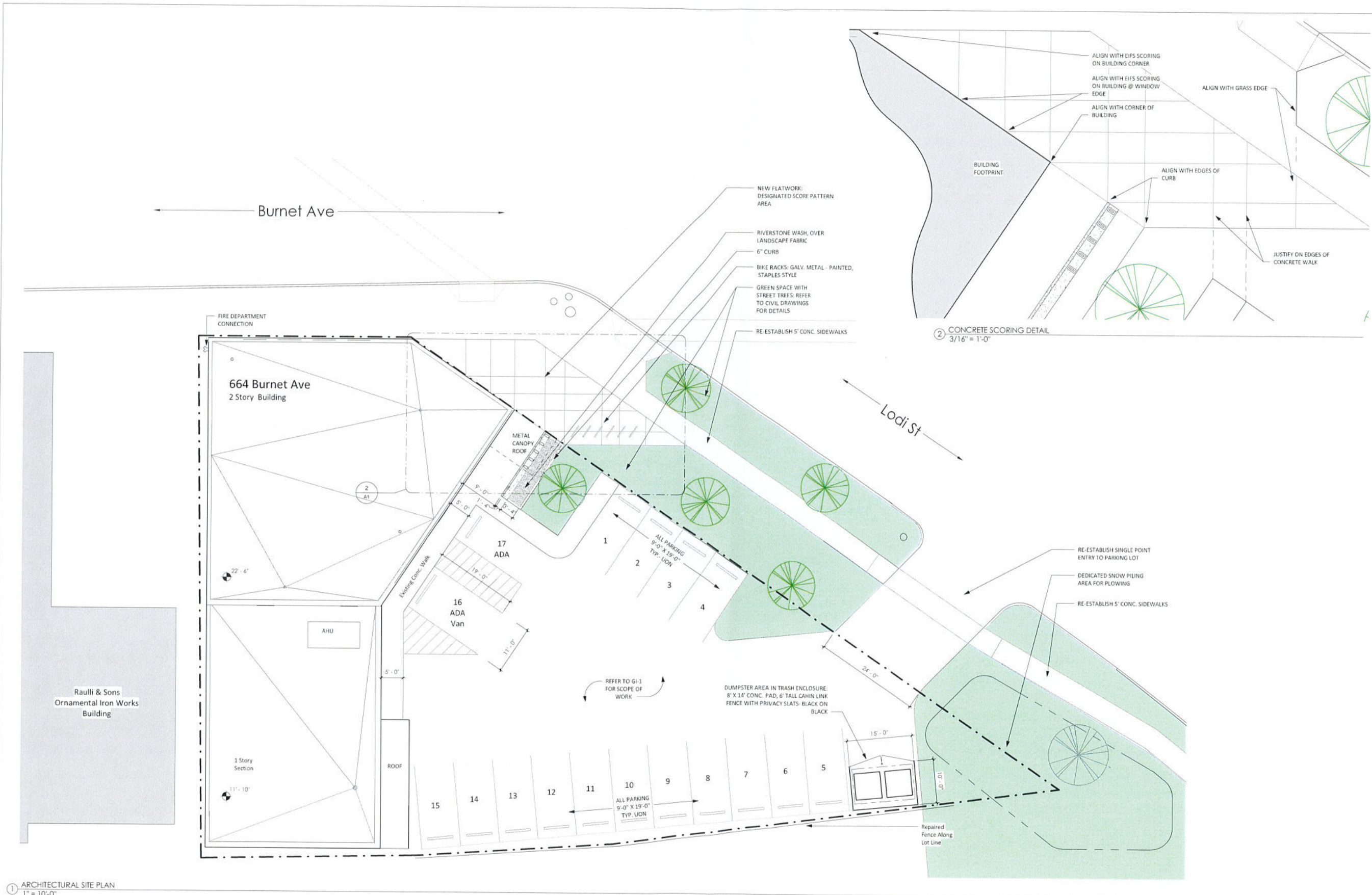
- NOTES:**
1. REFER TO CITY OF SYRACUSE STANDARD SPECIFICATIONS OR DETAILS. THE MINIMUM THICKNESS OF EACH LAYER OF BINDER, TOP, SUBBASE AND CONCRETE BASE SHALL MATCH THOSE SHOWN ON STANDARD DETAILS OR MATCH EXISTING WHERE EXISTING CONDITIONS EXCEED MINIMUMS.
  2. IN NO CASE SHALL THE TOP OF CONCRETE BASE BE HIGHER THAN THAT OF THE SURROUNDING EXISTING CONCRETE.
  3. IF PAVEMENT MARKINGS OR SIGNAL LOOPS ARE DISTURBED OR DESTROYED THEY SHALL BE REPLACED IN ACCORDANCE WITH CITY OF SYRACUSE STANDARDS.
  4. MATCH EXISTING PAVEMENT SLOPE.
  5. IF, IN THE OPINION OF THE CONTRACTOR, THE EXISTING CONCRETE FOUNDATION IS IN POOR CONDITION, THE ENGINEER SHALL BE CONTACTED FOR PRIOR APPROVAL TO ELIMINATE DOWELS.

**STREET CUT REPAIR ROAD RESTORATION DETAIL**  
SCALE: NONE

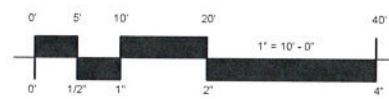
REV.	DATE	DESCRIPTION



SCALE: AS NOTED	Client: Home Headquarters, Inc. 538 Erie Boulevard West, Suite 100, Syracuse, NY 13204
DATE: 2-16-21	PROJECT: DEJULIO'S RENOVATION 664-666 BURNET AVENUE SYRACUSE, NEW YORK 13203
DRAWN BY: KET	TITLE: DETAILS
CHECKED BY: ART	SHEET NO: GI-3



1 ARCHITECTURAL SITE PLAN  
1" = 10'-0"



INCH INCREMENTS SHOWN ARE AT FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY



It is the responsibility of the architect to obtain all necessary permits and approvals from the appropriate authorities. The architect shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.









**DeJulio's Renovation**  
Phase 2: Exterior & Site Improvements + Elevator + 2nd Floor Change of Occupancy  
664 Burnet Ave  
Syracuse, NY 13203

Permit Documents  
Date: 02-24-2021

ARCHITECTURAL SITE PLAN

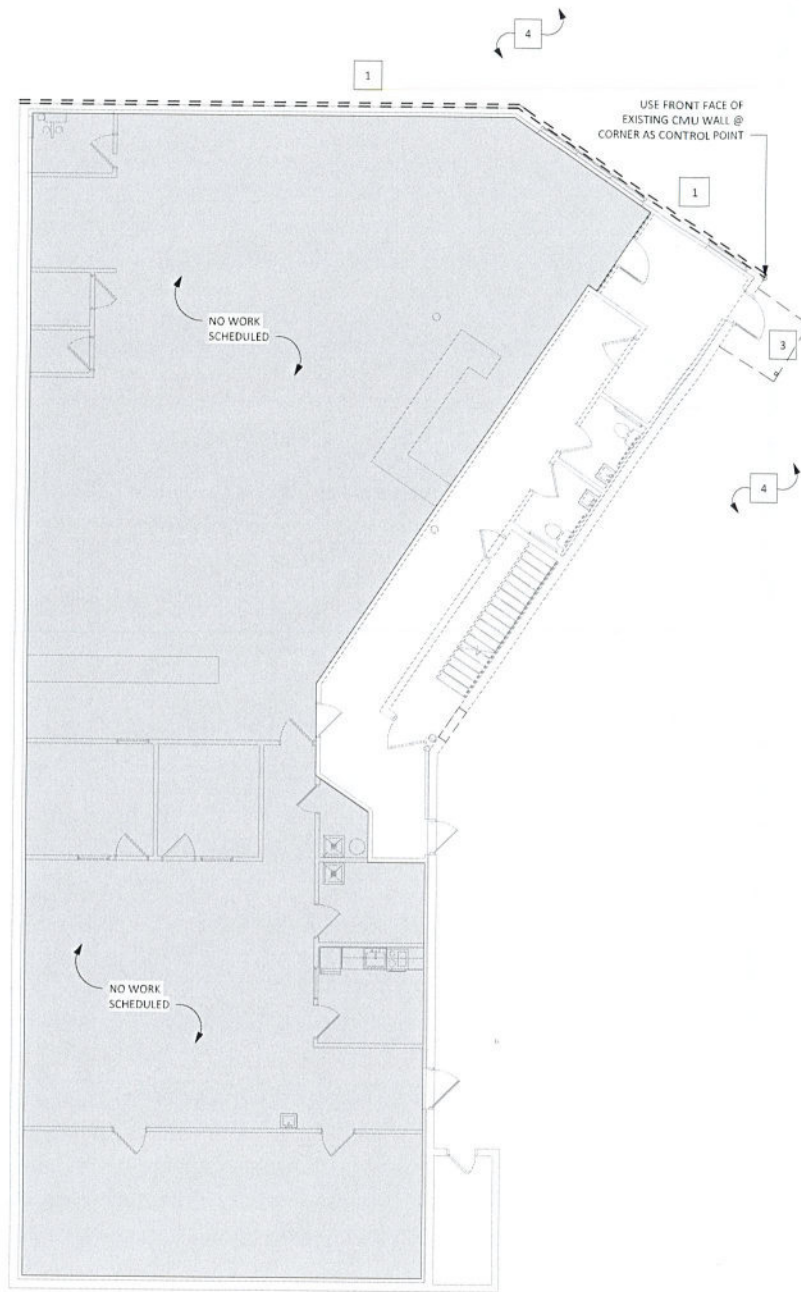
A1

**DEMOLITION LEGEND:**

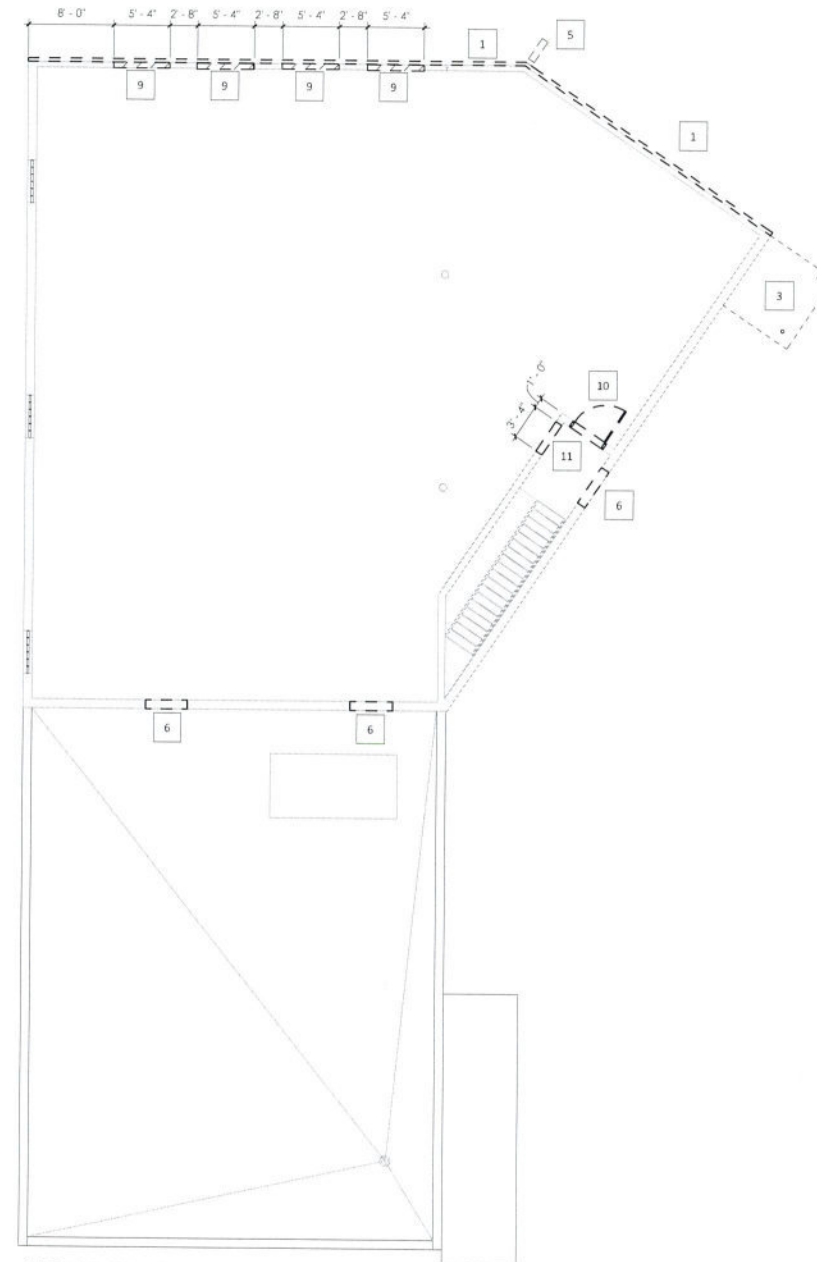
-  DEMOLITION KEYNOTE
-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL TO REMAIN
-  EXISTING DOOR TO BE REMOVED
-  EXISTING DOOR TO REMAIN
-  REMOVE CMU INFILL BLOCK FROM EXTERIOR WALL TO ALLOW FOR NEW WINDOW SYSTEM

**DEMOLITION KEYNOTES**

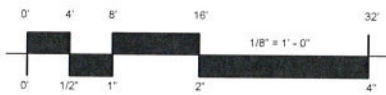
- 1** REMOVE 4" APPLIED EXTERIOR BRICK FACE WALL FROM NORTH AND NORTHEAST ELEVATION INCLUDING BRICK TIES AND ASSOCIATED LINTELS. EXISTING CMU STRUCTURAL WALL WITH EXISTING WINDOWS TO REMAIN.
- 2** NOT IN USE
- 3** REMOVE FRONT FABRIC ENTRY AWNING AND ASSOCIATED METAL COLUMNS.
- 4** REFER TO SITE WORK DRAWING GI-1 FOR EXTENT OF CONCRETE SIDEWALK REMOVAL TO ACCOMMODATE NEW FLATWORK
- 5** REMOVE EXISTING DEJULIO'S SIGN & TURN OVER TO OWNER.
- 6** REMOVE CMU WINDOW INFILL, PREP EXISTING OPENING FOR NEW WINDOW.
- 7** NOT IN USE
- 8** REMOVE EXISTING FAILING EXTERIOR PAINT AND PREP WEST WALL FOR FLUID APPLIED WATER BARRIER AND NEW PAINT
- 9** CUT ROUGH OPENING INTO EXISTING CMU WALL FOR NEW WINDOWS. ADD STEEL LINTEL @ HEAD AT EACH LOCATION. TEMPORARY BRACE ABOVE WALL OPENING UNTIL INSTALL (2) 25" 4X3 GALV. STEEL ANGLE LINTEL IN CMU OPENING AT HEAD- MIN. BEARING DISTANCE OF 8" EACH SIDE. NEW WINDOW HEAD HEIGHT = 7' - 6" ABOVE FINISH FLOOR.
- 10** REMOVE DOOR AND FRAME AND ALL ASSOCIATED COMPONENTS. INFILL OPENING WITH CMU TO MATCH
- 11** CUT ROUGH OPENING INTO EXISTING CMU WALL FOR NEW DOOR. TEMPORARY BRACE ABOVE WALL OPENING UNTIL INSTALL (2) 25" 4X3 GALV. STEEL ANGLE LINTEL IN CMU OPENING AT HEAD- MIN. BEARING DISTANCE OF 8" EACH SIDE. PROVIDE NEW 4" MASONRY HOLLOW METAL DOOR WITH A FULLY GROUTED FRAME. NEW DOOR HEAD HEIGHT = 6' - 8" ABOVE FINISH FLOOR.



① FIRST FLOOR: DEMOLITION PLAN  
1/8" = 1'-0"



② SECOND FLOOR: DEMOLITION PLAN  
1/8" = 1'-0"



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**DeJulio's Renovation**

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Syracuse, NY 13203

Revised: \_\_\_\_\_ Date: \_\_\_\_\_






Permit Documents  
Date: 02-24-2021

DEMO PLANS

A2

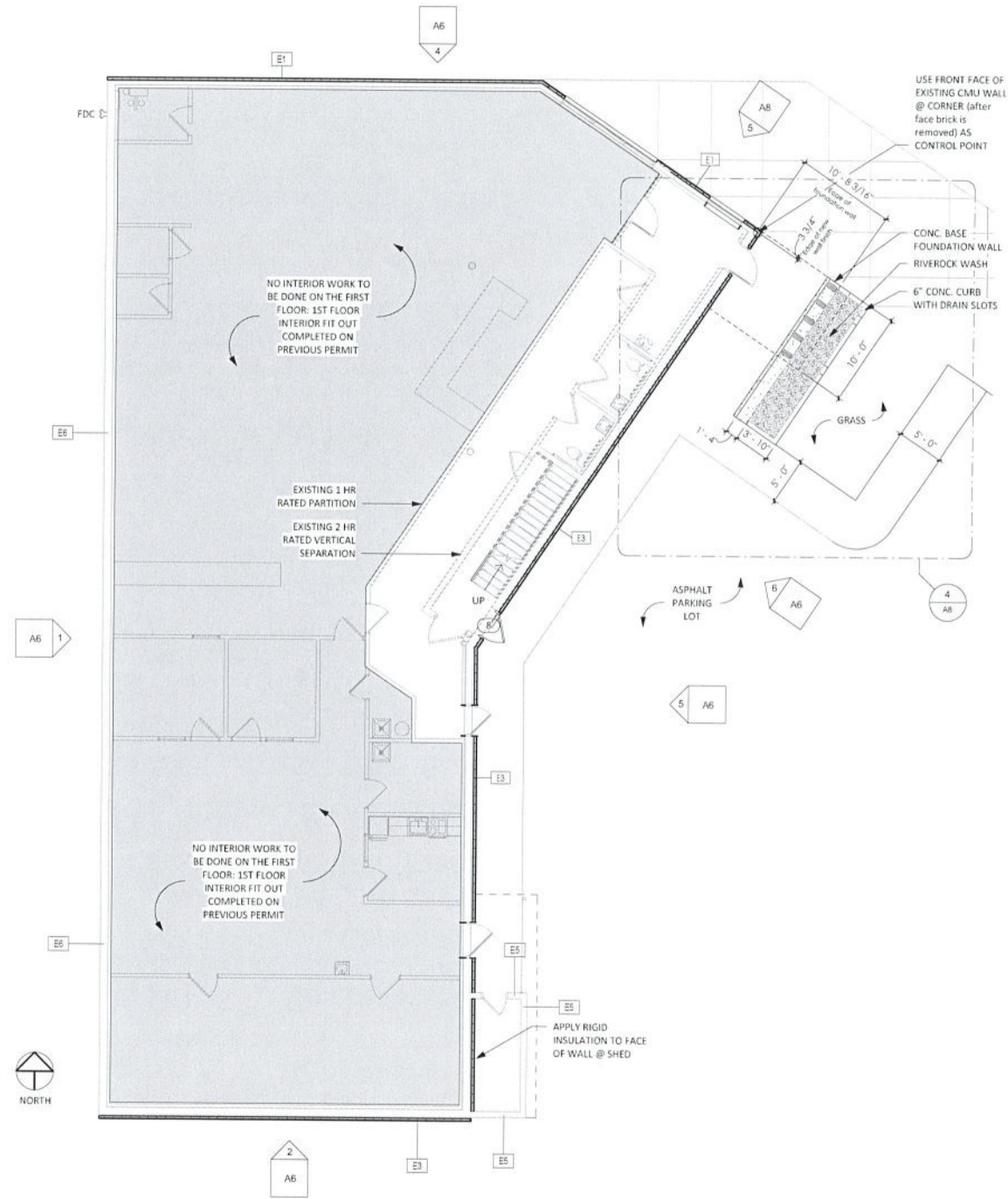


**FLOOR PLAN LEGEND:**

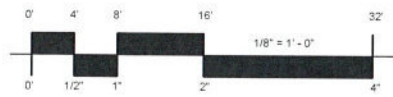
-  CONSTRUCTION KEYNOTE
-  EXISTING WALL TO REMAIN
-  NEW WALL
-  EXISTING DOOR TO REMAIN
-  NEW DOOR

**GENERAL CONSTRUCTION NOTES:**

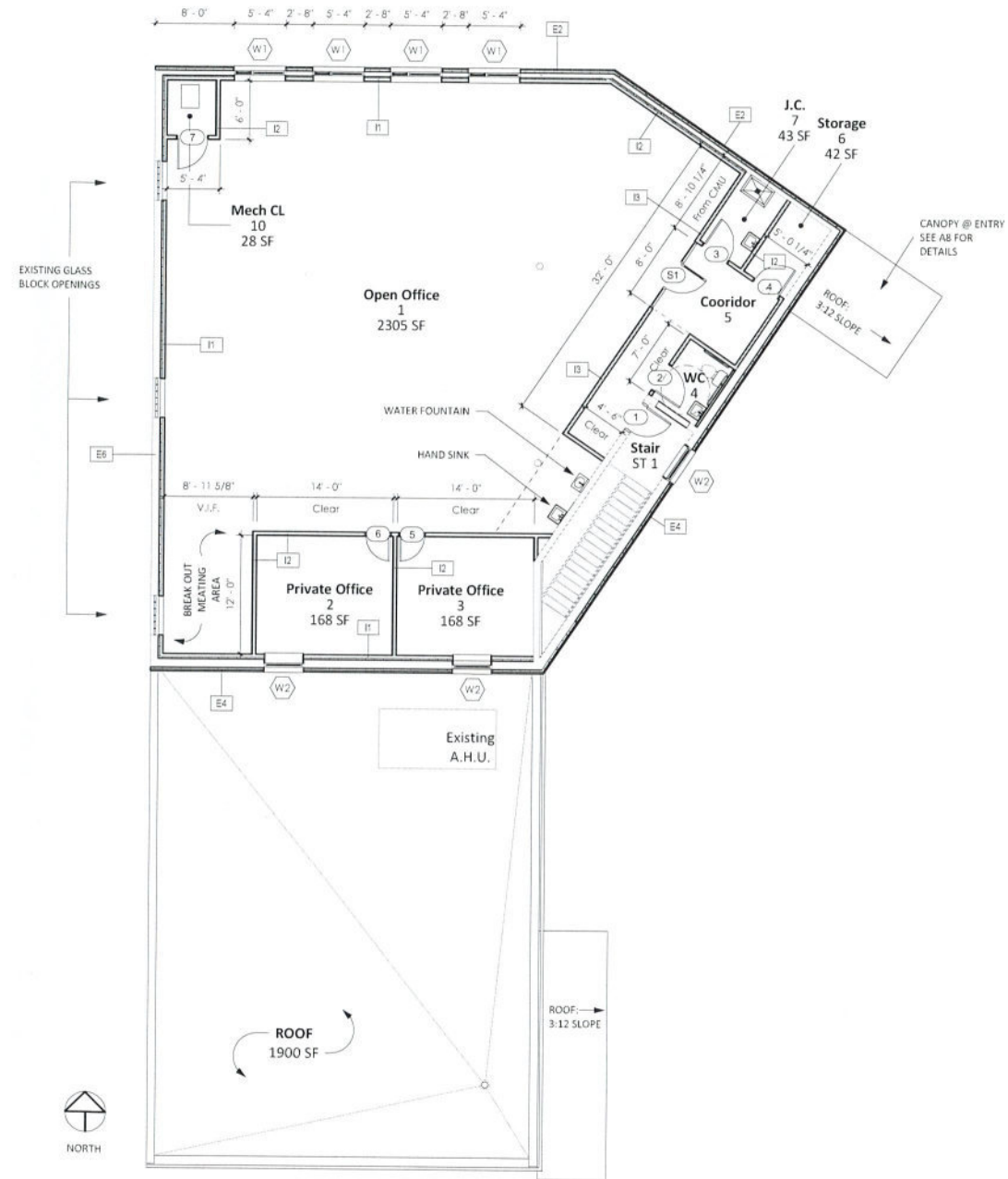
- SEE A10 FOR BATHROOM MOUNTING HEIGHT DESCRIPTIONS FOR ACCESSORY LOCATIONS.
- REFER TO WALL TYPES FOUND IN GENERAL INFORMATION SECTION
- THE NEW LOAD BEARING CMU WALLS FOR THE ELEVATOR SHAFT TO BE KEPT SEPARATE FROM AND CONNECTED TO THE EXISTING BUILDING WITH AN EXPANSION JOINT.
- REFER TO DRAWING T-3 FOR PROPOSED WALL TYPE DESCRIPTIONS.



1 FIRST FLOOR: PROPOSED PLAN  
1/8" = 1'-0"



INCH INCREMENTS SHOWN ARE AT FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY



2 SECOND FLOOR: PROPOSED PLAN  
1/8" = 1'-0"



100 is a violation of Title 16, Article 127 of NYS Education Law for an architect unless acting under the direction of a licensed architect. No other person shall sign or prepare any drawings, specifications or other documents required to be signed by a licensed architect or other professional engineer or other professional in the State of New York.



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Permit Documents  
Date: 02-24-2021

PROPOSED PLANS

A3

**REFLECTED CEILING LEGEND:**

NOTE: SYMBOLS ARE GRAPHIC REPRESENTATIONS - ALL SYMBOLS AS SHOWN MAY NOT APPEAR ON ALL DRAWINGS.

- 2' x 2' SUSPENDED CEILING ASSEMBLY
- 2' x 4' SUSPENDED CEILING ASSEMBLY
- GYPSUM BOARD SOFFIT / CEILING
- INDICATES CEILING HEIGHT ABOVE FINISHED FLOOR (REFER TO GENERAL REFLECTED CEILING NOTE 3)
- AIR RETURN OR EXHAUST REGISTER / GRILLE, (NOT SHOWN: COORDINATE W/ MECHANICAL DRAWINGS)
- DIFFUSER (NOT SHOWN: COORDINATE W/ MECHANICAL DRAWINGS)
- CEILING MOUNTED VENTILATION (NOT SHOWN: COORDINATE W/ MECHANICAL DRAWINGS)
- 4" OR 8" LED PENDANT LIGHT FIXTURE
- 2' x 4' LED FIXTURE
- 2' x 2' LED FIXTURE
- NOTE: PROVIDE LIGHT/FAN COMBO UNIT FOR MECHANICAL VENTILATION IN BATHROOMS, MUST BE DISCHARGED TO EXTERIOR
- SURFACE MOUNTED FIXTURE
- EXIT SIGN
- EMERGENCY LIGHTING W/ BATTERY PACK
- SPRINKLER HEAD

**FIRE ALARM LEGEND:**

NOTE: SYMBOLS ARE GRAPHIC REPRESENTATIONS - ALL SYMBOLS AS SHOWN MAY NOT APPEAR ON ALL DRAWINGS.

- SMOKE DETECTOR
- SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR COMBO
- HORN AND STROBE COMBO
- STROBE ONLY
- FIRE ALARM CONTROL PANEL
- CONTROL RELAY
- MONITOR MODULE
- RELAY MONITOR MODULE
- HEAT DETECTOR
- PULL STATION

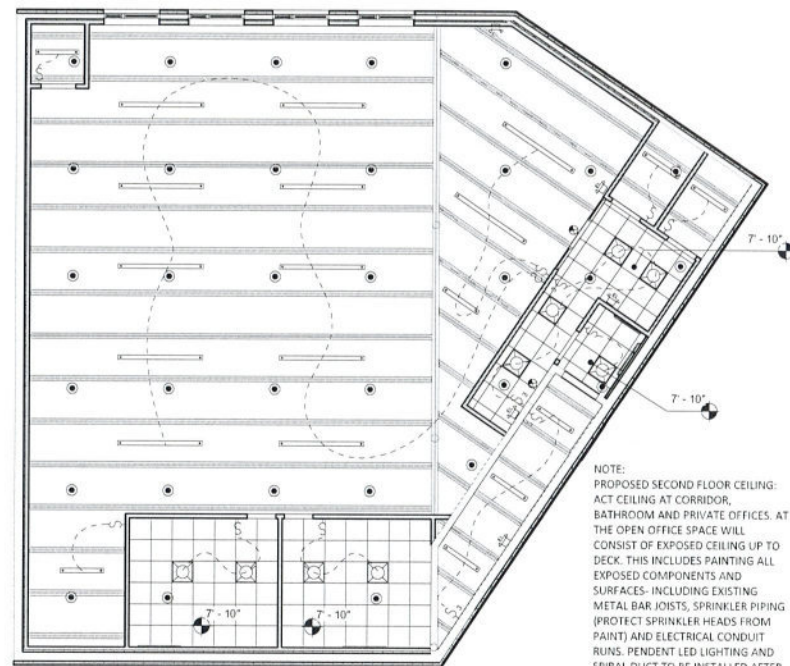
**POWER LEGEND:**

NOTE: SYMBOLS ARE GRAPHIC REPRESENTATIONS - ALL SYMBOLS AS SHOWN MAY NOT APPEAR ON ALL DRAWINGS.

- NEW QUAD OUTLET
- NEW DUPLEX OUTLET
- GROUND FAULT CIRCUIT INTERRUPT OUTLET
- INDICATES OUTLET HEIGHT A.F.F. (18" U.O.N.)
- NEW DATA CONNECTION
- NEW TELEPHONE CONNECTION

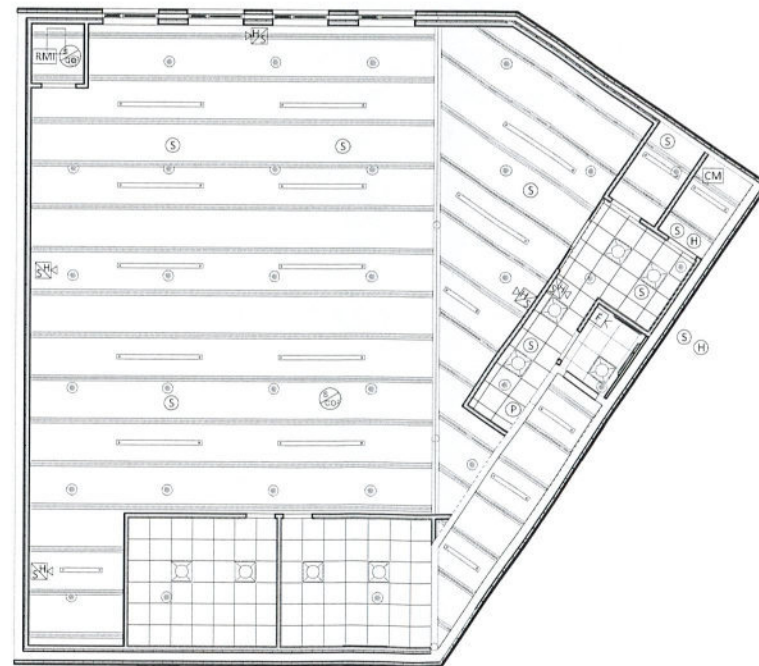
**GENERAL NOTES:**

1. FIRE ALARM/ SMOKE DETECTION, LIGHTING, POWER, AND MECHANICAL REPRESENTATIONS ARE FOR DESIGN INTENT ONLY. ALL TRADE DRAWINGS ARE TO BE DONE ON A DESIGN BUILD EFFORT AND WILL BE PROVIDED BY THE OWNER AND BE REVIEWED BY THE ARCHITECT PRIOR TO IMPLEMENTATION.
2. BUILDING IS FULLY SPRINKLERED WITH QUICK RESPONSE HEADS. AN EVALUATION/ANALYSIS WILL BE CARRIED OUT TO VERIFY THE SYSTEM IS IN ACCORDANCE WITH NFPA 13.
3. VARIOUS SPRINKLER HEADS WILL REQUIRE DROP EXTENSIONS TO ALIGN WITH NEW LOWERED CEILING PLANES AT APPLICABLE LOCATIONS.

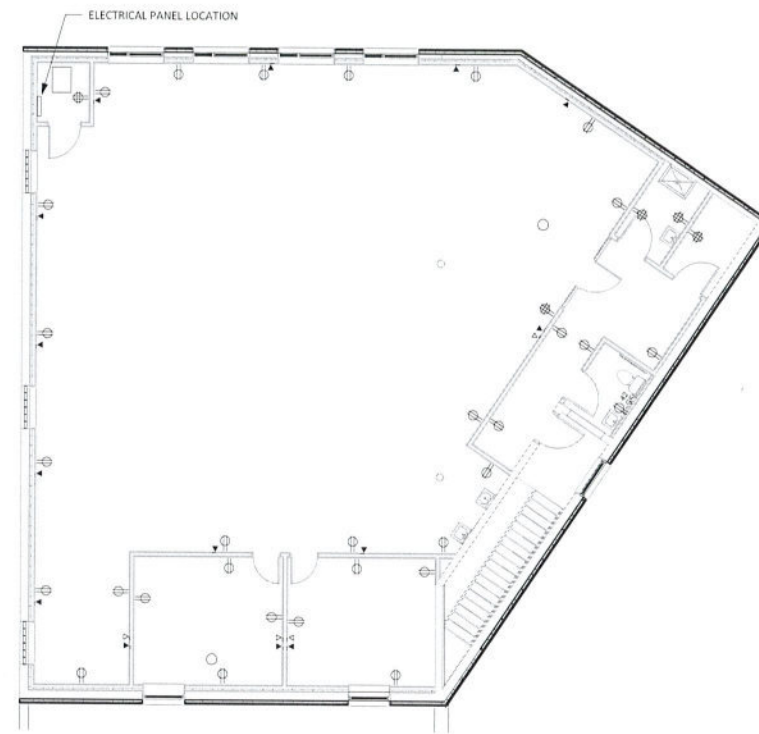


NOTE: PROPOSED SECOND FLOOR CEILING: ACT CEILING AT CORRIDOR, BATHROOM AND PRIVATE OFFICES. AT THE OPEN OFFICE SPACE WILL CONSIST OF EXPOSED CEILING UP TO DECK. THIS INCLUDES PAINTING ALL EXPOSED COMPONENTS AND SURFACES- INCLUDING EXISTING METAL BAR JOISTS, SPRINKLER PIPING (PROTECT SPRINKLER HEADS FROM PAINT) AND ELECTRICAL CONDUIT RUNS. PENDENT LED LIGHTING AND SPIRAL DUCT TO BE INSTALLED AFTER PAINT.

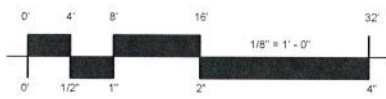
1 SECOND FLOOR: R.C.P.  
1/8" = 1'-0"



2 SECOND FLOOR: FIRE ALARM PLAN  
1/8" = 1'-0"



3 SECOND FLOOR: POWER PLAN  
1/8" = 1'-0"



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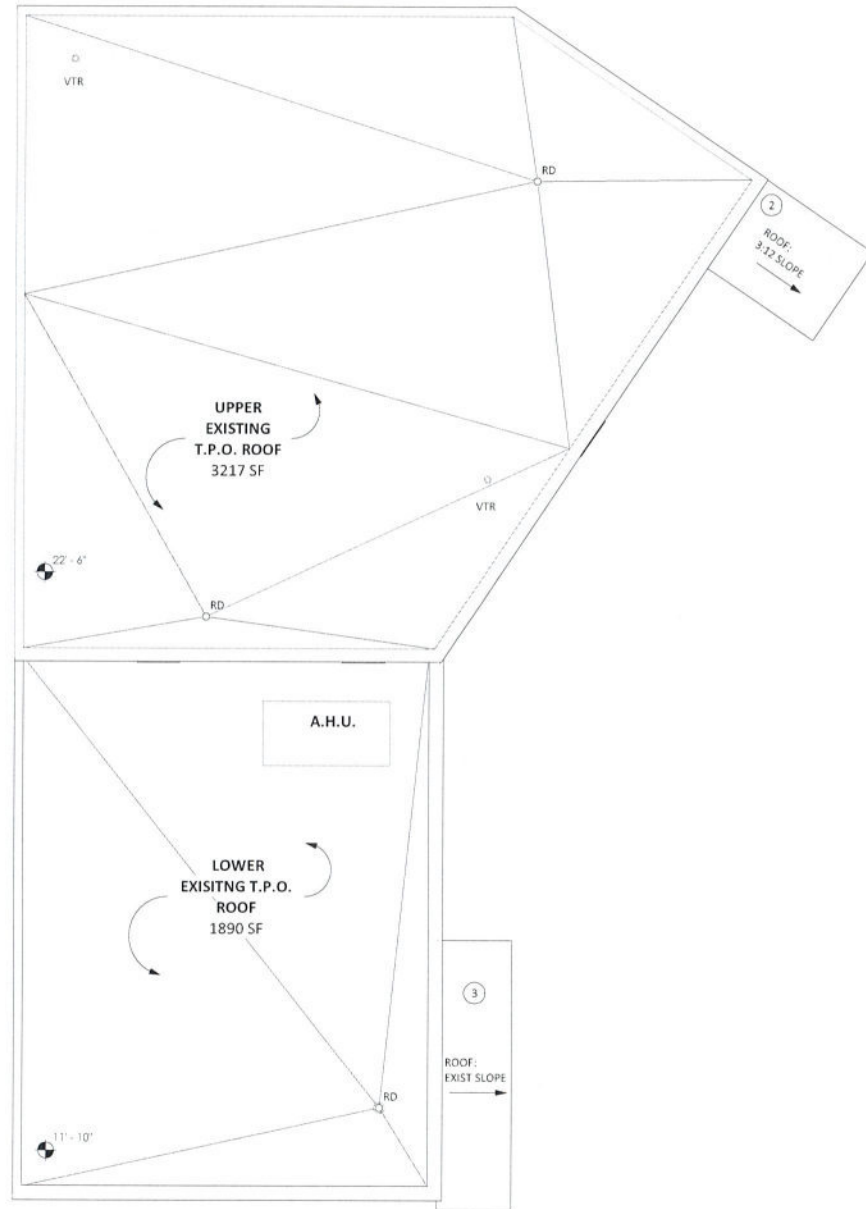
**ROOF SYMBOL LEGEND**

NOTE: SYMBOLS ARE GRAPHIC REPRESENTATIONS - ALL SYMBOLS AS SHOWN MAY NOT APPEAR ON ALL DRAWINGS.

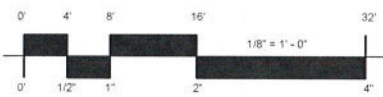
- EF EXHAUST FAN
- RD ROOF DRAIN
- HV HOT VENT STACK
- VTR VENT PIPE THRU ROOF
- AHU AIR HANDLING UNIT
- INDICATES DIRECTION ROOF SLOPE

**ROOF KEYNOTES:**

- 1 NOT IN USE
- 2 CANOPY ROOF: ATAS - MONARCH BATTEN SEAM METAL ROOFING, OVER OAK PURLINS, ON STRUCTURAL STEEL
- 3 SHED ROOF: ATAS - MONARCH BATTEN SEAM METAL ROOFING, OVER RUBBER ROOF UNDERLAYMENT, OVER COVER BOARD, OVER EXISTING STRUCTURE



1 ROOF PLAN  
1/8" = 1'-0"



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Author: [ ]  
Date: [ ]

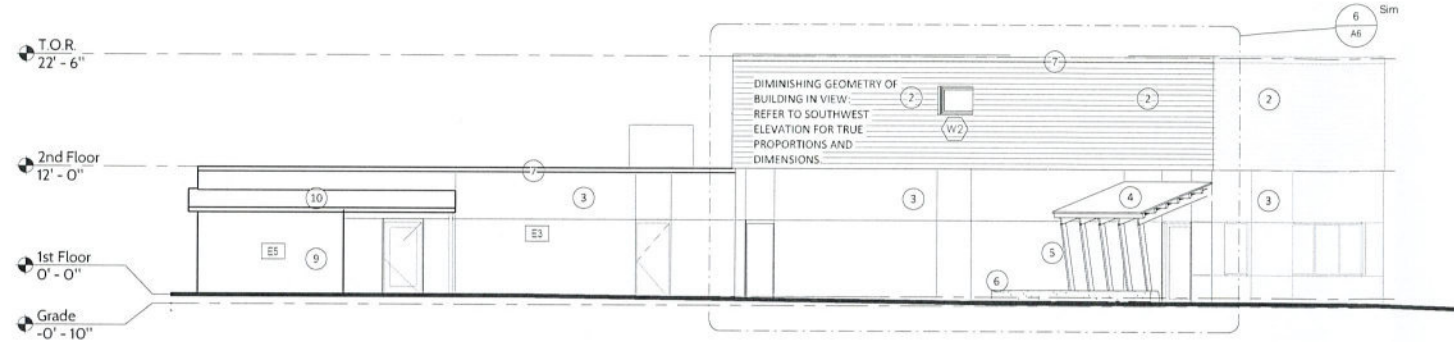
Permit Documents  
Date: 02-24-2021

ROOF PLAN

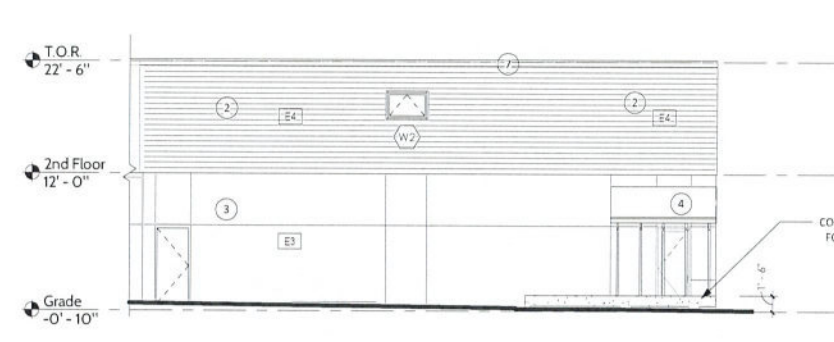
A5

**BUILDING ELEVATION KEYNOTES:**

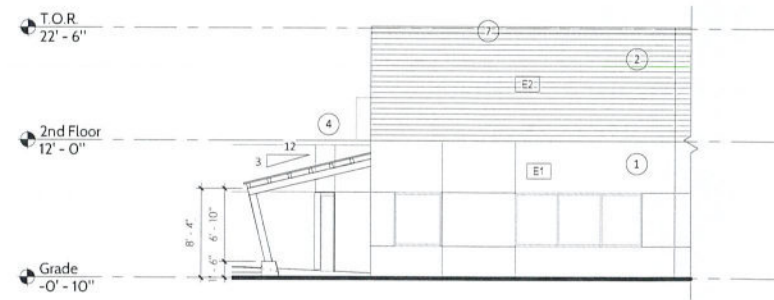
- 1 EIFS SCORE LINE- TYP.
- 2 METAL SIDING: ATAS- GRAND V METAL SIDING COLOR: # 2
- 3 EIFS SIDING COLOR: # 1
- 4 NEW ENTRY AWNING: ATAS -MONARCH BATTEN SEAM METAL ROOFING COLOR: BLACK
- 5 STRUCTURAL STEEL: COLOR BLACK
- 6 CONCRETE KNEE WALL/ COLUMN SUPPORT/RAIN CATCHMENT WASH
- 7 ALUMINUM PARAPET CAP
- 8 EIFS SIDING COLOR: # 1 MURAL LOCATION- NOT IN USE
- 9 PAINT ON CMU COLOR: # 1
- 10 SHED ROOF: ATAS -MONARCH BATTEN SEAM METAL ROOFING COLOR: BLACK



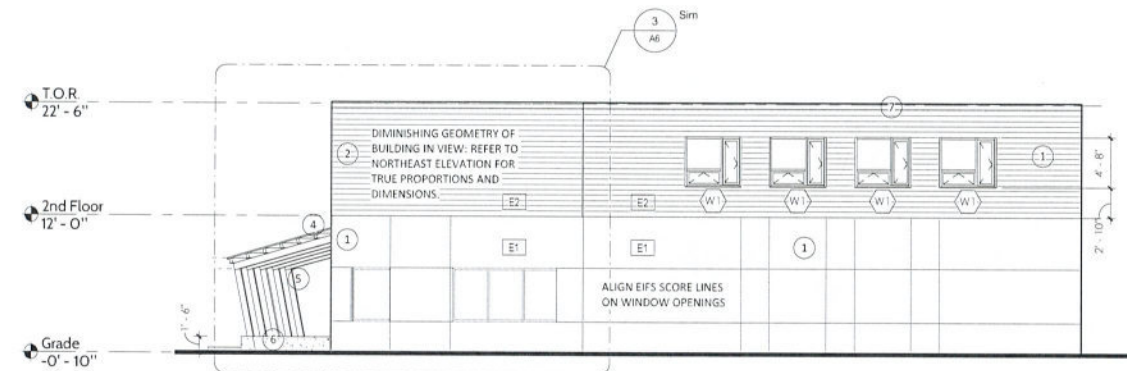
5 EAST ELEVATION  
1/8" = 1'-0"



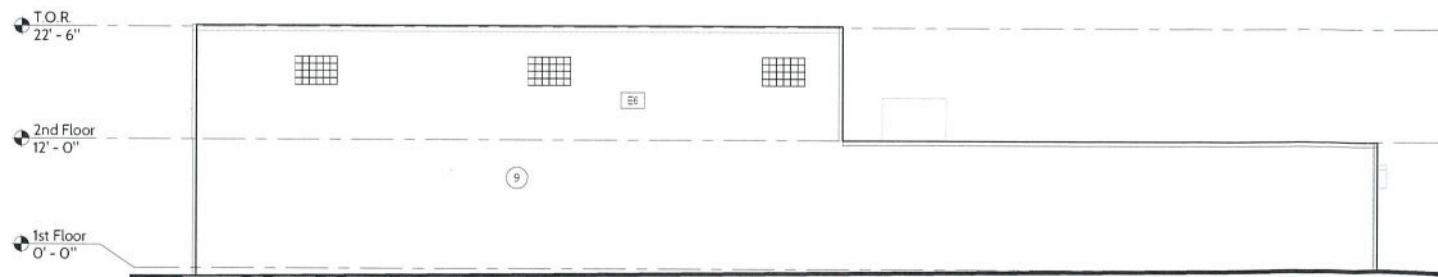
6 SOUTHEAST ELEVATION  
1/8" = 1'-0"



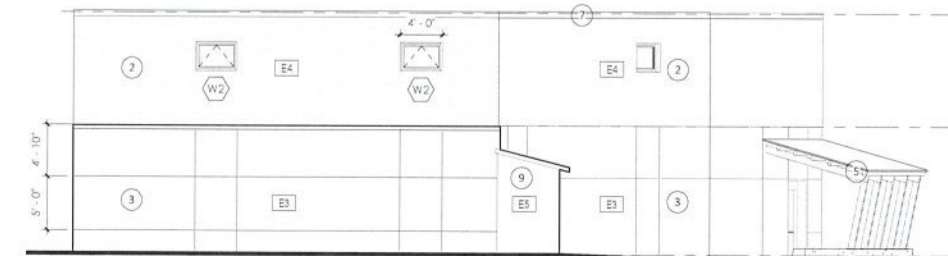
3 NORTHEAST ELEVATION  
1/8" = 1'-0"



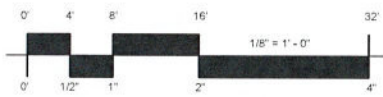
4 NORTH ELEVATION  
1/8" = 1'-0"



1 WEST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



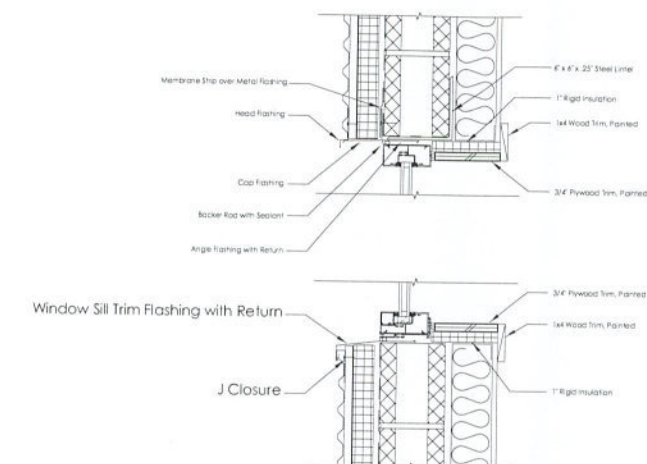
INCH INCRIMENTS SHOWN ARE AT FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY



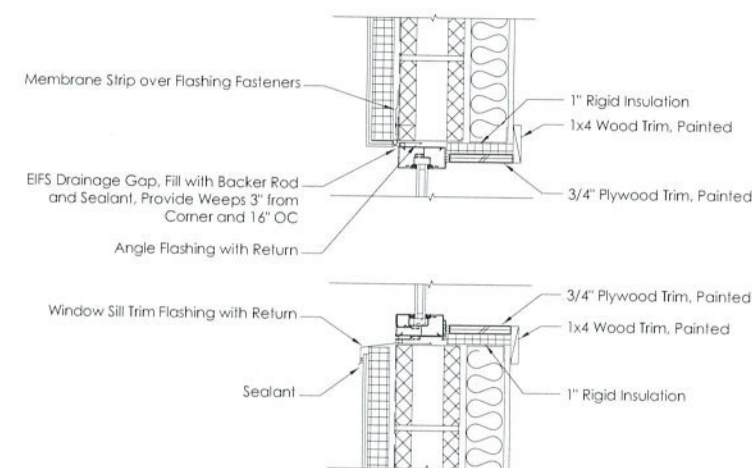
It is the obligation of the architect to provide a professional seal for the project. The seal shall be placed on the drawing at the location of the project. The seal shall be placed on the drawing at the location of the project. The seal shall be placed on the drawing at the location of the project.

**DeJulio's Renovation**  
Phase 2: Exterior & Site Improvements +  
Elevator + 2nd Floor Change of Occupancy

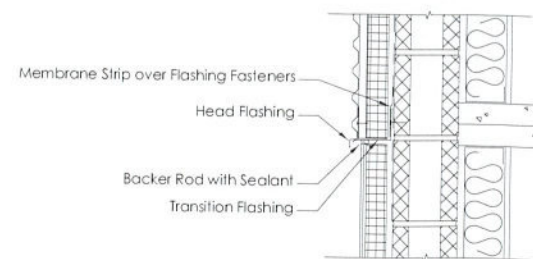
664 Burnet Ave  
Syracuse, NY 13203



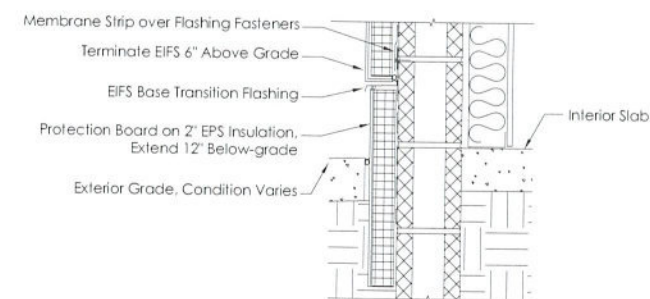
3 WINDOW DETAIL: @ METAL CLADDING  
1 1/2" = 1'-0"



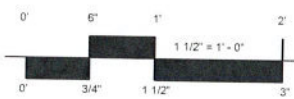
4 WINDOW DETAIL: @ EIFS CLADDING  
1 1/2" = 1'-0"



1 CLADDING TRANSITION: METAL TO EIFS  
1 1/2" = 1'-0"



2 DETAIL SECTION: @ GRADE  
1 1/2" = 1'-0"

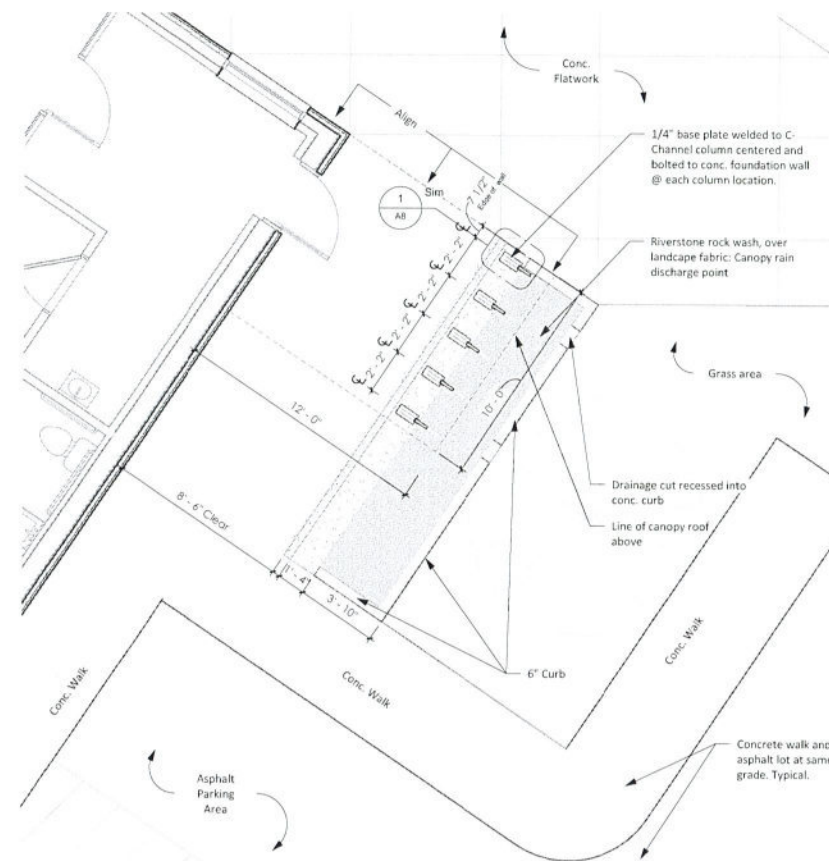


INCH INCREMENTS SHOWN ARE AT FULL SCALE ON THE SHEET.  
IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY

DATE	
REVISIONS	
DATE	02-24-2021
DESCRIPTION	Permit Documents

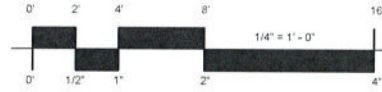
DETAILS

A7

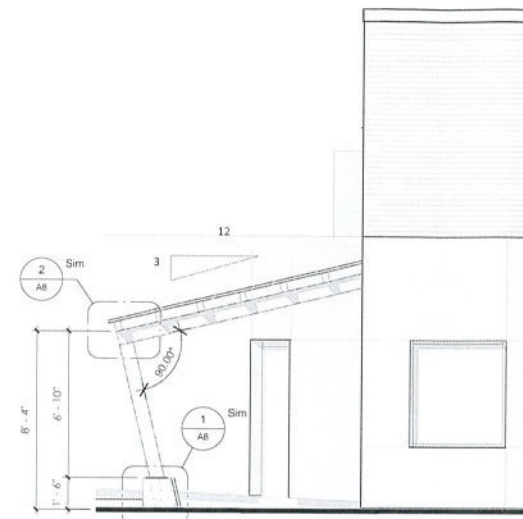


4 Canopy Plan

1/4" = 1'-0"

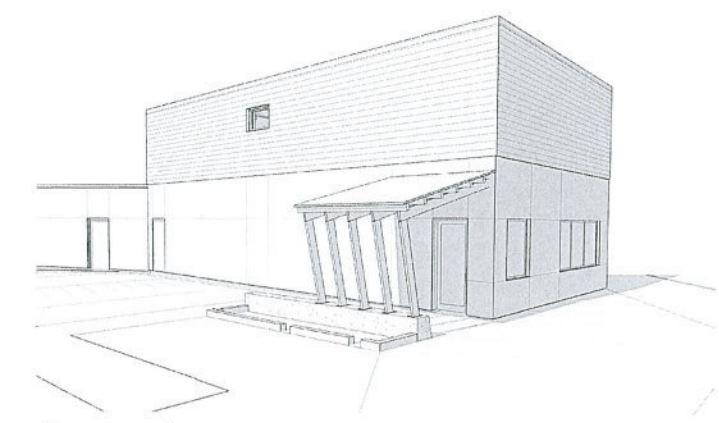


INCH INCREMENTS SHOWN ARE AT FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY

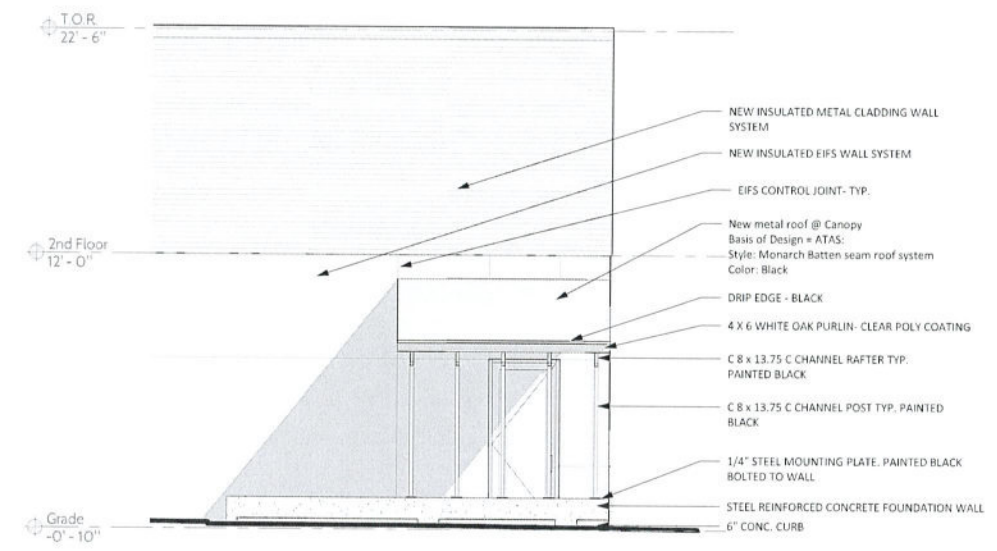


5 Canopy Front

1/4" = 1'-0"

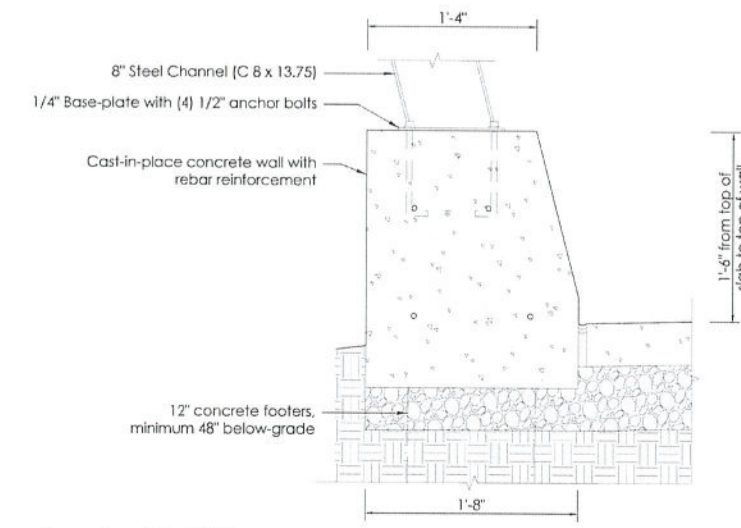


7 Canopy perspective



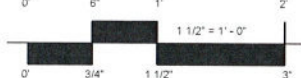
6 Canopy-Side

1/4" = 1'-0"

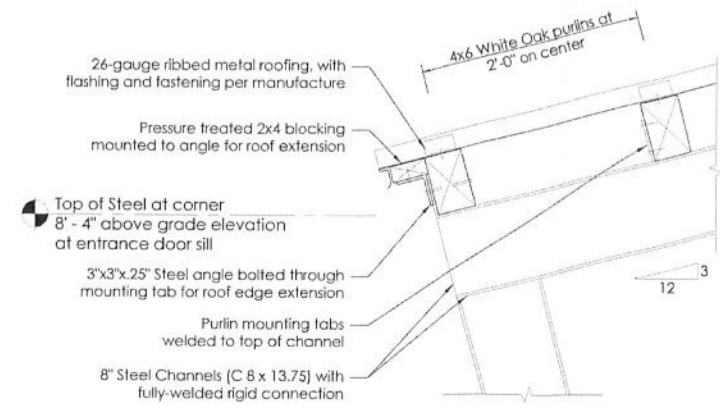


1 Canopy Foundation Detail

1 1/2" = 1'-0"

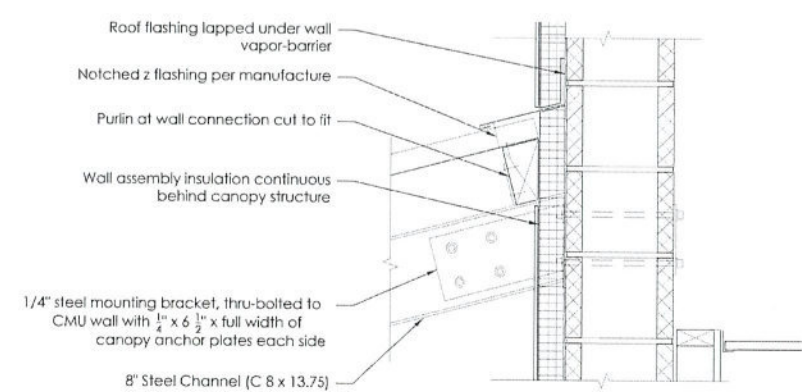


INCH INCREMENTS SHOWN ARE AT FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY



2 Canopy Roof Edge Detail

1 1/2" = 1'-0"



3 Canopy Wall Connection Detail

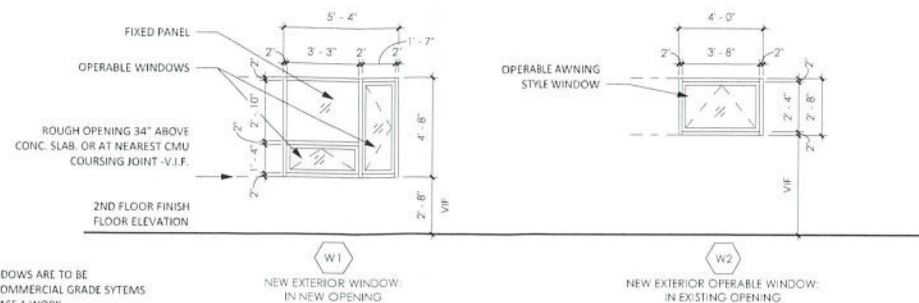
1 1/2" = 1'-0"

DeJulio's Renovation  
Phase 2: Exterior & Site Improvements + Elevator + 2nd Floor Change of Occupancy  
664 Burnett Ave  
Syracuse, NY 13203

Permit Documents  
Rev: 02-24-2021

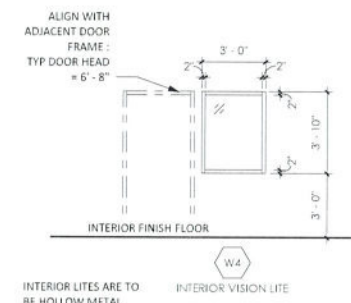
CANOPY PLAN + DETAILS

**EXTERIOR WINDOWS**



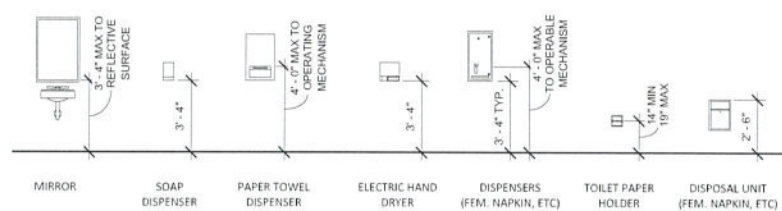
EXTERIOR WINDOWS ARE TO BE ALUMINUM, COMMERCIAL GRADE SYSTEMS TO MATCH PHASE 1 WORK

**INTERIOR VISION WINDOW**

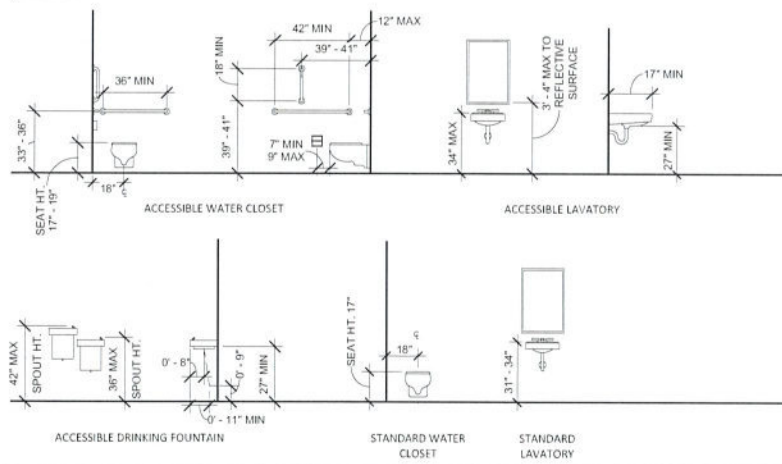


INTERIOR LITES ARE TO BE HOLLOW METAL

**TYPICAL BATHROOM ACCESSORIES:**



**FIXTURES:**



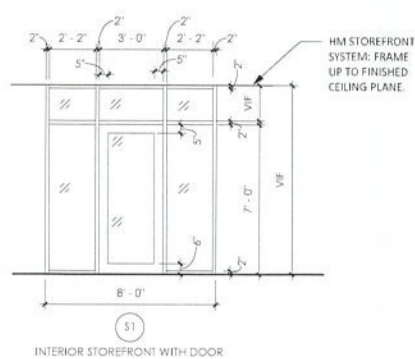
**FIXTURE AND ACCESSORY MOUNTING HEIGHTS DIAGRAM**

N.T.S.  
THESE DIMENSIONS ARE FOR ACCESSIBLE INSTALLATIONS UNLESS OTHERWISE NOTED.  
THIS DRAWING IS FOR DIAGRAMMATIC PURPOSES ONLY.  
AN ITEM'S PRESENCE ON THIS DIAGRAM DOES NOT MEAN THAT IT APPEARS IN THIS PARTICULAR PROJECT. SEE FLOOR PLANS, SPECIFICATIONS, ETC. FOR THE ACTUAL TOILET ROOM ACCESSORIES IN THIS PROJECT.  
FLOOR MOUNTED W.C. CAN BE SUBSTITUTED FOR WALL MOUNTED TYPES.

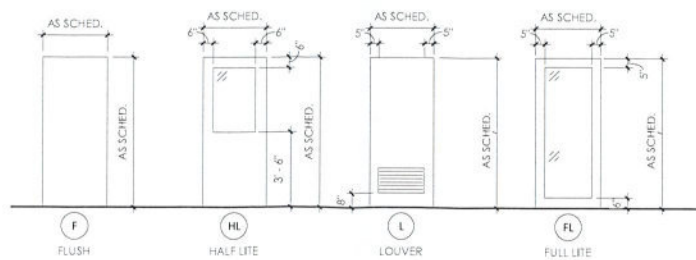
**NOTE:**

PROVIDE FIRE RATED TREATED WOOD BLOCKING IN PARTITIONS AS REQUIRED FOR TOILET ACCESSORIES, SUPPORTS, BACKING, ETC. (TYPICAL)

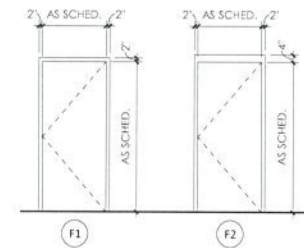
**STOREFRONT SYSTEMS WITH DOORS**



**DOOR TYPES:**



**DOOR FRAME TYPES:**



**GENERAL NOTES**

1. VERIFY FRAMES AND OPENINGS PRIOR TO FABRICATION.
2. GLASS TYPE TO MATCH GLAZING SCHEDULED FOR DOOR. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.

**PHASE 2 DOOR SCHEDULE**

MARK	DOOR TYPE	DOOR MATERIAL	WIDTH	HEIGHT	FINISH	GLAZING TYPE	FIRE RATING	FRAME TYPE	FRAME MATERIAL	COMMENTS
1	F	STEEL	3'-0"	6'-8"	PT	NA	45 MIN	F2	HM	LABELED DOOR WITH LOCKING HARDWARE, PANIC BAR AND SELF-CLOSING
2	F	WOOD	3'-0"	6'-8"	CL	NA	NA	F1	HM	BATHROOM DOOR WITH SELF CLOSING, LOCKING HARDWARE
3	L	WOOD	3'-0"	6'-8"	CL	NA	NA	F1	HM	LOCKING HARDWARE
4	L	WOOD	3'-0"	6'-8"	CL	NA	NA	F1	HM	LOCKING HARDWARE
5	HL	WOOD	2'-6"	6'-8"	CL	T	NA	F1	HM	LOCKING HARDWARE
6	HL	WOOD	2'-6"	6'-8"	CL	T	NA	F1	HM	LOCKING HARDWARE
7	L	WOOD	3'-0"	6'-8"	CL	NA	NA	F1	HM	LOCKING HARDWARE
8	F	STEEL	3'-0"	7'-0 5/8"	PT	NA	NA	F2	HM	EXIT DOOR HARDWARE PACKAGE, VERIFY HEIGHT TO MATCH COURSING IN CMU WALL

**DOOR SCHEDULE LEGEND:**

- HM - PT = PAINTED HOLLOW METAL
- FRP - FF = FACTORY FINISHED FIBERGLASS REINFORCED POLYESTER
- ALUM - FF = FACTORY FINISHED ALUMINUM
- STEEL - FF = FACTORY FINISHED STEEL
- WOOD - CL = SOLID CORE WOOD DOOR WITH CLEAR FINISH COAT

# Materials Specification Outline

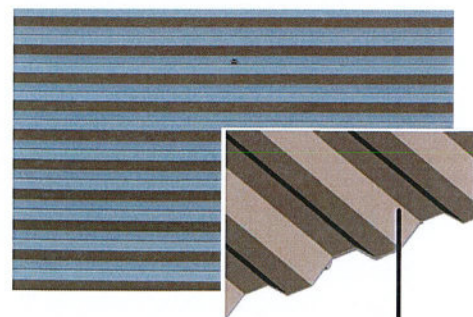
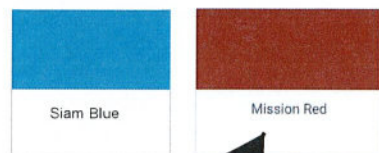
## CLADDING

### Metal Panel Rainscreen

- Corrugated Steel:
- ATAS - Grand C Basis of Design
  - Exposed fasteners
  - Finished with standard factory finish, 70% PVDF resin-based coating

### Metal Cladding Color Options:

- Option 1: Siam blue
- Option 2: Mission Red



GRAND C

## WINDOWS

### Commercial Aluminum Windows

- Combo style commercial: Fixed glazing panel with operable awning + casement windows
- Awning style

### Color:

- Anodized Aluminum Finish to Match



## CANOPY

### Structure

- Structural Steel:
- C 8 x 13.75 C-Channel post and beam - Painted

### Wood:

- White Oak Wood purlins - Poly

### Roof:

- Metal batten Roof
- ATAS Monarch Batten Seem Basis of Design

### Colors:

- Steel- Matte Black
- Wood- Natural/Clear
- Roof- Matte Black



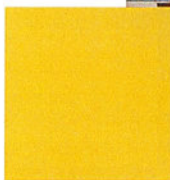
## 1ST FLOOR:

### EIFS Wall System

- StoTherm ci Over Masonry (BASIS OF DESIGN)
- MASONRY SUBSTRATE WITH STO FINISH

### EIFS Wall Coating Color Options:

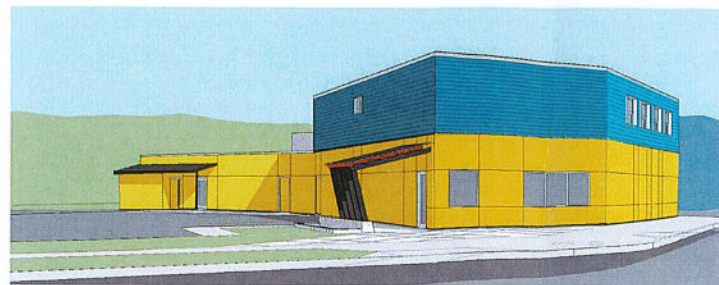
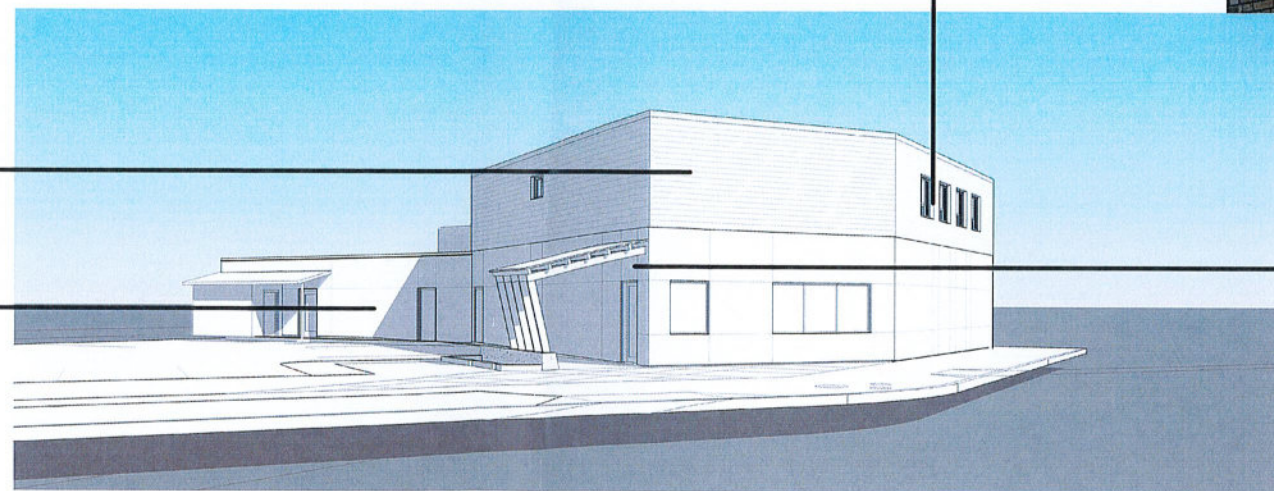
- Option 1: Primrose Yellow
- Option 2: Pantone 18-3916: Medium Blue Gray



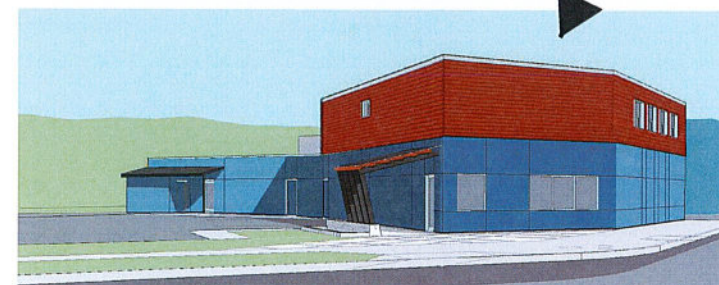
PRIMROSE YELLOW  
PANTONE 13-0755



PANTONE®  
18-3916 TPX



Cladding Color Option 1: Primrose Yellow Base with Siam Blue Metal



Cladding Color Option 2: Pantone 18-3916 Blue Gray Base with Mission Red Metal



www.echomakes.com



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538 Erie Blvd West, Suite 100  
Syracuse, NY 13204

## DeJulio's Renovation

Phase 2: Exterior & Site Improvements + Elevator + 2nd Floor Change of Occupancy

664 Burnet Ave  
Syracuse, NY 13203

Permit Documents  
Date: 02-24-2023

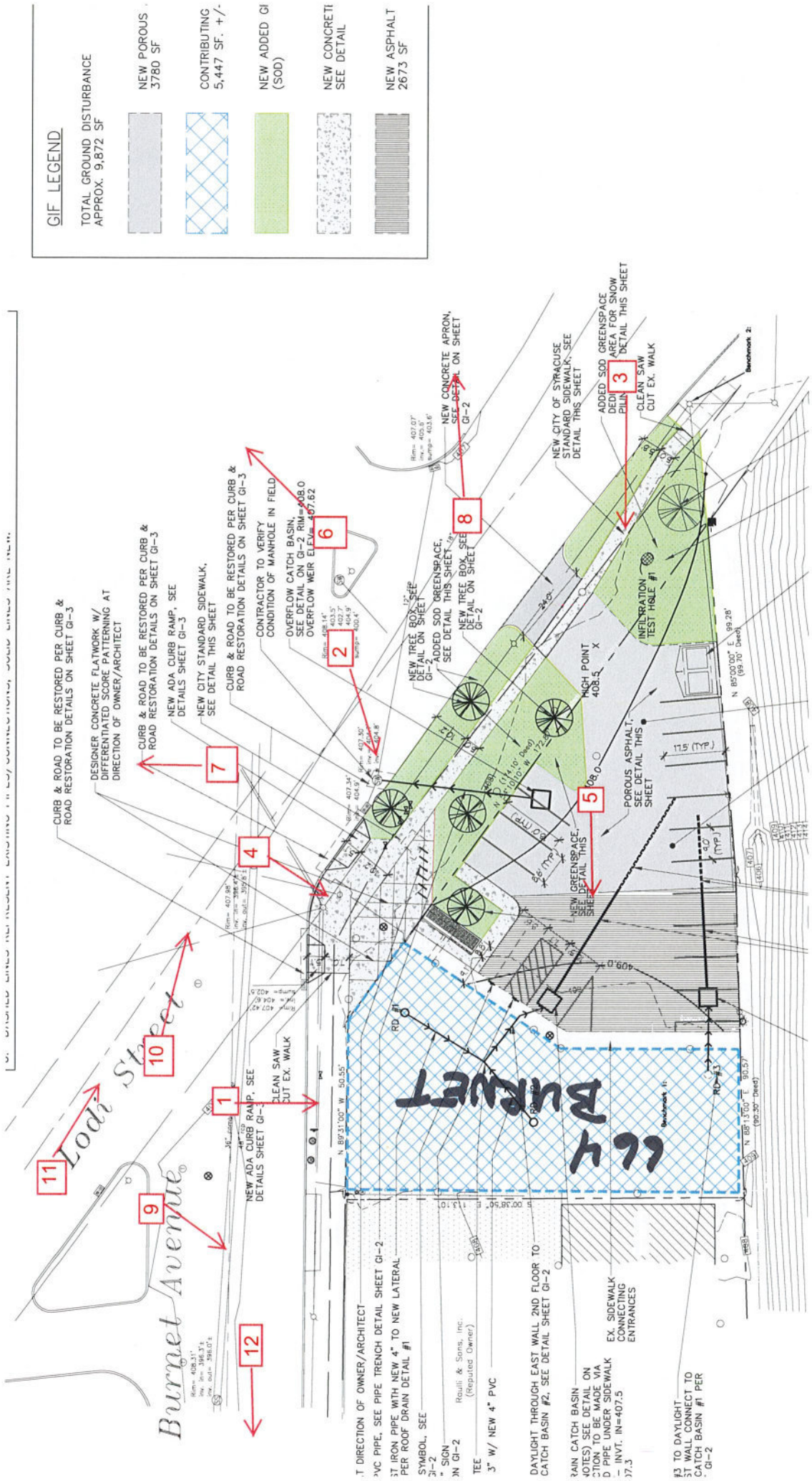
EXTERIOR MATERIAL SPEC OUTLINE + COLOR DIAGRAMS

A10





# PHOTO KEY 664 BURNET



**GIF LEGEND**

TOTAL GROUND DISTURBANCE APPROX. 9,872 SF

	NEW POROUS 3780 SF
	CONTRIBUTING 5,447 SF. +/-
	NEW ADDED GI (SOD)
	NEW CONCRETE SEE DETAIL
	NEW ASPHALT 2673 SF

DATE: 11/15/2023 11:52 AM

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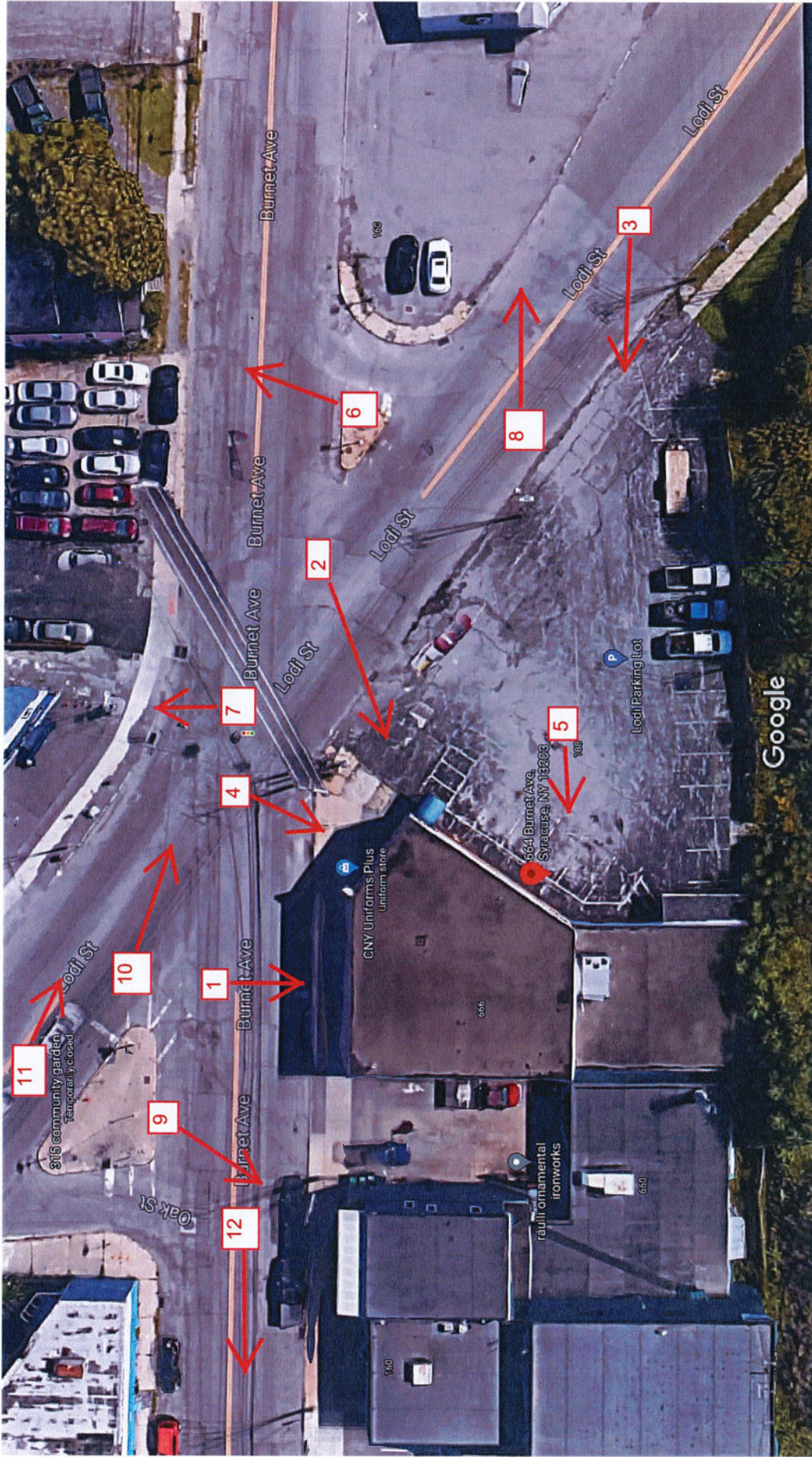
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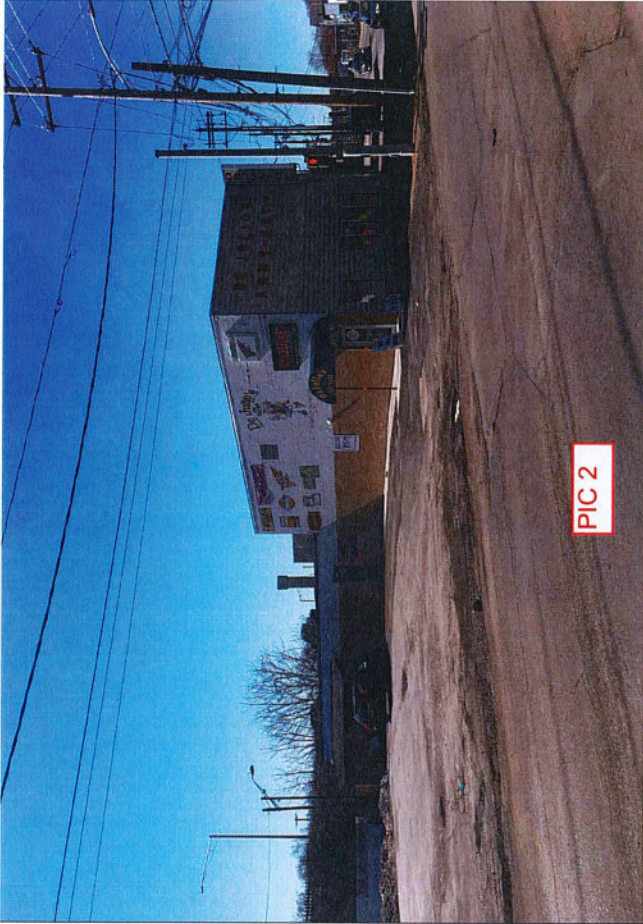
# PHOTO KEY

Google Maps 664 Burnet Ave

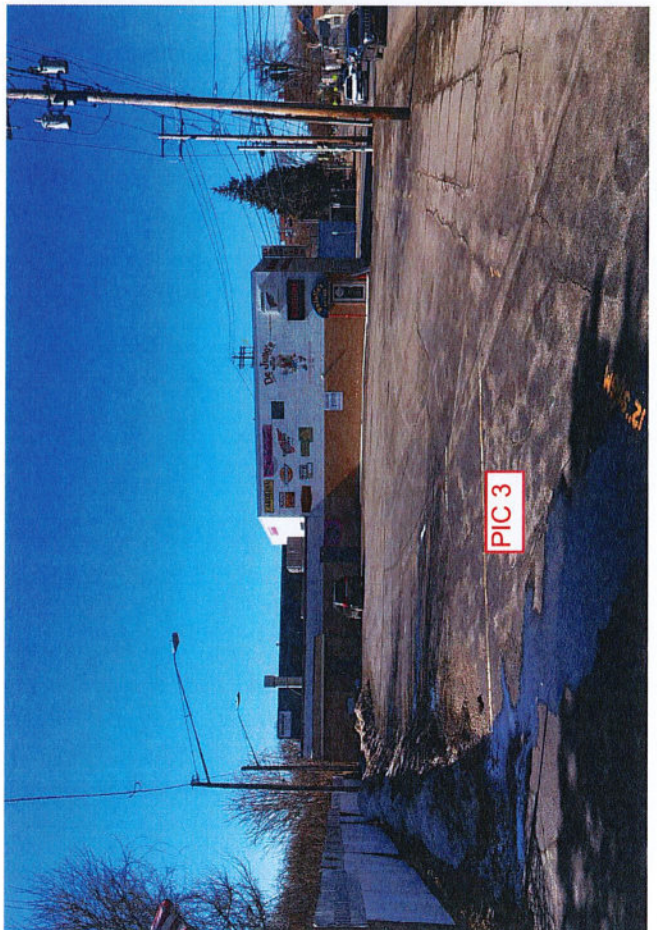




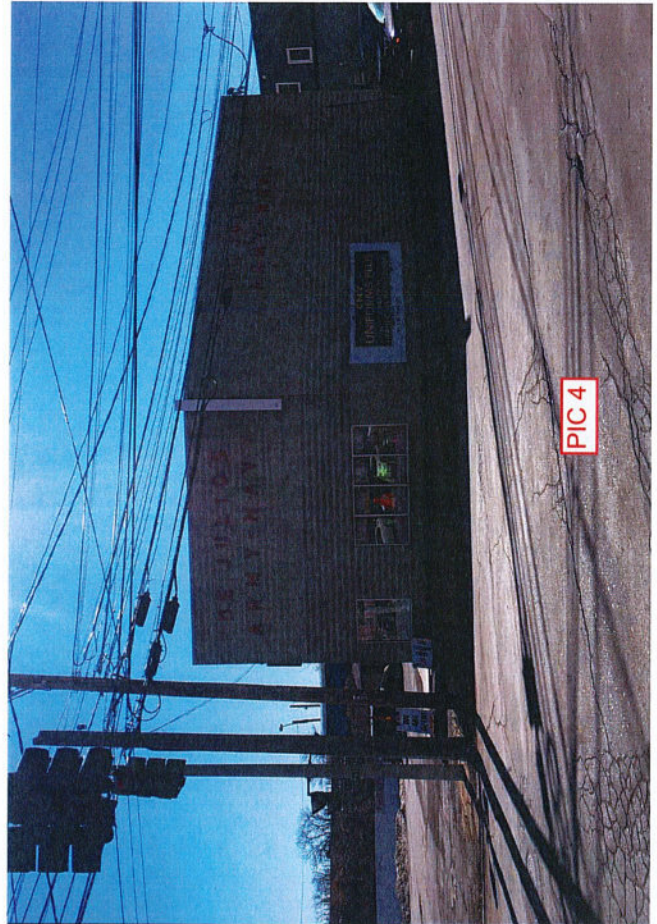
PIC1



PIC2



PIC3



PIC4



PIC 5



PIC 6



PIC 7



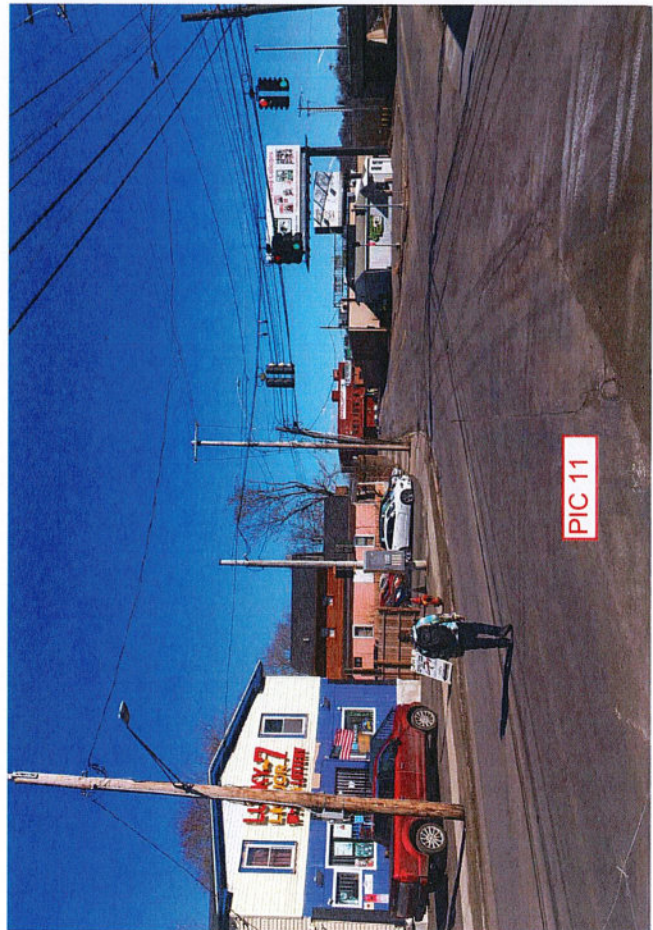
PIC 8



PIC 9



PIC 10



PIC 11



PIC 12



**UPPER SIDING - UPPER WALLS**

## 1. PRODUCT NAME

### GRAND SERIES

### Grand C - Grand V

### BWF324, BWV320

## 2. MANUFACTURER

ATAS INTERNATIONAL, INC.

Website: [www.atas.com](http://www.atas.com)

Email: [info@atas.com](mailto:info@atas.com)

Corporate Headquarters:

Allentown, PA 18106

Phone: (800) 468-1441

Western Facility:

Mesa, AZ 85204

Phone: (480) 558-7210

## 3. PRODUCT DESCRIPTION

### Basic Uses:

The Grand Series panels provide an economical solution to the metal roofing and metal siding needs of today. Panels are designed for use over solid substrates or open framing with support members spaced a maximum of 24 inches on center.

### Composition & Materials:

**Standard Offerings:** Grand C (BWF324) and Grand V (BWV320) are available in .032 aluminum.

### Sizes and Profiles:

Grand C (BWF324) has a  $\frac{9}{16}$ " high profile and is  $32\frac{1}{4}$ " wide. Grand V has a  $\frac{1}{2}$ " high profile and is 32" wide. Panel lengths are cut to customer specifications with a minimum of 6'-0" and maximum to transportation limitations and/or product and project design considerations.

### Colors & Finishes:

A choice of over 35 stock colors is available in a 70% PVDF finish. (Request color chart or chips). Custom colors available. An anodized finish is available in Clear Satin or Dark Bronze. (Subject to minimum quantities and lead time.) Texture is smooth. Perforations are available.

## 4. TECHNICAL DATA

70% PVDF based finishes tested by paint supplier for:

- Dry Film Thickness: ASTM D 1005, ASTM D 1400, ASTM D 4138 or ASTM D 5796
- Specular Gloss: ASTM D 523
- Pencil Hardness: ASTM D 3363
- T-Bend Flexibility: ASTM D 4145
- Mandrel Bend Flexibility: ASTM D 522
- Impact Resistance: ASTM D 2794
- Adhesion: ASTM D 3359
- Water Immersion Resistance: ASTM D 870
- Abrasion Resistance: ASTM D 968
- Acid Resistance: ASTM D 1308
- Acid Rain Resistance (Kesternich): ASTM G 87 or DIN 50018
- Salt Spray: ASTM B 117

- Cyclic Salt Spray: ASTM D 5894 and ASTM D 5487
- Humidity Resistance: ASTM D 2247
- Accelerated Weathering: ASTM D 822 and ASTM G 23, ASTM G 151 or ASTM G 153
- Color Retention, Florida Exposure: ASTM D 2244
- Chalking Resistance - ASTM D 4214
- Cleveland Condensing Cabinet: ASTM D 4585
- Cure Test, MEK Resistance: ASTM D 5402
- Alkali Resistance, Sodium Hydroxide: ASTM D 1308, Procedure 7.2
- Flame Spread Rating: ASTM E 84
- Organic coatings meet requirements of AAMA 2605 when applied to aluminum.

### Panel testing/ratings:

- UL Fire resistance rating design numbers: See [www.ul.com](http://www.ul.com), File R12113, or contact ATAS for current listing.
- Aluminum: ASTM B 209
- Coil Coating: ASTM A 755
- Load Tables available upon request.

## 5. INSTALLATION

Installation manuals or hands-on training via seminars are available through ATAS. Visit [www.atas.com](http://www.atas.com) for more information.

## 6. AVAILABILITY & COST

### Availability:

Grand Series panels are available through ATAS product distributors. A complete line of related components and trim accessories is available to

complete the wall system. In addition, a complete line of rainware and perimeter roof edge trims can be supplied by ATAS to complement the wall system. Flat sheet and/or coil stock is available in matching color for fabrication of related components by the installing contractor.

### Cost:

Contact ATAS product distributors for current pricing.

## 7. WARRANTY

Products coated with a fluoropolymer, 70% PVDF finish carry a limited warranty against chalking and fading.

## 8. MAINTENANCE

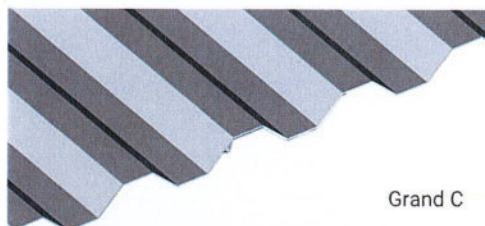
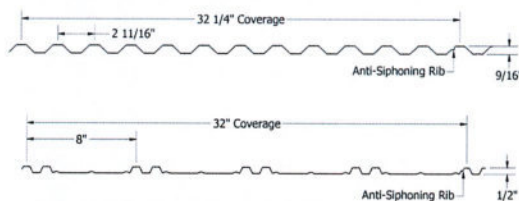
Grand Series panels require minimal maintenance. Surface residue may be easily removed by conventional cleaning methods. Minor scratches may be touched up with a matching paint, available from the manufacturer.

## 9. TECHNICAL SERVICES

Complete technical information and literature are available at [www.atas.com](http://www.atas.com). ATAS will assist with design ideas and shop drawings.

## 10. FILING SYSTEM

- [www.atas.com](http://www.atas.com)
- Additional product information is available from the manufacturer upon request.



Grand C



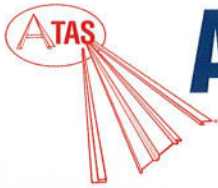
Grand V



Grand C



Grand V



# ATAS International, Inc.

## Sustainable Building Envelope Technology

Allentown, PA | Mesa, AZ | Maryville, TN  
 800.468.1441 610.395.8445  
 info@atas.com www.atas.com



*LOWER ALT TO MATCH*

### STANDARD COLORS (PVDF Finish)

PVDF resin based coatings provide high-performance durability for exterior and interior applications. These coatings are designed to resist fading, chalking, and abrasion. Meets the requirement of AAMA 2605-13 and AAMA 620-02.

Black (02) •	Forest Green (11) •	Chocolate Brown (04) •	Sierra Tan (09) •	Sandstone (06) +	Rocky Grey (16) •	Ascot White (10) ■
Classic Bronze (01) +	Teal (19) •	Boysenberry (25) •	Rawhide (15) •	Regal Blue (18) •	Charcoal Grey (62) •	Bone White (26) +
Medium Bronze (03) +	Hemlock Green (30) •	Redwood (07) •	Copper (05) •	Slate Blue (21) •	Slate Grey (20) ▲	
Hartford Green (27) •	Patina Green (12) •	Mission Red (08) •	Almond (36) •	Siam Blue (14) •	Dove Grey (13) ■	

*WARR*

**Stock Materials**  
 ALL Standard & Premium Finish Colors are available in:  
 24 ga. steel  
 .032 aluminum  
 .040 aluminum

*LOWER ALT TO MATCH*  
 Additional Stock Materials

### Availability Key:

- ◆ 22 ga. steel
- ▲ 22 ga. steel, .050 aluminum
- + 22 ga. steel, .050 & .063 aluminum
- .050 aluminum
- .050 & .063 aluminum

### PREMIUM FINISH (PVDF Finish)

PVDF resin based coatings, as noted above, with premium pigmentation to obtain metallic or deep color for desired aesthetics.

Antique Patina (24)	Champagne (31)	Coppertone (23)	Titanium (35) •	Silversmith (28) ◆	Brite Red (17) •

Please inquire for custom materials and colors



# StoTherm®ci over Masonry

## Masonry Construction

Series 19.xx

December 2015

- EIFS SYSTEM  
" LOWER WALLS "

- COLOR TO MATCH PANTONE

# 18 - 3916 TPX

- MEDIUM FINISH

### ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

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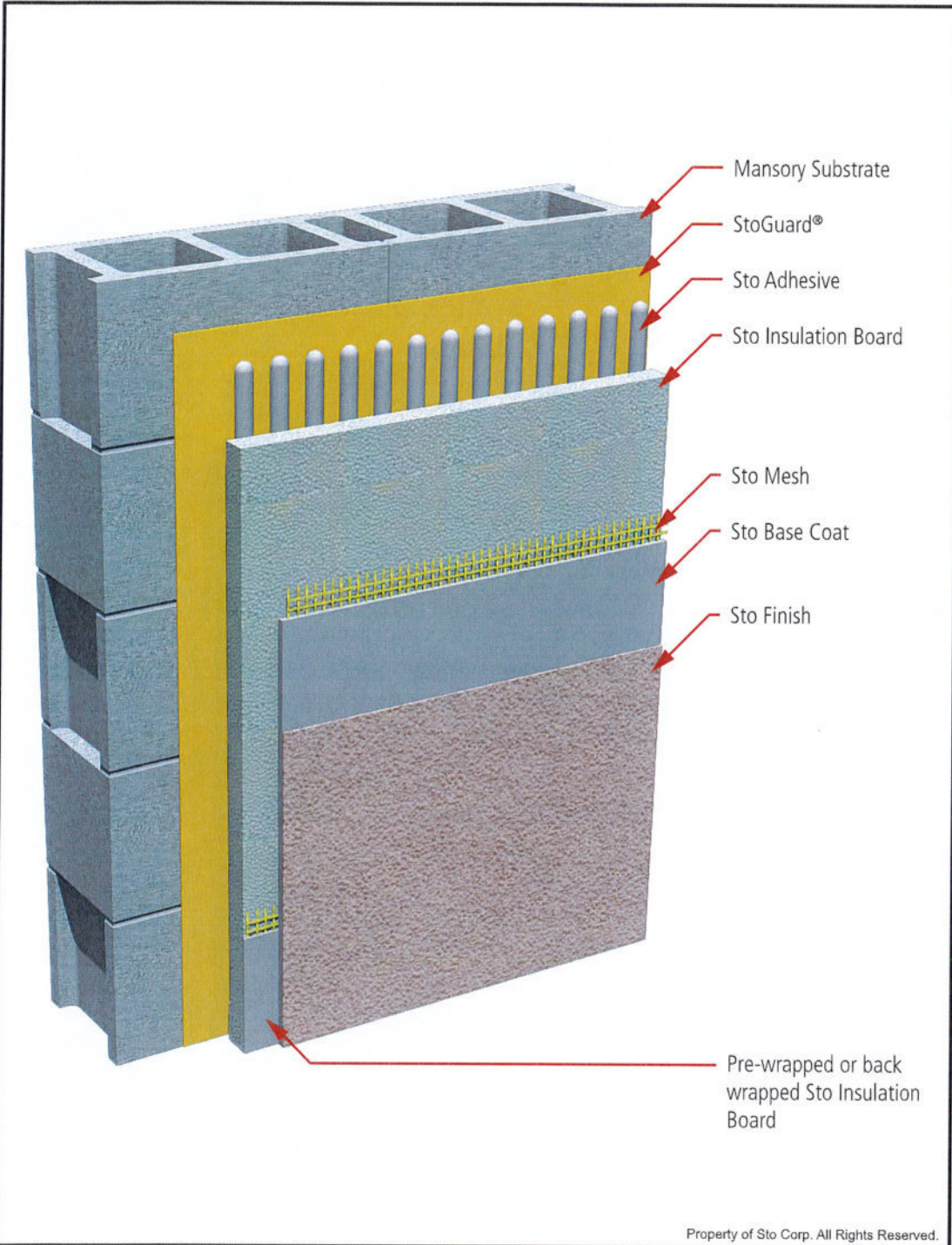
[www.stocorp.com](http://www.stocorp.com)



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# StoTherm® ci Over Masonry System Components

Detail No.: 19.00  
Date: November 2015



**Notes:**  
Detail shows the components of StoTherm® ci Continuous Insulation System:

- 1) StoGuard® Waterproof Air Barrier (2 coats minimum)
- 2) Sto Adhesive
- 3) Sto Insulation Board
- 4) Sto Base Coat
- 5) Sto Mesh
- 6) Sto Finish

**IMPORTANT:** Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

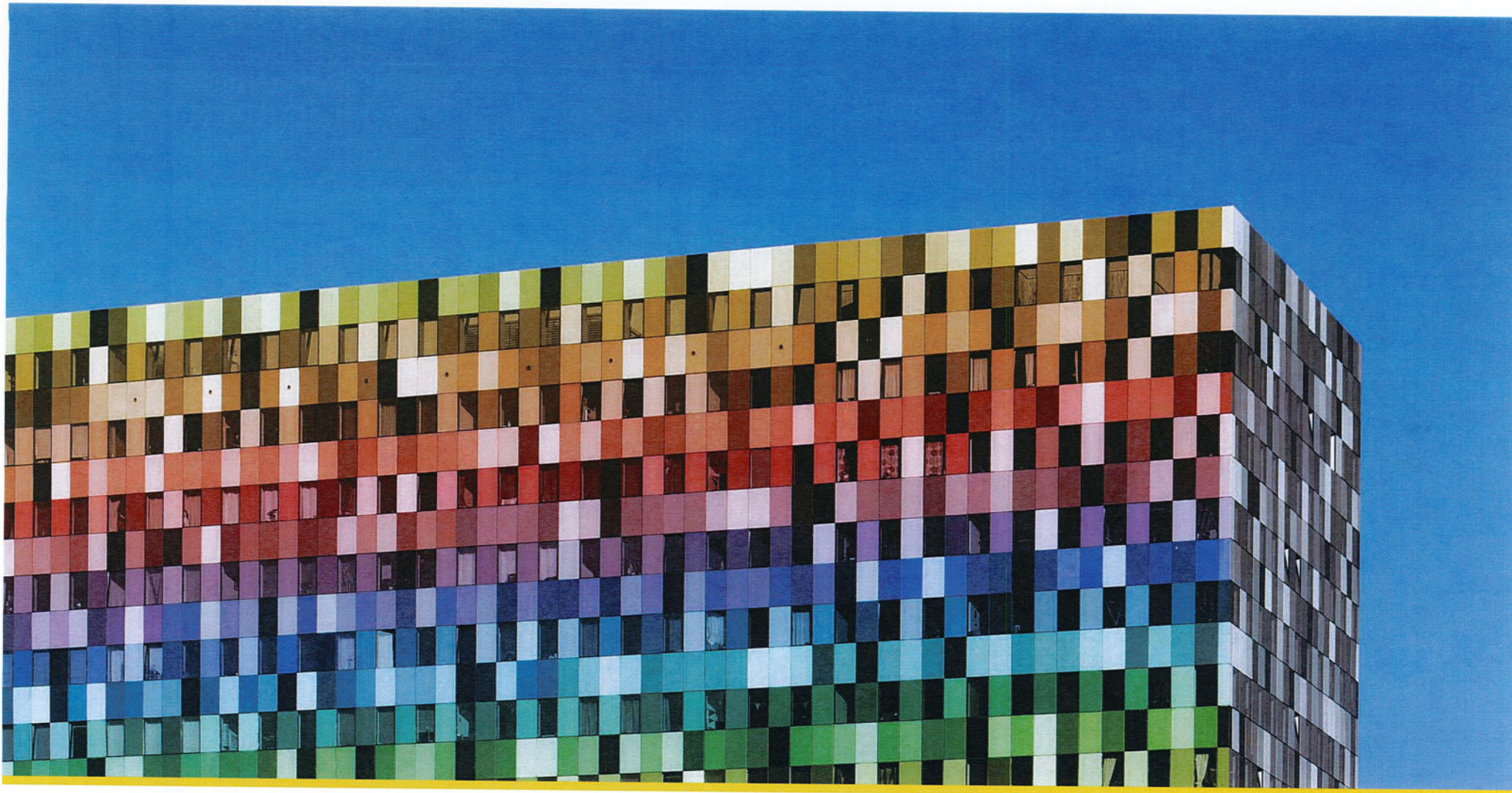
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Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to Sto products, and to the structure of the building or its components.

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[www.stocorp.com](http://www.stocorp.com)





# StoColor | **800 Collection**

[www.stocorp.com](http://www.stocorp.com)



**Please note**

The colors presented on this chart are representations. Actual color of manufactured product may vary slightly from the chart. Color perception is affected by degree of gloss, texture, and lighting conditions. For best results always request a product sample, select color under natural lighting conditions, and construct full scale job site mock ups for final color approval.

Minor shade variations may occur from batch to batch (refer to batch no. on pail). Avoid installing separate batches side-by-side and avoid application in direct sunlight. Avoid installing new finish adjacent to weathered or aged finish. Sto Corp. will not be responsible for shade or color variation from batch to batch, variation caused by application or substrate deficiencies, or fading resulting from natural causes such as weather. See Sto Tech Hotline Nos. 0694-C, 0893-EC and 1202-CF for helpful tips on prevention of color problems.

For Continuous Insulation Systems select colors with light reflectance value of 20 or greater.

**Notas**

Los colores que aparecen en este muestrario son representaciones. El color real del producto puede variar ligeramente con el del muestrario. El color percibido es afectado por el grado de brillantez, la textura y las condiciones de luz. Para la obtención de los mejores resultados, deberá siempre solicitar una muestra del producto, seleccionar el color bajo condiciones de luz natural, y elaborar muestras en la obra misma para la aprobación final del color.

Pueden presentarse pequeñas variaciones en el tono, de remesa a remesa (favor de referirse al número de remesa en la cubeta). Evite aplicar adjuntas remesas diferentes, así como a la luz solar directa. Igualmente, evite aplicar el acabado nuevo adjunto a acabados viejos o intemperizados. Sto Corp. no se responsabiliza por la variación en color o tono de remesa a remesa, al método de aplicación, deficiencias en la base, o por decoloración debido a causas naturales como el clima. Favor de consultar a los Nos. 0694-C, 0893-EC y 1202-CF de Sto Tech Hotline para recibir indicaciones para prevenir problemas.

Para Sistemas de Aislamiento Térmico por el Exterior, seleccione colores con un valor reflejante de luz del 20 o mayor.

**StoColor System**

The StoColor System is a unique planning tool for the use of colour in architecture.

- Quick and easy to understand thanks to a clear, logical system construction
- Reliable application of design through a harmonic, finely nuanced selection of colours for facade and interior use
- Ergonomic perception oriented presentation media for all phases of colour design



**The 3-tier construction of the StoColor System  
Los 3 niveles de construcción de StoColorSystem**

**Level1:** The human colour perception range  
Human perception is primarily able to distinguish the colours yellow, orange, red, violet, blue and green  
**Nivel1:** El rango de color perceptible por el ser humano  
La percepción humana es capaz de distinguir los colores amarillo, naranja, rojo, violeta, azul y verde

**Level2:** The 24 basic colours  
The 6 primary perception areas are each mixed out into 4 further colour levels. The result is the 24 part colour wheel that forms the basis of the StoColor System  
**Nivel2:** Los 24 colores básicos  
Cada una de las 6 áreas de percepción primarias se divide a su vez en 4 niveles. El resultado es la rueda de 24 colores que forma la base del Sistema StoColor

**Level3:** The 5 colour rows of the 24 basic colours  
Each basic colour possesses 5 colour rows mixed according to the principle of a same-colour triangle.  
**Nivel3:** Las 5 filas de color de los 24 colores básicos  
Cada uno de los colores básicos se mezcla con 5 filas de color de acuerdo con el principio del triángulo de colores equivalentes

1. **Light clear** XXX00-09 Basic color mixed to white / Color básico mezclado con blanco
2. **Shade 1** XXX10-19 Basic color mixed to gray / Color básico mezclado con gris
3. **Shade 2** XXX20-29 Basic color mixed to gray / Color básico mezclado con gris
4. **Shadow** XXX30-39 A color from the Light clear color row mixed with a color from the Dark clear row / Un color extraído de la fila Light clear mezclado con otro de la fila Dark clear
5. **Dark clear** XXX40-49 Basic color mixed to black / Color básico mezclado con gris

**Sistema StoColor**

StoColor System es una herramienta única para gestionar el uso del color en la arquitectura.

- Rápido y fácil de comprender, debido a su presentación clara y lógica
- Aplicación precisa para el diseño a través de una selección de colores armonía y a la medida, tanto para interiores como exteriores
- Presentación ergonómica, orientada hacia todas las fases del diseño del color

**Sto's Color Collection**

This is a selected group of colors from the StoColor System. For additional colors, refer to our entire StoColor System with 800 standard colors. Explore your creative freedom with the varied textures in which all Sto colors are available. To learn more about the solutions Sto can provide for you, contact us by calling 1-800-221-2397 or log on at [www.stocorp.com](http://www.stocorp.com)

**Colección de Color Sto**

Este es un surtido selecto de colores del Sistema StoColor. Para colores adicionales, refiérase a la colección completa StoColor System de 800 colores. Pruebe su creatividad con las variedades de texturas en las cuales todos los colores Sto están disponibles. Para aprender más sobre las soluciones que Sto puede proporcionar, comuníquese al 1-800-221-2397 o visite [www.stocorp.com](http://www.stocorp.com)

**Guide to symbols**

**Explicación de los símbolos**

31437 ■ 73 \*

**Color No.**  
Color code/Order No.

**Número del tono de color**  
Código color/Número de pedido

**Light reflectance value**  
Value for the quantity of light reflected from the surface.  
Measured in percent  
100 % = white, 0 % = black

**Valor Reflejante de Luz**  
Valor, en por ciento, que mide la cantidad de luz reflejada por la superficie.  
100 % = blanco, 0 % = negro

\* Please note that certain dark and/or saturated colors may incur increased costs due to high tint charges.

\* Tenga presente que ciertos colores oscuros y/o saturados pueden incurrir en mayores costos debido a los elevados precios de los colorantes.

**Most Popular Textures; Texturas más populares**

Milano



Fine



Medium



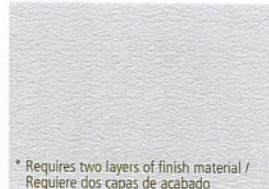
Swirl



Freeform (custom texture)



Limestone



\* Requires two layers of finish material / Requiere dos capas de acabado

**Milano**

Stolit® Milano

**Fine**

Stolit® Lotusan® 1.0

Stolit® .75

Stolit® 1.0

Sto Essence Fine Sand Finish

Sto Powerflex® Silco Fine

Sto Powerflex® Fine

Sto Powerwall™ Fine Finish

Sto Powercyl™ Fine Finish

**Swirl**

Stolit® R1.5

Sto Essence Swirl Finish

Sto Powerflex® Silco Swirl

Sto Powerflex® Swirl

Sto Powerwall™ Swirl Finish

Sto Powercyl™ Swirl Finish

**Medium**

Stolit® Lotusan® 1.5

Stolit® 1.5

Sto Essence Medium Sand Finish

Sto Powerflex® Silco Medium

Sto Powerflex® Medium

Sto Powerwall™ Medium Finish

Sto Powercyl™ Medium Finish

**Freeform**

Stolit® Lotusan® Freeform

Stolit® Freeform

Sto Powerflex® Silco Freeform

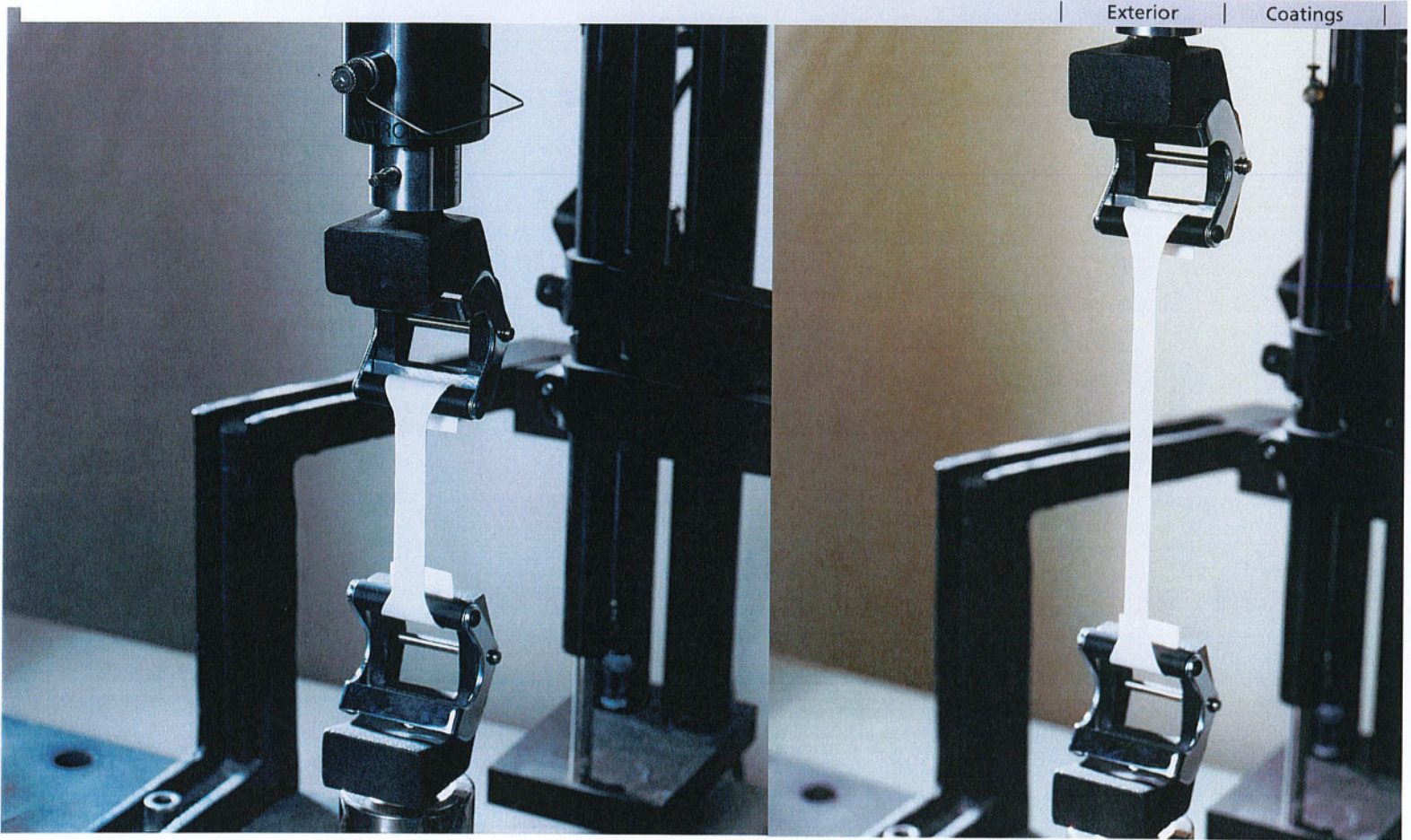
Sto Powerflex® Freeform

Sto Powerwall™ Freeform

Sto Powercyl™ Freeform

**Limestone**

Sto Limestone Finish



## StoColor™ Silcolastic

### Silicone Modified Acrylic Elastomeric Coating

StoColor™ Silcolastic is a flexible, high build coating formulated with a performance blend of acrylic elastomeric emulsion and silicone modifiers to repel water and remain stable in all climatic zones. The superior elongation and flexibility of StoColor™ Silcolastic allows it to bridge minor surface cracks and provide a weatherproof and vapor permeable membrane. With excellent dirt pick up resistance your property will look better over the life of the coating system.



# StoColor™ Silcolastic Benefits

## Reduced cleaning and recoat maintenance

- A harder film than traditional silicone elastomers
- Excellent dirt pick up resistance
- High permeability reduces blistering

## Long term weather protection

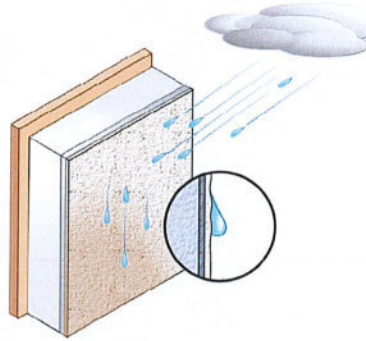
- Crack bridging to prevent moisture ingress
- Maintains flexibility to accommodate minor structural movement
- Withstands weather and temperature extremes

## Quality Assurance

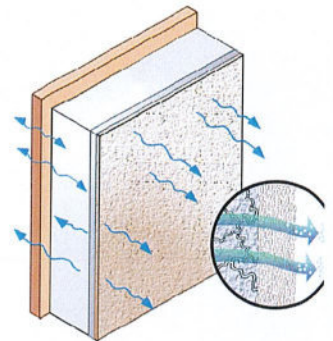
- Time tested and proven on millions of square feet
- Flexible warranty programs



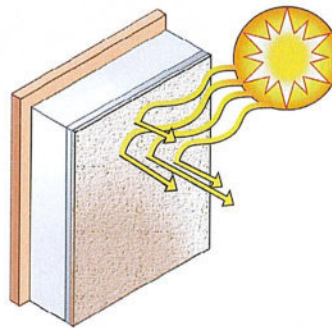
## Water Repellent



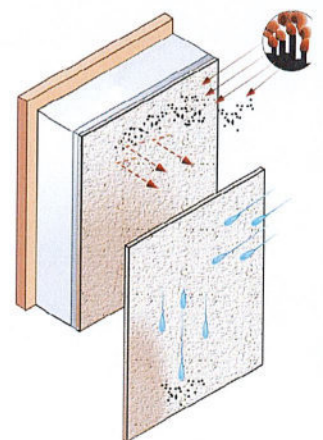
## Vapor Permeable



## UV Resistant



## Cleaner, Fresher, Longer



StoColor™ Silcolastic	
Attributes	Silicone Acrylic Elastomeric Mold resistant Resists wind driven rain (ASTM D 6904) Crack bridging (ASTM C 1305)
Recommended use	Vertical concrete, stucco, EIFS, Masonry
VOC Level (g/L)	<50
% Solids by Volume	60%
Vapor Permeability	40-60 perms (see data sheet for detail)
Dry-time: To touch/To recoat	2 hours / 4 hours @ 77°F 55% RH

This table highlights some of the key features of StoColor™ Silcolastic. Please refer to the relevant technical data, SDS, label instructions and Hotlines Technical Notes for full specifications, application and performance data.

Please contact your Sto Sales Representative for more information.

### Sto Corp.

3800 Camp Creek Parkway  
Building 1400, Suite 120,  
Atlanta, GA. 30331

Tel: 404-346-3666

Toll Free: 1-800-221-2397

Fax: 404-346-3119

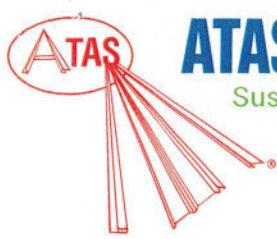
[www.stocorp.com](http://www.stocorp.com)

5811B 01/2017

**Sto** | Building with conscience.

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## "ENTRY ROOF"

### 1. PRODUCT NAME

**MONARCH™ PANEL**  
**MRB BATTEN SEAM**  
**MRB120, MRB160**

### 2. MANUFACTURER

ATAS INTERNATIONAL, INC.  
Website: [www.atas.com](http://www.atas.com)  
Email: [info@atas.com](mailto:info@atas.com)  
Corporate Headquarters:  
Allentown, PA 18106  
Phone: (800) 468-1441  
Western Facility:  
Mesa, AZ 85204  
Phone: (480) 558-7210

### 3. PRODUCT DESCRIPTION

#### Basic Uses:

Monarch panels with the Wind-Lok™ design method are used for roofing on both new construction and re-roof applications.

#### Composition and Materials:

**Standard Offerings:** MRB Batten Seam panels are available in .032, .040 aluminum; 24 gauge metallic coated steel; and 24 gauge 55% Al-Zn coated steel with acrylic coating.

**Special Offerings:** .050 aluminum and 22 gauge metallic coated steel may be specified, subject to minimum quantities and lead time.

#### Sizes and Profiles:

Monarch panel is available in a Batten Seam design. The batten and lock are an integral part of the panel. The Batten style is either 12" wide (MRB120), or 16" wide (MRB160). Panel lengths are cut to customer specifications, with a minimum of 4' and a maximum to transportation limitations. Specify with or without stiffening ribs.

#### Color and Finish:

A choice of over 35 stock colors is available in 70% PVDF finish. (Request color chart or chips). Custom colors available. An anodized finish in clear satin or dark bronze is available as a special offering. Texture may be smooth, stucco embossed, or perforated.

### 4. TECHNICAL DATA

**70% PVDF based finishes tested by paint supplier for:**

- Dry Film Thickness: ASTM D 1005, ASTM D 1400, ASTM D 4138 or ASTM D 5796
- Specular Gloss: ASTM D 523
- Pencil Hardness: ASTM D 3363
- T-Bend Flexibility: ASTM D 4145
- Mandrel Bend Flexibility: ASTM D 522
- Impact Resistance: ASTM D 2794

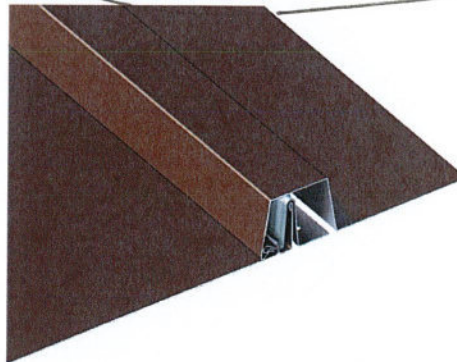
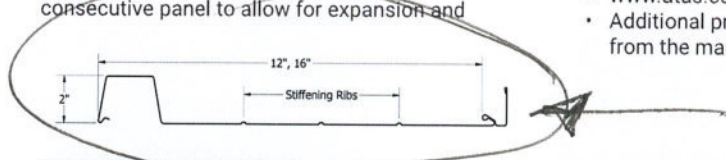
- Adhesion: ASTM D 3359
- Water Immersion Resistance: ASTM D 870
- Abrasion Resistance: ASTM D 968
- Acid Resistance: ASTM D 1308
- Acid Rain Resistance (Kesternich): ASTM G 87 or DIN 50018
- Salt Spray: ASTM B 117
- Cyclic Salt Spray: ASTM D 5894 and ASTM D 5487
- Humidity Resistance: ASTM D 2247
- Accelerated Weathering: ASTM D 822 and ASTM G 155, ASTM G 151 or ASTM G 153
- Color Retention, Florida Exposure: ASTM D 2244
- Chalking Resistance: ASTM D 4214
- Cleveland Condensing Cabinet: ASTM D 4585
- Cure Test, MEK Resistance: ASTM D 5402
- Alkali Resistance, Sodium Hydroxide: ASTM D 1308, Procedure 7.2
- Flame Spread Rating: ASTM E 84
- Organic coatings meet requirements of AAMA 2605 when applied to aluminum.

#### Panel testing/ratings:

- Uplift: UL580 Class 90 (UL File R12113)
- Air Infiltration: ASTM E 283
- Water Penetration: ASTM E 331
- Fire Resistance: UL790/ASTM E 108
- Impact Resistance: UL 2218
- Load tables available upon request
- Galvanized Steel: ASTM A 653
- 55% Al-Zn Coated Steel: ASTM A 792
- Aluminum: ASTM B 209
- Coil Coating: ASTM A 755

### 5. INSTALLATION

With the lock and seam being an integral part of the panel, there are no caps or strips to install. Field seaming of the panel is not required. The panel is snapped onto the previously installed panel, a clip is hooked over the "leg" of the panel, and this is concealed by the batten of the consecutive panel to allow for expansion and



contraction. Minimum slope is 2:12. Installation manuals or hands-on training via seminars are available through ATAS. Visit [www.atas.com](http://www.atas.com) for more information.

### 6. AVAILABILITY AND COST

#### Availability:

Monarch panels are readily available through ATAS product distributors. A complete line of related components and trim accessories is available to complete the roof system. Flat sheet and/or coil stock in matching color is also available for fabrication of related accessories by the installing contractor.

#### Cost:

Contact ATAS product distributors for current pricing.

### 7. WARRANTY

Products coated with a fluoropolymer, 70% PVDF finish carry a thirty (30) year limited warranty against chalking and fading.

### 8. MAINTENANCE

Monarch panels require minimal maintenance. Surface residue is easily removed by conventional cleaning methods. Minor scratches may be touched up with matching paint, available from the manufacturer.

### 9. TECHNICAL SERVICES

Complete technical information and literature are available from ATAS International, Inc. ATAS can assist with design ideas and shop drawings.

### 10. FILING SYSTEM

- [www.atas.com](http://www.atas.com)
- Additional product information is available from the manufacturer upon request.



A leading manufacturer of sustainable building envelope technology, ATAS utilizes cool pigment paint on many color offerings. Our products reflect infrared radiation, which results in cooler surface temperatures, and maximum fade resistance. Many of the ATAS products meet the qualifications for potential sustainable and agency ratings.

For current SRI values and agency listings, refer to our Color & Material Reference Guide, [www.atas.com/SRI](http://www.atas.com/SRI). 70% PVDF finish carries a limited warranty against fading and chalking. ATAS coated materials are non-staining and virtually maintenance free. Any surface residue is easily removed with conventional cleaning solutions or detergents. For complete selection of additional color offerings, visit [www.atas.com/COLORS](http://www.atas.com/COLORS).

**MATTE FINISH** | 70% PVDF resin based coatings, as noted above, designed to simulate natural metal hues in a high performance paint system.



Almond (36)



Anchor Grey (37)



Ash Grey (33)



Char Brown (29)



Matte Black (32)



Thunder Grey (34)

**NATURAL METALS**

Due to their beauty, durability and time-proven performance, natural metals are a preferred material used in architecture. Natural metals will weather and patina naturally over time, adding character and aesthetic appeal to any building design. In addition to natural metals, ATAS offers 55% Al-Zn alloy coated steel with acrylic coating and anodized aluminum as standard available materials.



Clear Satin Anodized (70)



Dark Bronze Anodized (71)



55% Al-Zn Alloy Coated Steel with Acrylic Coating (97)



Copper (49)\*



Classic Stainless Steel (40)\*



Terne Coated Stainless Steel (41)\*



Grey Zinc (50)\*



Dark Zinc (51)\*



Brown Zinc (89)\*



Blue Zinc (94)\*



Red Zinc (95)\*



Green Zinc (96)\*

**WOODLAND SERIES\***

Add the warmth of wood with the durability of metal to your next project. ATAS offers four classic woodgrain patterns with a 70% PVDF coating. Available in .032 aluminum.



Birch (57)



Cedar (54)



Driftwood (53)



Walnut (55)

**OXIDE SERIES\***

Made to look like weathered steel, combine the aesthetic appeal of aged metal with the advantages of brand new metal cladding with a 70% PVDF finish.



Copper Brown (42)



Tarnished Red (47)

**LAMINATES\***

ATAS International, Inc. offers stacked stone laminate pattern. Our laminate is UV stable for exterior wall applications.



Stacked Stone (85)

\* Special material. Pricing and availability dependent upon project specifics. Color chips available upon request.

Stainless steel products provided by ROOFINOX®. Colors are as close to the actual colors as modern printing allows. Metal color chips available on request (this is a requirement for all premium colors), and should be used for final color selection. If you have requirements or preference for colors or finishes other than shown, contact ATAS. Color availability varies by material, gauge and profile. ATAS reserves the right to modify, eliminate and/or change its products without prior notification. All colors are produced under stringent guidelines and tolerances that are identified within the coated metal industry. Batch to batch variations may occur within these established industry tolerances. Care should be exercised by customer when mixing lots. Contact ATAS for more information.



## TU24000 Series Storefront

*Dual cavity pour and debridge ultra-thermal barrier*

Tubelite's most popular thermally broken storefront line has been expanded and enhanced with an additional P&D thermal break. The TU24000 Series has the same 2" x 4-1/2" profile as the T14000 system, and offers standard screw-spline or shear block connections.

TU24000 Dual cavity pour and debridge ultra-thermal barrier storefront is recommended for use on ground floor storefront or protected low-rise applications. Framing has 1/2" bite for use with glass or panels up to 1" thick. Verticals can be steel-reinforced for high performance against strong windloads. Tubelite 3700 Series operable windows can be glazed into the storefront framing pocket for natural ventilation. Framing is compatible with Tubelite's Medium and Wide Stile Thermal=Block™ Doors.

Our TU24000 Series Storefront products are subjected to thorough testing by an independent laboratory, ensuring that you get the highest quality storefront framing products that the industry has to offer.

**Thermal=Block**  
HIGH-PERFORMANCE THERMAL FRAMING



**400TU High Performance Thermal Curtainwall**

ALSO  
USED  
WITH

**Thermal Entrances**

Wilmington Gardens, Salt Lake City, UT  
Photographer: Cache Valley Photographers

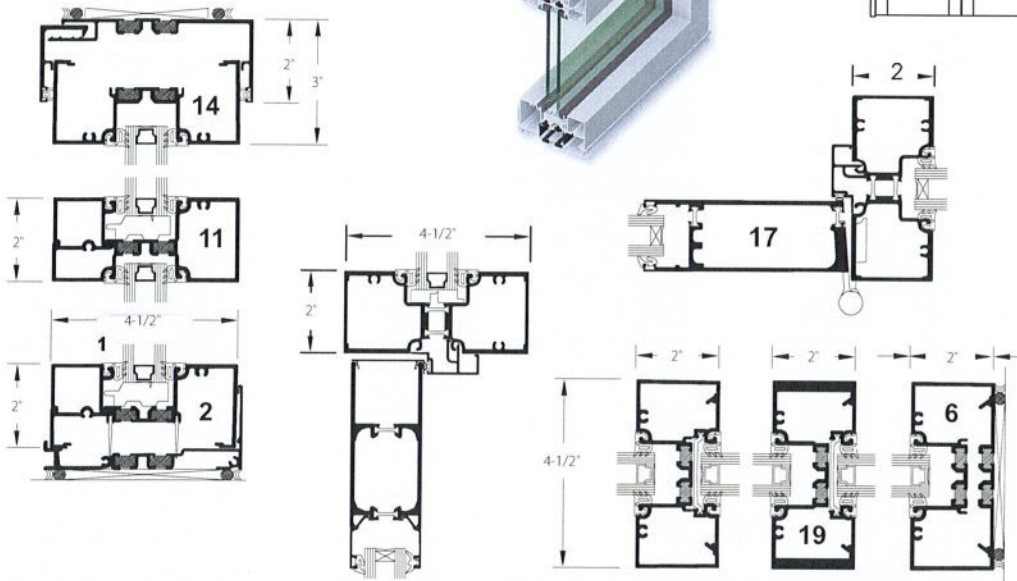
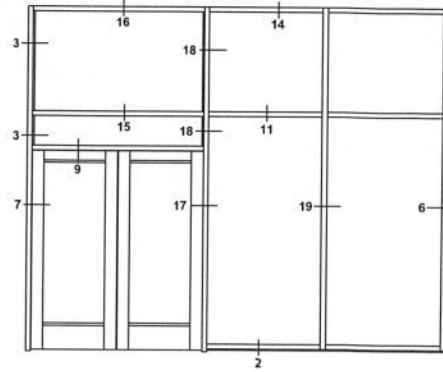
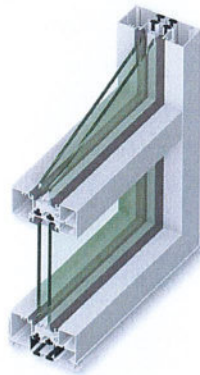
**TUBELITE®**  
**DEPENDABLE**

LEADERS IN ECO-EFFICIENT STOREFRONT,  
CURTAINWALL AND ENTRANCE SYSTEMS

# TU24000 Series Storefront

Dual cavity pour and debridge ultra-thermal barrier

**ThermiBlock**  
HIGH-PERFORMANCE THERMAL FRAMING



### System Features:

- Standard 2" (50.8mm) sight line on verticals and horizontals
- 4-1/2" (114.3mm) system depth
- Dual cavity pour and debridge ultra-thermal barrier for maximum thermal performance with Azon's Lancer® mechanical lock
- EPDM wedge type gaskets for 1" glass or panel thickness
- Glass centered in the system depth

### Optional Features:

- Screw-spline or shear block connections
- Steel reinforcing if required
- Easily integrates with standard or thermal doors
- A wide variety of standard anodized and painted colors are available to complement any project with warranted protection, as well as street appeal.

### TU24000 Series Storefront Product Specifications

**Application:** Low and mid-rise commercial buildings requiring high energy and condensation resistance performance

**Description:** 2" x 4-1/2" dual thermal barrier center set storefront system, screw spline or shear block connections, exterior or interior glazed

Face Width:	Overall Depths:	Glass:	Air Infiltration:	Water Infiltration:	Structural:	U-Factor**:	CRF:	Acoustics:
2"	4-1/2"	1" std. (1/8" to 1-1/8")	0.06 CFM / Ft.2 @ 6.24 PSF	12 PSF - Static 12 PSF - Dynamic	30 PSF - Design 45 PSF - Overload	0.31 - Thermally Broken	69% 68%	STC 37 OITC 31

\*\* U-Factor per NFRC 100: COG = 0.24 with warm edge spacer, 1-3/4" x 4-1/2" non-thermal frame.

Refer to the U-Factor table at: [www.tubeliteinc.com/products/storefront/thermiBlock-tu24000/](http://www.tubeliteinc.com/products/storefront/thermiBlock-tu24000/) for other glass makeups and configurations.

DISCLAIMER: Tubelite takes no responsibility for product selection or application, including, but not limited to, compliance with building codes, safety codes, laws, merchantability or fitness for a particular purpose; and further disclaims all liability for the use, in whole or in part, of this Technical Guide in preparation of project specifications and/or other documents. Technical Guides are subject to change at any time, without notice, and at Tubelite's sole discretion. ©2017 Tubelite Inc.

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**TUBELITE**  
DEPENDABLE  
LEADERS IN ECO-EFFICIENT STOREFRONT,  
CURTAINWALL AND ENTRANCE SYSTEMS

# TUBELITE<sup>®</sup>

**DEPENDABLE**

LEADERS IN ECO-EFFICIENT STOREFRONT,  
CURTAINWALL AND ENTRANCE SYSTEMS

We offer an option for recycled aluminum on selected extruded products with an industry leading content of post-consumer and pre-consumer material.

## Anodized Finishes



				
Clear Class 2 <b>C2</b> Clear Class 1 <b>C1</b>	Light Champagne <b>LC</b>	Champagne <b>CH</b>	Light Bronze <b>LB</b>	Medium Bronze <b>MB</b>
				
Dark Bronze <b>DB</b>	Extra Dark Bronze <b>EB</b>	Black <b>BL</b>	Copper <b>CA</b>	Bordeaux <b>BD</b>

## Standard Painted Colors – 70% PVDF

				
Bone White <b>1P</b> LT609-70	Colonial White <b>NP</b> LT640-70	Sandstone <b>5P</b> LT607-70	Burnt Sun <b>7P</b> LT612-70	Antique Bronze <b>ZP</b> LT641-70
				
Beige <b>BP</b> LT603-70	Light Seawolf Beige <b>CP</b> LT614-70	Dove Gray <b>VP</b> LT615-70	Slate Gray <b>WP</b> LT604-70	Charcoal Gray <b>XP</b> LT605-70
				
Patina Green <b>SP</b> LT616-70	Dark Ivy <b>TP</b> LT617-70	Hartford Green <b>2P</b> LT606-70	Military Blue <b>DP</b> LT610-70	Black <b>3P</b> LT601-70
				
Colonial Red <b>RP</b> LT622-70	Boysenberry <b>9P</b> LT608-70	Sage Brown <b>8P</b> LT620-70	Quaker Bronze <b>6P</b> LT602-70	

NOTE: Colors shown are not exact and are intended for planning purposes. For actual job, Tubelite® will supply Linetec color chips.

## Finish Color Guide Chart

Depend on Tubelite® for detailed information on the performance, integrity, and weatherability of anodized finishes, and for specifications on the color retention, erosion resistance, and gloss retention of painted finishes.

Finish Colors					
	AAMA Code	Code Performance	Content	Applicable Warranty	Tubelite® Colors Available
ANODIZED	611	Anodized aluminum provides and maintains a superior level of performance in terms of film integrity, exterior weatherability, and general appearance for many years.	Two-step electrolytic anodizing process	Standard Linetec 5yr. warranty applies on Class I anodize 3  Standard Tubelite 2yr. warranty applies on Class II anodize	<b>Standard Finishes:</b> Clear - Class II..... C2 Dark Bronze - Class I..... DB  <b>Special Finishes:</b> Clear - Class I..... C1 Light Champagne - Class I..... LC Champagne - Class I..... CH Light Bronze - Class I..... LB Medium Bronze - Class I..... MB Extra Dark Bronze - Class I..... EB Black - Class I..... BL Copper - Class I..... CA Bordeaux - Class I..... BD
PAINTED	2605	Co 10 yrs - Fade = 5 Delta E Ch 10 yrs - Chalk = 8 Gl 10 yrs - 50% retention Er 10 yrs - 10% loss SS 4,000 hrs Hu 4,000 hrs	70% PVDF	10-Yr Linetec Warranty ✓	<b>Standard Finishes:</b> Bone White..... 1P Colonial White..... NP Sandstone..... 5P Burnt Sun..... 7P Antique Bronze..... ZP Beige..... BP Light Sea Wolf Beige..... CP Boysenberry..... 9P Dove Gray..... VP Slate Gray..... WP  Charcoal Gray..... XP Patina Green..... SP Dark Ivy..... TP Hartford Green..... 2P Military Blue..... DP Colonial Red..... RP Sage Brown..... 8P Quaker Bronze..... 6P Black..... 3P  <b>Custom Finishes:</b> Nearly unlimited in-house blendable and order-out paints include 2, 3 and 4-coat finish types
	2604	Co 5 yrs - Fade = 5 Delta E Ch 5 yrs - Chalk = 8 Gl 5 yrs - 30% retention Er 5 yrs - 10% loss SS 3,000 hrs Hu 3,000 hrs	50% PVDF	5-Yr Linetec Warranty ✓	<b>Custom Finishes:</b> Nearly unlimited in-house blendable shades
	2603		Baked Enamel	1-Yr Linetec Warranty (Adhesion only)	<b>Custom Finishes:</b> Nearly unlimited in-house blendable shades

**KEY**  
Co = Color Retention  
Ch = Chalk Resistance  
Gl = Gloss Retention  
Er = Erosion Resistance

SS = Salt Spray  
Hu = Humidity  
= Tubelite Standard Color Palette

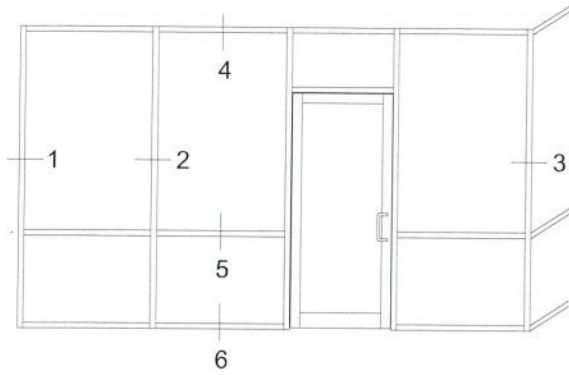
**NOTE**  
Class I = Minimum 0.7 mil thickness  
Class II = Minimum 0.4 mil thickness  
✓ = Extended Warranty Available (Contact Tubelite Inc.)

### Eco-Friendly Finishes

Beyond being compliant, Tubelite's sister company Linetec captures and destroys the Volatile Organic Compounds (VOCs) present in solvent-borne paints during the finishing process. 100% of the solvents are captured from the painting operations, and destroyed with a \$2 million "oxidizer", which burns the VOCs at 1500 degree heat, converting them to harmless water vapor. In doing so, our liquid-paints are just as VOC-free to the environment as powder or waterborne paints.

At Linetec's anodize operations, the process does not use heavy metals or toxins and is environmentally friendly. Anodized aluminum is 100% recyclable and uses simple water-based chemistry that can be treated easily and releases no harmful by-products. Linetec's voluntary commitment to a clean and healthy environment goes well beyond industry standards or regulatory requirements.

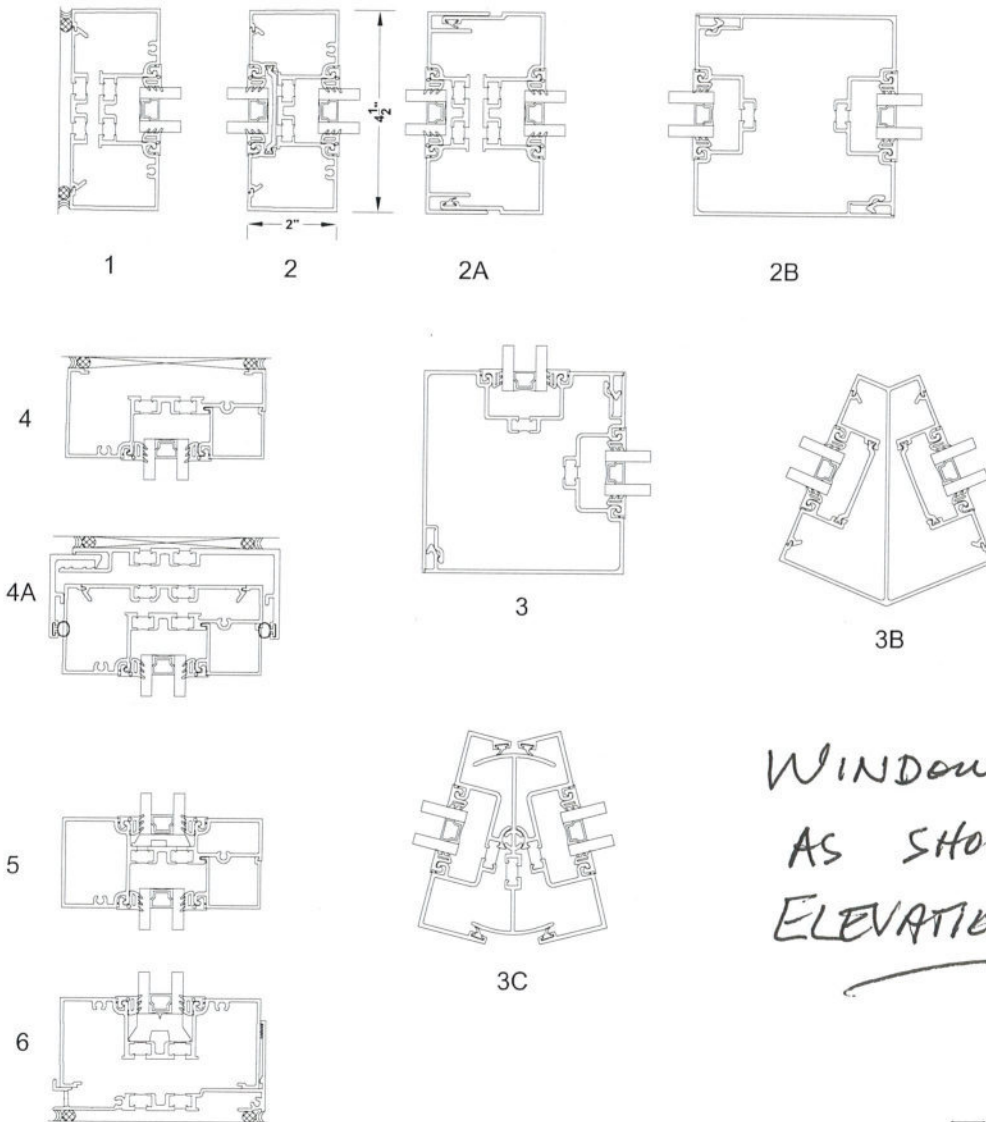
# TU24000 STOREFRONT



Tubelite reserves the right to change system configuration without prior notice when deemed necessary for product improvements.

Laws and building & safety codes governing the design and use of glazed entrance, window and curtain wall systems vary widely. Tubelite does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility thereof.

## Inside Set Standard Details 1/4 scale



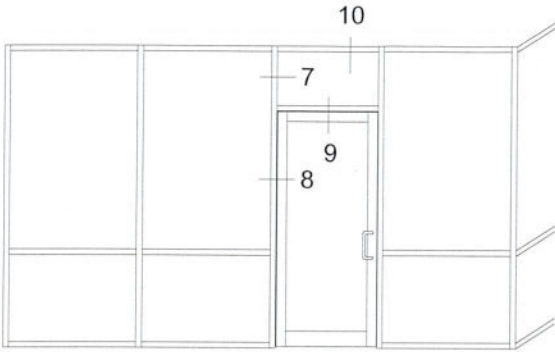
WINDOWS BUILT  
AS SHOWN ON  
ELEVATIONS

June 2020

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For specific product applications, contact your Tubelite representative.  
Details on this page represent standard details found on our website.  
For more options, visit our website at [www.tubeliteinc.com/tu24000/](http://www.tubeliteinc.com/tu24000/)

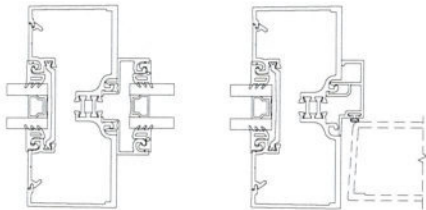
TU24000 STOREFRONT



Tubelite reserves the right to change system configuration without prior notice when deemed necessary for product improvements.

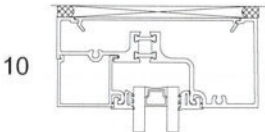
Laws and building & safety codes governing the design and use of glazed entrance, window and curtain wall systems vary widely. Tubelite does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility thereof.

Door and Transom Standard Details  
1/4 scale

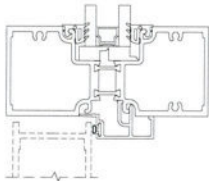


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June 2020

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For specific product applications, contact your Tubelite representative.  
Details on this page represent standard details found on our website.  
For more options, visit our website at [www.tubeliteinc.com/tu24000/](http://www.tubeliteinc.com/tu24000/)



March 19, 2021

Office of Zoning Administration  
City Hall Commons, Room 101  
201 East Washington Street  
Syracuse, NY 13202

Re: 664 Burnet Ave Project – Project Site Review Application

Dear Zoning Administrator:

Find enclosed our application for Project Site Review for work on the exterior of the above noted property.

If you have any questions, please do not hesitate to call me at 315-807-9036

Sincerely,

A handwritten signature in blue ink that reads "James Williams". The signature is fluid and cursive, with a large loop at the beginning of the first name.

James Williams  
Construction Project Manager  
Home HeadQuarters, Inc.