



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: [Zoning@syr.gov](mailto:Zoning@syr.gov)

<b><i>R-25-01</i></b>	<b><i>Staff Report – March 3<sup>rd</sup>, 2025</i></b>
<b><i>Application Type:</i></b>	Resubdivision
<b><i>Project Address:</i></b>	205 Hubbell Avenue (Tax ID: 087.-04-30.2)
<b><i>Summary of Proposed Action:</i></b>	<p>The applicant intends to subdivide the vacant lot at 205 Hubbell Ave. into two equal-sized lots, each with the same length and width, for the future development of two single-unit, detached dwellings, with one on each newly created lot.</p> <p>Total square footage of New Lot 1B: 5,247 SF          Total square footage of New Lot 1C: 5,247 SF</p>
<b><i>Owner/Applicant</i></b>	Greater Syracuse Property Development Corporation (GSPDC) (Owner/Applicant)
<b><i>Existing Zone District:</i></b>	The parcel involved in this resubdivision is located in the Low Density Residential (R2) Zone District.
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the west and south are within the Small Lot Residential (R3) Zone District, the neighboring properties to the east are located within the Single-Unit (R1) Residential Zone District, and the neighboring properties to the north are located within the Low Density Residential (R2) Zone District.
<b><i>Companion Application(s)</i></b>	V-25-01   Area Variance application requesting that both lots deviate 3 inches from the minimum required lot width of 40 feet, pursuant to ReZone Art. 2 Sec. 2.3B(D)
<b><i>Scope of Work:</i></b>	The applicant proposes to divide the current lot located at 205 Hubbell Ave. into two new lots of equal width and length. The applicant has a buyer for the newly divided lots, and they are planning to develop two single-unit dwellings, with one single unit detached dwelling located on each of the newly created parcels.
<b><i>Staff Analysis:</i></b>	<p><b><u>Factors:</u></b></p> <ul style="list-style-type: none"> <li>- The intent of the R2 Zone District is to provide for residential neighborhoods made up of single-unit detached and two-unit dwellings with green space, street trees, front porches and sidewalks. The proposed resubdivision aligns with the intent of the Zone District to create additional housing with green space that complements the current neighborhood characteristics.</li> <li>- The proposed resubdivision on Lots 1B and 1C does not comply with the dimensional standards pursuant to ReZone Art. 2, Sec. 2.2 (B), due to the proposed lots being under the lot width minimum for single unit detached dwelling. Due to this, the applicant applied for an area variance which was approved by the BZA to allow the newly created lots to each have a lot width of 39.75 FT, which is 3 inches under the minimum lot width requirement of 40 FT for a lot containing a single unit detached dwelling.</li> <li>- The subject property, located at 205 Hubbell Avenue, has a lot width of 79.5 FT and a total lot size of 10,494 SF, which is approximately twice the size of most adjacent lots on the same block of Hubbell Avenue. Thus, by dividing the property in half, the two new lots would better reflect the adjacent lot sizes.</li> <li>- The lot is currently vacant residential land and has been vacant since 2008 when the single unit dwelling on the property was demolished.</li> <li>- The current gravel driveway located in the southwest of the property is remaining from the previous residence and will be removed to create a legal driveway area leading to the side setback of the new development as shown in the attached plans.</li> <li>- According to the submitted site plan, each single-unit dwelling will have a building footprint of 1,470 SF covering 28.4% of the lot and the proposed driveway will occupy an additional 9.75% of the lot. Therefore, the proposed</li> </ul>

	<p>structural coverage will be less than the 30% structural coverage maximum and 20% for the driveway and parking surfaces maximum.</p> <ul style="list-style-type: none"> <li>- The proposed front setbacks of both lots will align with the adjacent properties, maintaining the neighborhood's consistent streetscape, while the side setbacks are at least 6 FT from the side property lines, which complies with side setback standards.</li> <li>- The submitted building elevations show two-story residential structures with a height of 19.66 FT, which is within the maximum allowable height of 40 FT for principal structures in the R2 Zone District.</li> <li>- The proposed structures are compatible with the existing neighborhood on Hubbell Avenue in terms of size, height, and site design.</li> <li>- The surrounding neighborhood contains largely single unit and two unit dwellings and is located in a residential neighborhood.</li> <li>- According to the Onondaga County Planning Agency's confirmation letter, the new 9-1-1 street address for "Lot 1B" will be <b>203 Hubbell Avenue</b>.</li> <li>- According to the Onondaga County Planning Agency's confirmation letter, the new 9-1-1 street address for "Lot 1C" will be <b>205 Hubbell Avenue</b>.</li> </ul> <p><b><u>Recommended Conditions if Approved:</u></b></p> <ul style="list-style-type: none"> <li>- Applicant shall successfully file the resubdivision map of R-25-01 in the Onondaga County Clerk's office within 62 days of resubdivision approval.</li> <li>- The owner(s) of 203 Hubbell Avenue and 205 Hubbell Avenue will apply for new build permits for each new individual lot when developing their proposed single unit detached dwellings and driveways.</li> </ul>
<b><i>Zoning Procedural History:</i></b>	R-15-03  Resubdivision to combine two lots into one new lot   Approved V-25-01   Area Variance to allow for newly subdivided lots to deviate 3 inches from the minimum required lot width of 40 FT  Approved
<b><i>Summary of Zoning History:</i></b>	<p>In February of 2015, the City Planning Commission approved a resubdivision to combine two lots, 201-03 Hubbell Avenue and 205 Hubbell Avenue into one new lot. The applicant was proposing to develop a "net-zero" green home designed by students from Syracuse University and SUNY ESF. The project was never developed and has been kept vacant the past decade.</p> <p>In February of 2025, the Board of Zoning Appeals approved an area variance for this proposed resubdivision to allow the lot width of both newly subdivided lots to be 39.75 FT instead of the minimum 40 FT for a single unit detached dwelling. This variance application is the companion application for this resubdivision.</p>
<b><i>Code Enforcement History:</i></b>	See attached code enforcement history.
<b><i>Zoning Violations:</i></b>	The proposed lot has no zoning violations.
<b><i>Summary of Changes:</i></b>	This is not a continued application.
<b><i>Property Characteristics:</i></b>	<p><b><u>Existing property characteristics</u></b></p> <p>The subject property at 205 Hubbell Ave. is a regularly shaped rectangle parcel with a lot size of 10,494 SF. The property has a single street frontage with 79.5 FT of frontage along Hubbell Ave. The southern property line borders 132 FT along the property line of 209-11 Hubbell Ave., the northern property line borders 132 FT along the property line of 155 Hubbell Ave., and the eastern property line borders 79.50 FT along the property line of 200 Clairmonte Ave. The property is improved by 135 SF of gravel.</p>

	<p><b><u>Proposed property characteristics</u></b></p> <p>The proposed resubdivided lot at 203 Hubbell Ave. will be known as Lot 1B and will have a lot size of 5,247 SF. The proposed lot will have one primary street frontage with 39.75 FT of frontage along Hubbell Ave. The southern property line will border 132 FT along the property line of 205 Hubbell Ave., the northern property line will border 132 FT along the property line of 155 Hubbell Ave., and the eastern property line will border 39.75 FT along the property line of 200 Clairmonte Ave.</p> <p>The proposed resubdivided lot at 205 Hubbell Ave. will be known as Lot 1C and will have a lot size of 5,247 SF. The proposed lot will have one primary street frontage with 39.75 FT of frontage along Hubbell Ave. The southern property line will border 132 FT along the property line of 209-11 Hubbell Ave., the northern property line will border 132 FT along the property line of 203 Hubbell Ave., and the eastern property line will border 39.75 FT along the property line of 200 Clairmonte Ave. The property is improved by 135 SF of gravel.</p>
	<p><b><i>SEQR Determination:</i></b></p> <p>Pursuant to the 6 NYCRR §617.2(al), the proposal is an Unlisted Action.</p>
<p><b><i>Onondaga County Planning Board Referral:</i></b></p>	<p>Pursuant to GML §239-l, m and n, the proposal was not reviewed by the Onondaga County Planning Board.</p>

**Application Submittals:** The application submitted the following in support of the proposed project:

- Resubdivision application
- Short Environmental Assessment Form Part 1
- “Proposed Resubdivision on Lot One A, Block Five of the Fiesinger Tract, Amended-Map #12010 To be New Lots One B and C., City of Syracuse, County of Onondaga, State of New York.” Dated: 10/31/2024. Drawn by Licensed Land Surveyor Michael McCully of Micheal J. McCully Land Surveying PLLC. Scale: As noted.
- Preliminary Site Plan: Drawn by Jim Williams
- Floor Plan Package( Sheet A.1-3, E.1): New Residence 201 & 205 Hubbell Ave Syracuse, New York Preliminary not for construction; Wolniak Architects 1610 James Street Syracuse, New York 13203; Scale: As Shown; Date: 6/20/2024

**Attachments:**

- Resubdivision Application
- Short Environmental Assessment Form Part 2&3
- Code Enforcement History
- Site and Floor Plans of Proposed New Builds
- IPS Comments from City Departments

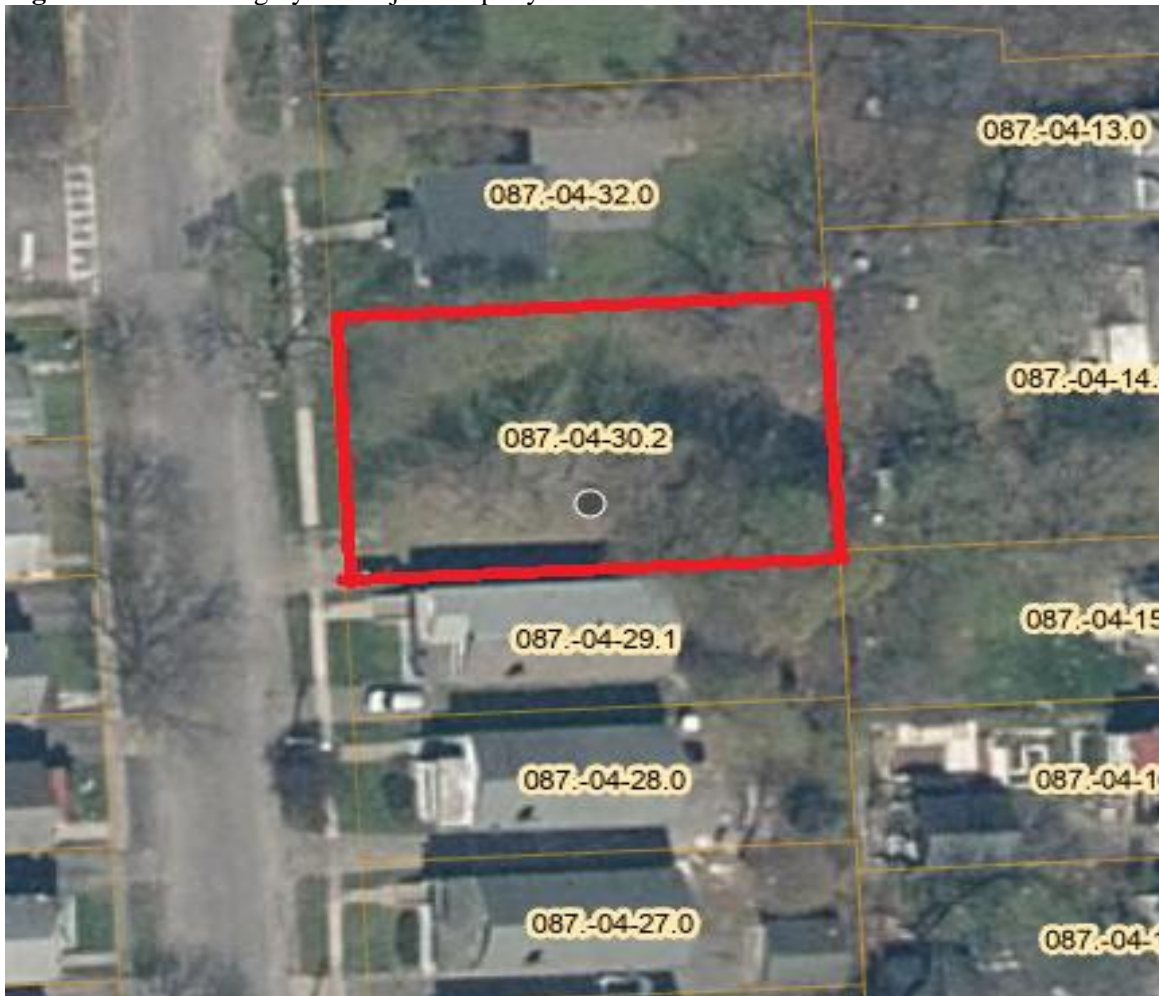
**Context Maps:**

**Figure 1:** Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.  
Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map

**Figure 2:** Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

City of Syracuse  
Office of Zoning Administration

**RESUBDIVISION / LOT ALTERATION APPLICATION**

One Park Place, 300 S State St \*Suite 700\* Syracuse, NY 13202

315-448-8640 \* [zoning@syr.gov](mailto:zoning@syr.gov) \*

\*\*[www.syr.gov/Departments/Zoning-Administration](http://www.syr.gov/Departments/Zoning-Administration)\*\*

Office Use    Filing Date: \_\_\_\_\_    Case: \_\_\_\_\_    Zoning District: \_\_\_\_\_

**REQUESTED** (Check applicable and provide the subdivision name, existing and proposed number of lots, and total area.)

	<u>Subdivision Name</u>	<u>Number of Lots</u>	<u>Total Area</u>
<input checked="" type="checkbox"/> Resubdivision:	Split 205 Hubbel into two lots	1	10,493.98 sf
<input type="checkbox"/> Lot Alteration:	_____	_____	_____

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) 205 Hubbell Ave	087.-04-30.2	GSPDC	11/20/2013
2) _____	_____	_____	_____
3) _____	_____	_____	_____
4) _____	_____	_____	_____

As listed in the Department of Assessment property tax records at <http://syrgov.net/Assessment.aspx> - 315-448-8280.

**COMPANION ZONING APPLICATION(S)** (List any related City Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

1) area variance                      2) \_\_\_\_\_                      3) \_\_\_\_\_

**PROJECT CONSTRUCTION** (Check all that apply and briefly describe, as applicable.)

<input type="checkbox"/> Demolition (full and partial):	_____
<input checked="" type="checkbox"/> New Construction:	2 single family houses
<input type="checkbox"/> Façade (Exterior) Alterations:	_____
<input checked="" type="checkbox"/> Site Changes:	_____

**PROJECT INFORMATION** (Briefly describe, as applicable.)

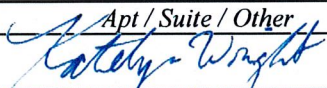
Project Name:	Split 205 Hubbell into 2 new construction sites
Current Land Use(s):	vacant residential
Proposed Land Use(s):	2 single-family residential (future use)
Number of Dwelling Units:	2 future new constructions
Days and Hours of Operation:	n/a residential
Number of Onsite Parking Spaces:	2 (future)

**PROJECT DESCRIPTION** (Provide a brief description of the project, including purpose or need, and justification.)

Applicant proposes to split 205 Hubbell, a 79.5' x 132' vacant lot into two new vacant lots, each measuring 39.75' x 132'. The lots will be sold to a developer who will construct 2 new single-family homes. An area variance application accompanies this resubdivision application requesting a variance of 3" on the 40' frontage minimum requirement.

**PROPERTY OWNER(S) (required)**

As listed in Department of Assessment property tax records (<http://syrgov.net/Assessment.aspx> - 315-448-8280). If not listed as the owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a letter describing the legal arrangement. If the property owner is a Corporation or Organization, the person signing must provide member verification. **Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.**

Katelyn	Wright	Executive Director	Greater Syracuse Property Development Cp		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
1941 S Salina St		Syracuse	NY	13205	Phone: 315-+422-2301
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: kwright@syracuselandbank.org</i>
* Signature: 			Date: 12/17/2024		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

**\* OWNER SIGNATURE DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

**APPLICANT(S) (if applicable)**

Katelyn	Wright	Executive Director	Greater Syracuse Property Development Cp		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
1941 S. Salina St		Syracuse	NY	13205	Phone: 315-422-2301
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: kwright@syracuse Landbank.org</i>

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

**REPRESENTATIVE(S)/CONTACT(S) (if applicable)**

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
					<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

**Resubdivision / Lot Alteration Application**  
**INSTRUCTIONS AND REQUIRED SUBMITTALS**

**Incomplete applications will not be processed.**

Applications together with the required submittals listed below must be submitted in **HARD COPY, SINGLE-SIDE** and **NOT BOUND**, to the City of Syracuse Office of Zoning Administration, One Park Place, 300 S State St, Suite 700, Syracuse, NY 13202, Syracuse, NY 13202. E-mailed submissions will not be processed.

**Please submit ONE (1) COPY of the following:**

- ☒ **APPLICATION** – filled out completely, dated, and **signed by property owner as instructed.**
- ☒ **STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR) Short Environmental Assessment Form (SEAF) - Part One** - filled out to the best of your ability, dated, and signed by preparer..
- ☐ **APPLICATION FEE** – \$0.

**Please submit FIVE (5) FULL-SIZE AND TO-SCALE paper maps for review purposes, and ONE (1) REDUCED (11X17" or smaller) paper map for copying, and a PDF File to [hpan@syr.gov](mailto:hpan@syr.gov) of the following:**

- ☒ **RESUDIVSION/LOT ALTERATION MAP** (per the Syracuse-Onondaga County Guide 11-17-2011  
No larger than 36"x 44")
  - The map must indicate the Existing Address and Proposed address for the consistency between Tax parcel and 9-11 address (to be verified by Syracuse-Onondaga County Planning Agency Address Administration Certification. Tel: 315-435-2616/ [DanielSmith@ongov.net](mailto:DanielSmith@ongov.net))
  - Five Signature Blocks (County Health Department, and City Planning Commission, Assessment, Finance, Engineering)
  - Tract name (cannot be Farm Lot or Military Lot)
  - Farm/Military Lot and/or block numbers
  - Municipality, Scale, Date, North arrow
  - Certificate of Licensed Land Surveyor: "We (or I) hereby certify that this is an accurate subdivision plat prepared by us (or me) on (date). This subdivision plat meets the current standards stated in the NYSAPLS Code of Practice for Land Surveys pertaining to All Boundary/Title Surveys. The subdivision boundary closure is (boundary closure precision). This map is not valid without the original seal of the surveyor."
  - Each new lot will have a definite designation number or letter per the new map.
  - Each amended lot will have a definite designation per the new map to avoid confusion with the original lot designation as shown on a previous subdivision map (e.g. Lot 10 becomes Lot 10A).
  - Existing parcels or lots to be added to or subtracted from will have a definite designation per the new map depicting all necessary conveyances.
  - Each line or curve of all new or amended lots must clearly show all necessary geometry.
  - Shorelines will have a tie line with geometry for closure.
  - The map shall have absolutely no disclaimers preventing the use of said map as a legal descriptor for any new or amended lot or lots shown.
  - All amended maps or resubdivision maps must recite which existing map # they are amending & clearly describe which lots or areas are being amended & why.
- ☐

**AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries, easements, and current conditions including structures, fencing, parking surface, and retaining walls if not illustrated on the

- ☒ **Resubdivision or Lot Alteration Map (signed and stamped by a licensed surveyor).**

**SITE PLAN(S)** illustrating site alterations and post project conditions that are/will be different from the As Built Property Survey or Resubdivision / Lot Alteration Map:

1. **Zoning Schedule** (density, setbacks, structure / parking surface coverage, screening, onsite parking, etc.)
2. **demolitions** and **post demolition** conditions
3. **structures, facilities, utilities and drainage**
4. **parking areas** including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage
5. **loading** dock and delivery areas
6. **dumpsters** and/or trash receptacles
7. **landscaping** including type, height, and number of plantings
8. **screening/fencing** including type and height for parking, dumpsters, and site
9. **lighting** including structure heights and luminaries wattage
10. **ground signs**
11. **STREET rights-of-way** conditions, existing and proposed, including curb cuts, driveways, sidewalks, and plantings
12. **ENROACHMENTS**, existing or proposed, into the City rights-of-way including stairs, signs, and awning

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### **Instructions for Completing**

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

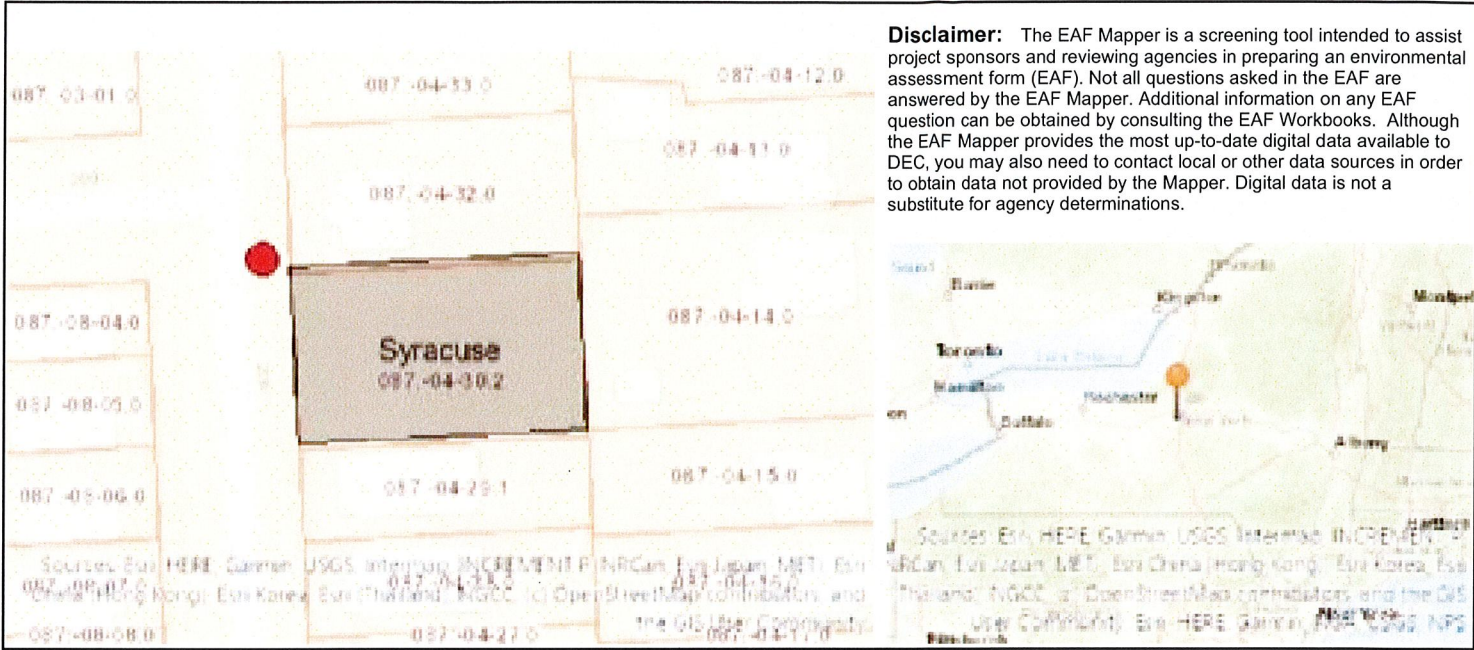
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Split 205 Hubbell Ave into 2 new construction Sites			
Project Location (describe, and attach a location map): 205 Hubell Ave between Grandview Ave and Stolp Ave in the City of Syracuse NY			
Brief Description of Proposed Action: To allow the division of a 79.5' x 132' vacant lot into two single-family parcels with a proposed frontage of 39.75 feet each - .25 feet (3 inches) less than the required 40 feet.			
Name of Applicant or Sponsor: Greater Syracuse Property Development Corp		Telephone: 315-422-2301 ext 18 E-Mail: tluckett@syracuselandbank.org	
Address: 1941 S. Salina St			
City/PO: Syracuse		State: NY	Zip Code: 13205
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		.24 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.24 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: n/a resubdivision only _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Closest eligible is Most Holy Rosary Roman Catholic Church, Parish Center, and School at 111 Roberts Ave	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor/name: <u>Katelyn Wright</u>      Date: <u>12/17/2024</u></p> <p><u>12/17/2024</u>      <i>Katelyn Wright</i>      Executive Director</p> <p>Signature: _____      Title: _____</p>		





Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

NEW RESIDENCE

# 201 & 205 HUBBEL AVE

SYRASUSE, NEW YORK

PRELIMINARY NOT FOR CONSTRUCTION

ARCHITECT:

WOLNIAK ARCHITECTS

1 6 1 0 J A M E S S T R E E T S Y R A C U S E , N E W Y O R K 1 3 2 0 3  
3 1 5 . 4 7 2 . 7 0 0 0 F A X / 3 1 5 . 4 7 2 . 7 0 0 2

ABBREVIATIONS				MATERIALS	SYMBOLS LEGEND	LIST OF DRAWINGS
AB. AF. ALUM. AUX.	ANCHOR BOLT ABOVE FINISHED FLOOR ALUMINUM AUXILIARY	HORZ. HT. HUL H.D.	HORIZONTAL HEIGHT HOT WATER HAND DRYER	ROUGH WOOD	PARTITION TYPE	A.0 COVER SHEET & LOCATION PLAN A.1 PROPOSED FLOOR PLANS A.2 EXTERIOR ELEVATIONS A.3 FOUNDATION, FRAMING PLANS & SECTIONS A.4 DETAIL SECTIONS SP.1 SPECIFICATIONS E.1 ELECTRICAL PLANS MEP.1 MECHANICAL / ELECTRICAL SPECIFICATIONS
BLKG. BM. BOT.	BLOCKING BEAM ALUMINUM BOTTOM	INSUL. LAV. LOC.	INSULATION LAVATORY LOCATE	STEEL	NEW DOOR AND DOOR NUMBER	
CL CLG. COL. CONC. CONN. CONT. CW	CENTERLINE CEILING COLUMN CONCRETE CONNECTION CONTINUOUS COLD WATER	MAX. MTL. MO. O.C. OVHD.	MAXIMUM METAL MASONRY OPENING ON CENTER OVERHEAD	BRICK MASONRY	BUILDING SECTION	
DBL. D/T DUG.	DOUBLE DRIVE THRU DRAWING	FL. FLYUD. PREFAB	PLATE PLYWOOD PREFABRICATION	CONCRETE MASONRY	SHEET NO.	
ELECT. ELEV. EQ. EQUIP. E.S. EW. EXT.	ELECTRIC ELEVATION EQUAL EQUIPMENT EACH SIDE EACH WAY EXTERIOR	P&F. P.S.I. P.T. PTN. P.V.C.	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PARTITION POLYVINYL CHLORIDE	EARTH	WALL SECTION	
FD. FE. FIN.FL.FINISH FO.M. F.O.S. F.S. FTG.	FLOOR DRAIN FIRE EXTINGUISHER FIN.FL.FINISH FLOOR FACE OF MASONRY FACE OF STUD FLOOR SINK FOOTING	RECEPT. REINF. REQD.	RECEPTACLE REINFORCING REQUIRED	GYPSUM WALL BOARD	DETAIL BLOW-UP	
GALV. G.C. GRD. GYP. BD.	GALVANIZED GENERAL CONTRACTOR GROUND GYPSUM WALL BOARD	ST.ST. STL. STRUCT. TKG T.O.S. TYP.	STAINLESS STEEL STEEL STRUCTURAL TONGUE & GROOVE TOP OF STEEL TYPICAL	CONCRETE	ROOM NUMBER	
		VEN. VERT. V.R.	VENEER VERTICAL VENT THRU ROOF	COMPACTED GRANULAR FILL	WINDOW NUMBER	
		W/ WD. WUM	WITH WOOD WELDED WIRE MESH	RIGID INSULATION	INTERIOR ELEVATIONS	
				BATT INSULATION		

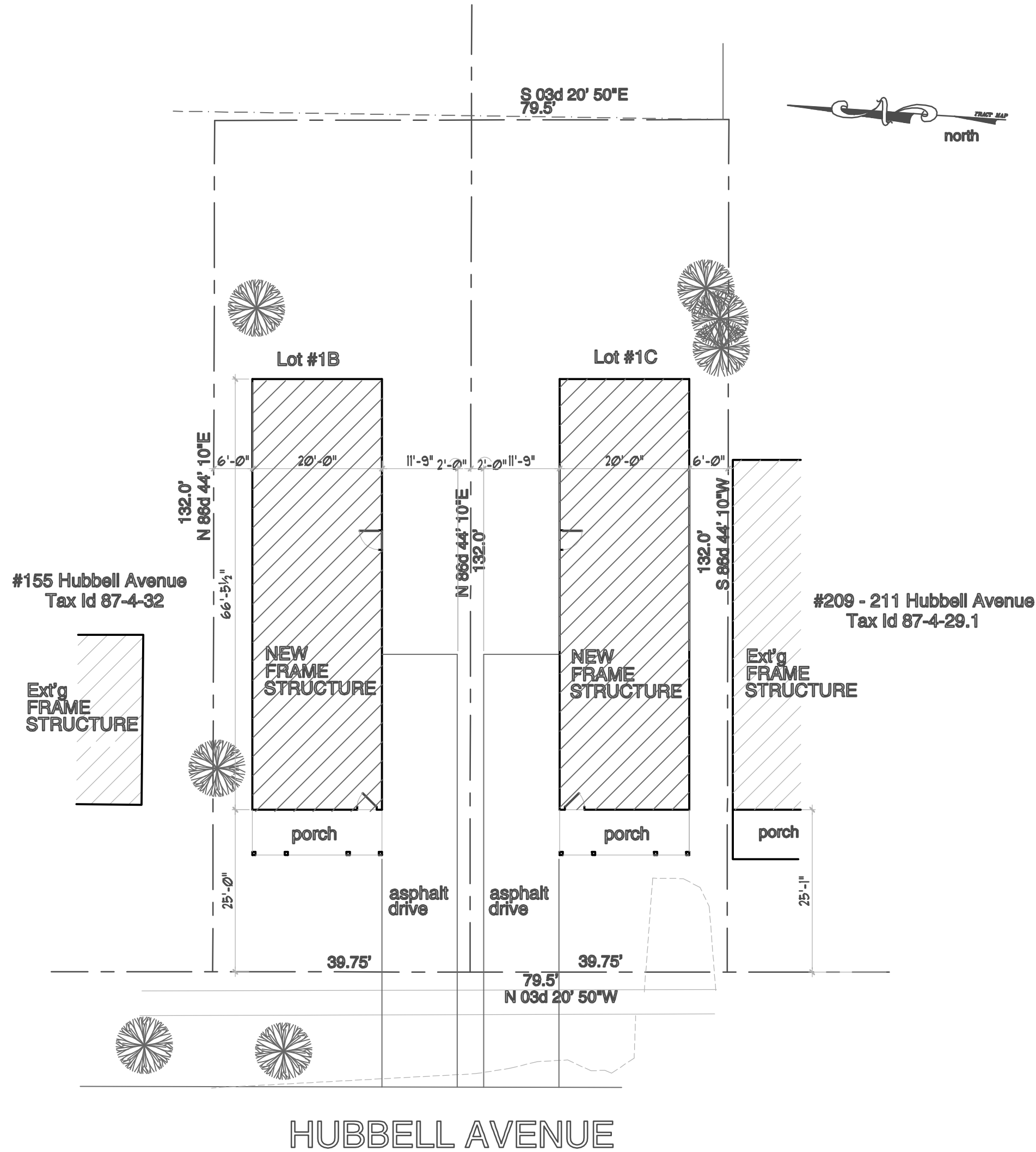
**GENERAL NOTES**

TOTAL SITE AREA 10494sq. ft. = .24 acres  
EACH INDIVIDUAL SITE AREA 5247sq. ft. = .12 acres  
BUILDING FOOTPRINT 1470 sq. ft.  
NYS CODE DESIGNATION Single Family  
SYR ZONING DESIGNATION "R-2" Low Density Residential District

**LOCATION PLAN (NTS)**

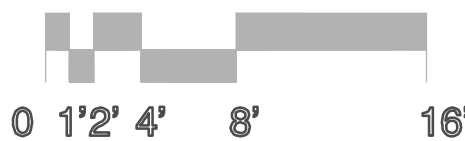
**COMPLIANCE STATEMENT**

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THE ATTACHED PLANS & SPECIFICATIONS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE BUILDING & THE ENERGY CODE OF NEW YORK STATE.



SITE PLAN

SCALE: 1/8"=1'-0"



Notes

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NEW RESIDENCE at:  
**201 & 205 HUBBELL AVE**  
SYRACUSE, NEW YORK

Project#  
Revisions  
09 July 2024  
07 Nov 2024

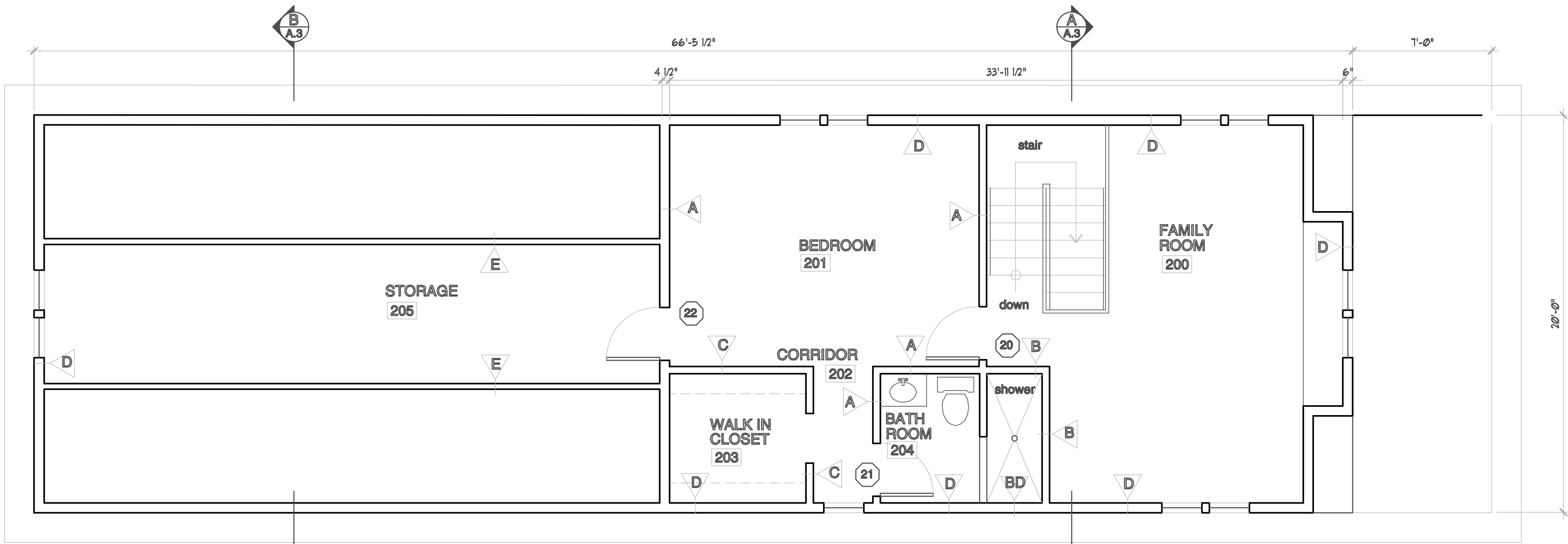
Scale  
AS SHOWN

Date  
20 June 2024

Title  
**COVER, SITE PLAN & LOCATION PLAN**

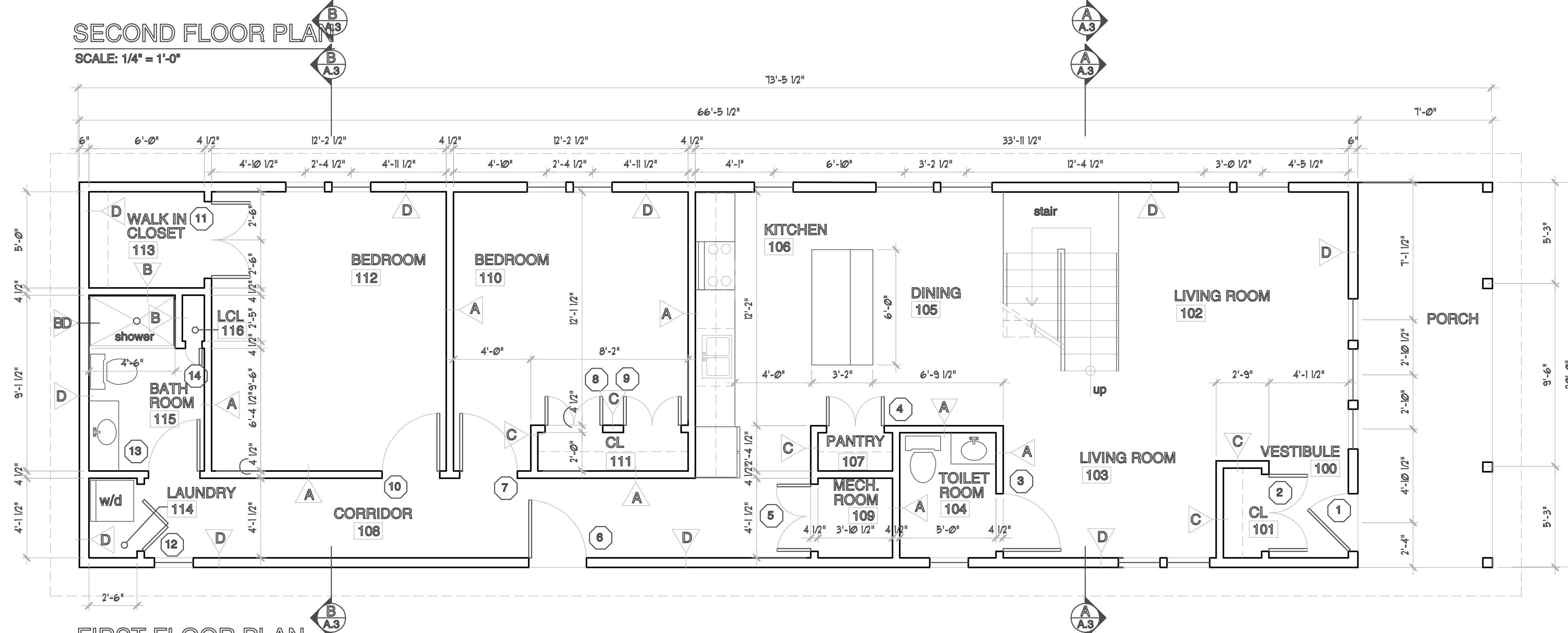
North  
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A.0

WOLNIAK ARCHITECTS  
1 6 1 0 J A M E S S T R E E T S Y R A C U S E , N E W Y O R K 1 3 2 0 3  
3 1 5 . 4 7 2 . 7 0 0 0 / M W O L N I A K 2 @ G M A I L . C O M



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

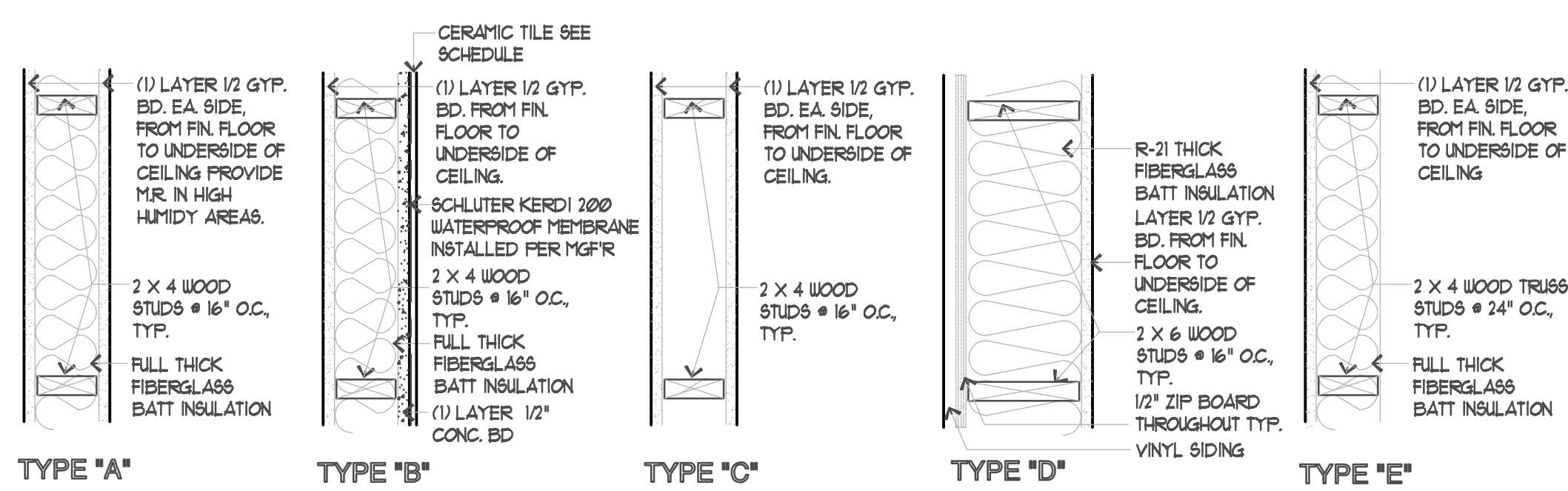
DOOR SCHEDULE

DOOR SCHEDULE															
DOOR NO.	TO ROOM		INT. OR EXT.	TYPE	DOOR				FRAME				HARDWARE	REMARKS	DOOR NO.
	NAME	NO.			MAT'L	W	H	T	HEAD	JAMB	MAT.	W			
01	EXTERIOR	100	EXT	A	FGloss GLASS	3'-0"	6'-8"	1-3/4"	3/A.1	3/A.1	WD	3'-0"	—	GROUP A	01
02	CLOSET	101	INT	B	WD	2x2'-0"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	4'-0"	—	GROUP B	02
03	TOILET ROOM	104	INT	C	WD	3'-0"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	3'-0"	—	GROUP C	03
04	PANTRY	107	INT	B	WD	2x1'-6"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	3'-0"	—	GROUP B	04
05	MECH ROOM	109	INT	B	WD	2x1'-9"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	3'-6"	—	GROUP B	05
06	EXTERIOR	108	EXT	A	FGloss GLASS	3'-0"	6'-8"	1-3/4"	3/A.1	3/A.1	WD	3'-0"	—	GROUP A	06
07	BEDROOM	110	INT	C	WD	2'-8"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	2'-8"	—	GROUP C	07
08	CLOSET	111	INT	B	WD	2x1'-6"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	3'-0"	—	GROUP B	08
09	CLOSET	111	INT	B	WD	2x1'-6"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	3'-0"	—	GROUP B	09
10	BEDROOM	112	INT	C	WD	2'-8"	3'-0"	1-3/4"	1/A.1	1/A.1	WD	2'-8"	—	GROUP C	10
11	WALK IN CLOSET	113	INT	B	WD	2x2'-0"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	4'-0"	—	GROUP B	11
12	LAUNDRY	114	INT	B	WD	2x1'-9"	6'-8"	1-3/4"	2/A.1	2/A.1	WD	3'-6"	—	GROUP G	12
13	BATHROOM	115	INT	C	WD	2'-8"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	2'-8"	—	GROUP C	13
14	LINEN	116	INT	D	WD	0'-10"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	0'-10"	—	GROUP D	14
20	BEDROOM	201	INT	C	WD	2x2'-0"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	4'-0"	—	GROUP E	20
21	BATHROOM	204	INT	C	WD	2'-8"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	2'-8"	—	GROUP C	21
22	STORAGE	205	INT	C	ISUL METAL	2'-8"	6'-8"	1-3/4"	1/A.1	1/A.1	WD	2'-8"	—	GROUP F	22

ROOM FINISH SCHEDULE

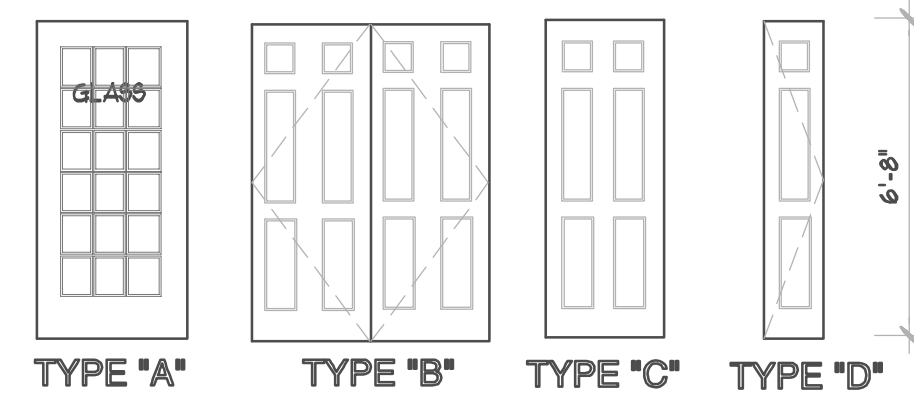
ROOM FINISH SCHEDULE																									
ROOM NO.	ROOM NAME	FLOOR			BASE			WALLS												CEILING				REMARKS	ROOM NO.
		SUB. FLOOR	FINISH	COLOR	FINISH	HT.	COLOR	WALL TYPE	FINISH	COLOR	WALL TYPE	FINISH	COLOR	WALL TYPE	FINISH	COLOR	WALL TYPE	FINISH	COLOR	TYPE	MAT'L	FINISH	HT.		
100	VESTIBULE	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	8'-0"	100	
101	CLOSET	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	8'-0"	101	
102	LIVING ROOM	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	8'-0"	102	
103	LIVING ROOM	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	8'-0"	103	
104	TOILET ROOM	CONC.	C.TILE	CT.1	C.TILE	4.5"	CT.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	8'-0"	104	
105	DINING AREA	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	8'-0"	105	
106	KITCHEN	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	8'-0"	106	
107	PANTRY	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	8'-0"	107	
108	CORRIDOR	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	8'-0"	108	
109	MECH ROOM	CONC.	VINYL	VSG.1	VB	4.5"	VB.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	8'-0"	109	
110	BEDROOM	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	8'-0"	110	
111	CLOSET	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	8'-0"	111	
112	BEDROOM	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	8'-0"	112	
113	WALK IN CLOSET	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	8'-0"	113	
114	LAUNDRY	CONC.	C.TILE	CT.1	C.TILE	4.5"	CT.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	8'-0"	114	
115	BATHROOM	CONC.	C.TILE	CT.1	C.TILE	4.5"	CT.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	8'-0"	115	
116	LINEN CLOSET	CONC.	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	8'-0"	116	
200	FAMILY ROOM	PLYWD	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	7'-6"	200	
201	BEDROOM	PLYWD	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	7'-6"	201	
202	CORRIDOR	PLYWD	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	7'-6"	202	
203	WALK IN CLOSET	PLYWD	WD	WD.1	WOOD	4.5"	P.1	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.2	GWB	PAINT	P.1	7'-6"	203	
204	BATHROOM	PLYWD	C.TILE	CT.1	C.TILE	4.5"	CT.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	GWB	PAINT	P.1	7'-6"	204	
205	STORAGE	PLYWD	-	-				GWB	-	-	GWB	-	-	GWB	-	-	GWB	-	-	GWB	PAINT	P.1	7'-6"	205	

\* PROVIDE & INSTALL NEW 1/2" MOISURE RESISTIVE (M.R.) DRYWALL AT WOOD PANELING REMOVALS IF NO EXISTING DRYWALL EXISTS, FINISH AND PAINT PER FINISH SCHEDULE FOR COMPLETED FINISH ROOM



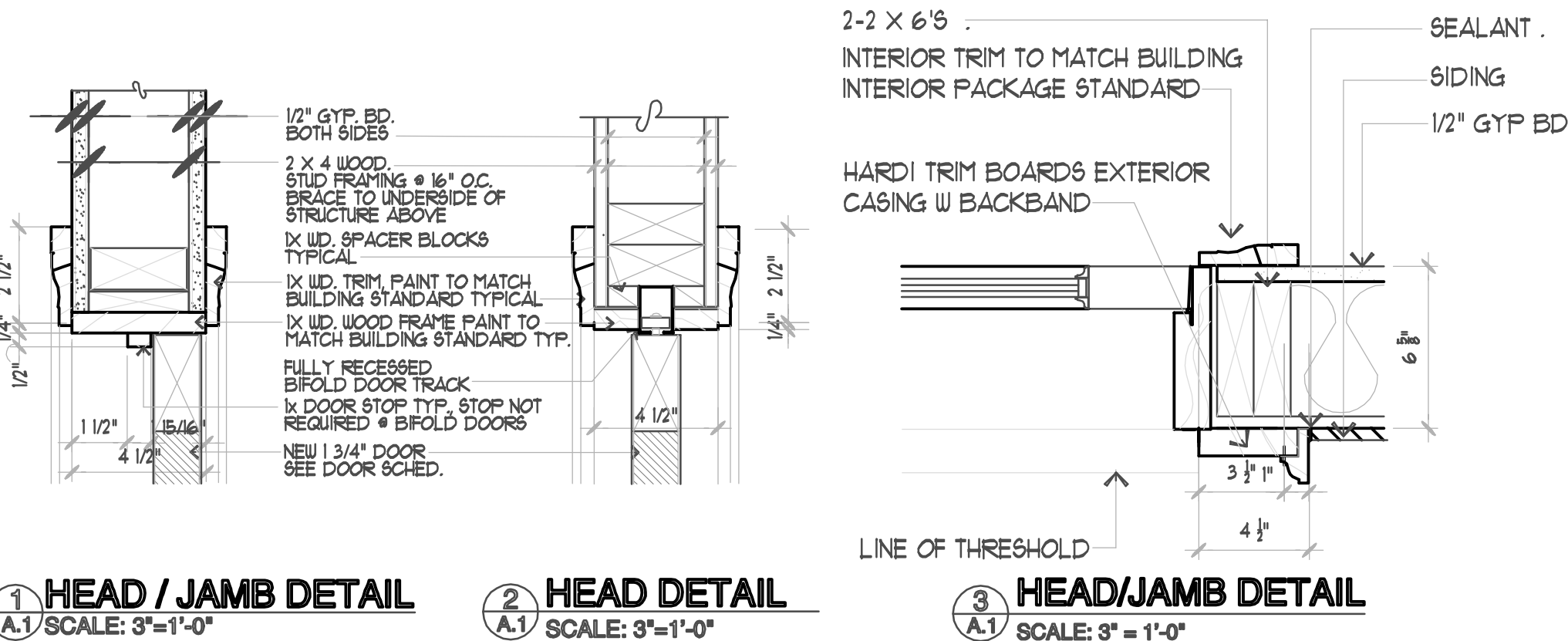
WALL TYPES

SCALE: 1 1/2"=1'-0"



DOOR TYPES

SCALE: 1/4"=1'-0"



FINISHES

CERAMIC TILE CT.1 MARAZZI MONTAGNA DAPPLE GRAY 6" x 24" PORCELAIN FLOOR TILE #ULM 76/ 205216805	CABINETRY CB.1 HAMTON BAY ASSEMBLED BASE & WALL CABINETS PAINTED COLOR: SATIN WHITE w/ DRAWER GLIDES & LIBERTY CLASSIC ROUND 1-1-4in 32mm SATIN NICKEL SOLID CABINET KNOBS P50154L-STNU1/202824439	VINYL BASE VB.1 JOHNSONITE #50 WHITE or eq.	COUNTERTOPS CTP.1 PROVIDED BY GC. SELECTION BY OWNER
WOOD FLOORING WD.1 OAK TREADS WOOD STAIN ST.1 MATCH WD.1		PAINT P.1 SHERWIN WILLIAMS WHITE SELECTION BY OWNER P.2 SELECTION BY OWNER P.3 SELECTION BY OWNER	INTERIOR SWING / SLIDING DOORS ISD.1 JEN WELD - 6 PANEL COLONIAL PRIMED TEXTURED MOLDED COMPOSITE DOOR SLABS SIZED PER DOOR SCHEDULE THDQC227300043 / 202036818 or eq.
		VINYL FLOORING VSG.1	

INTERIOR BIFOLD DOORS

IBD.1 JEN WELD - 6 PANEL COLONIAL PRIMED TEXTURED MOLDED COMPOSITE DOOR SLABS SIZED PER DOOR SCHEDULE THDQC236300007/ 202037467 or eq.
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Notes

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Project

NEW RESIDENCE at:

Project#

XX.XXX

Scale

1/4" = 1'-0"

Date

26 Sept 2024

Title

FLOOR PLAN

North

Sheet

A.1

WOLNIAK ARCHITECTS

1610 JAMES STREET SYRACUSE, NEW YORK 13203  
315.472.7000 FAX / 315.472.7002

201 & 205 HUBBELL AVE  
SYRACUSE, NEW YORK

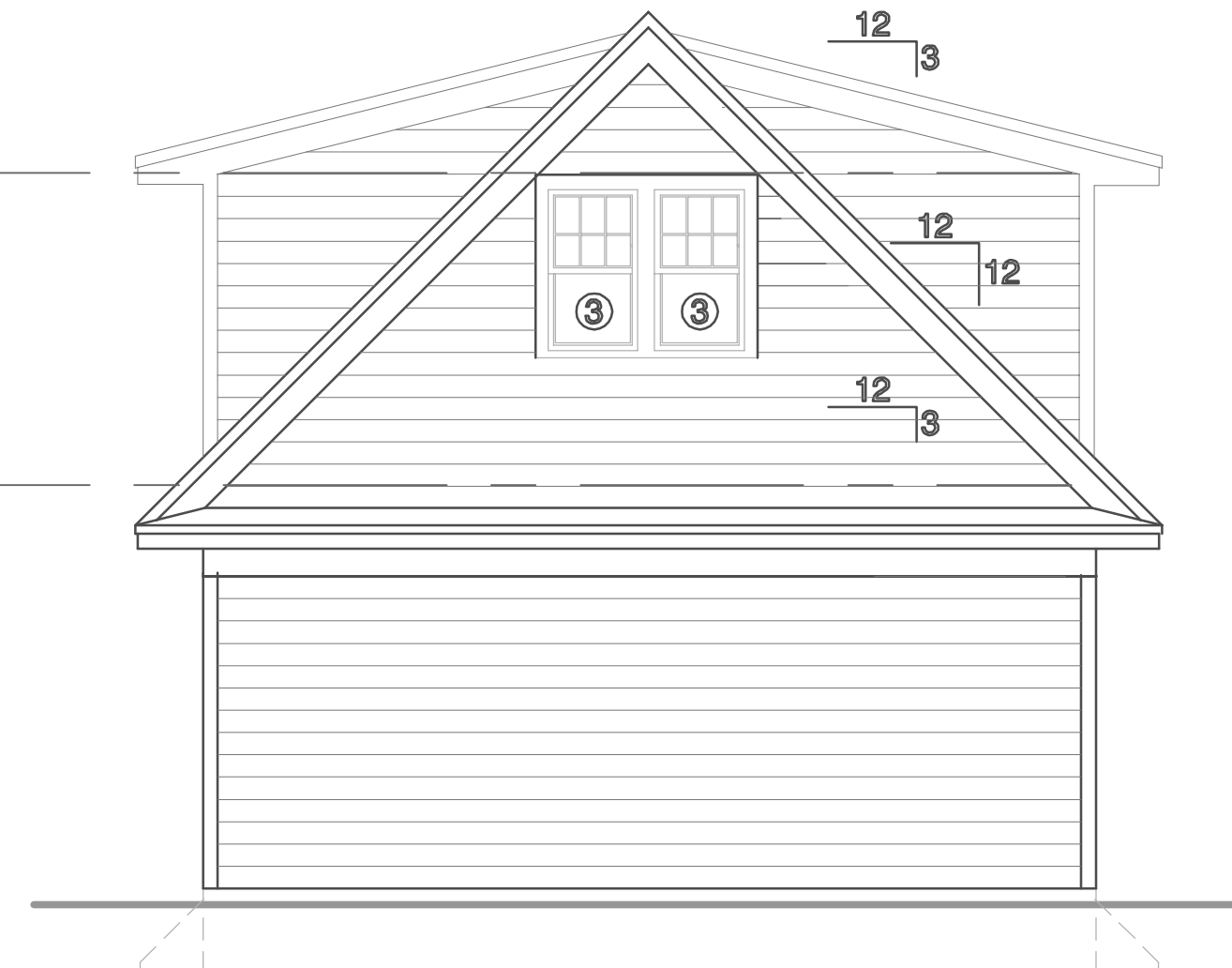
Revisions

07 Nov 2024



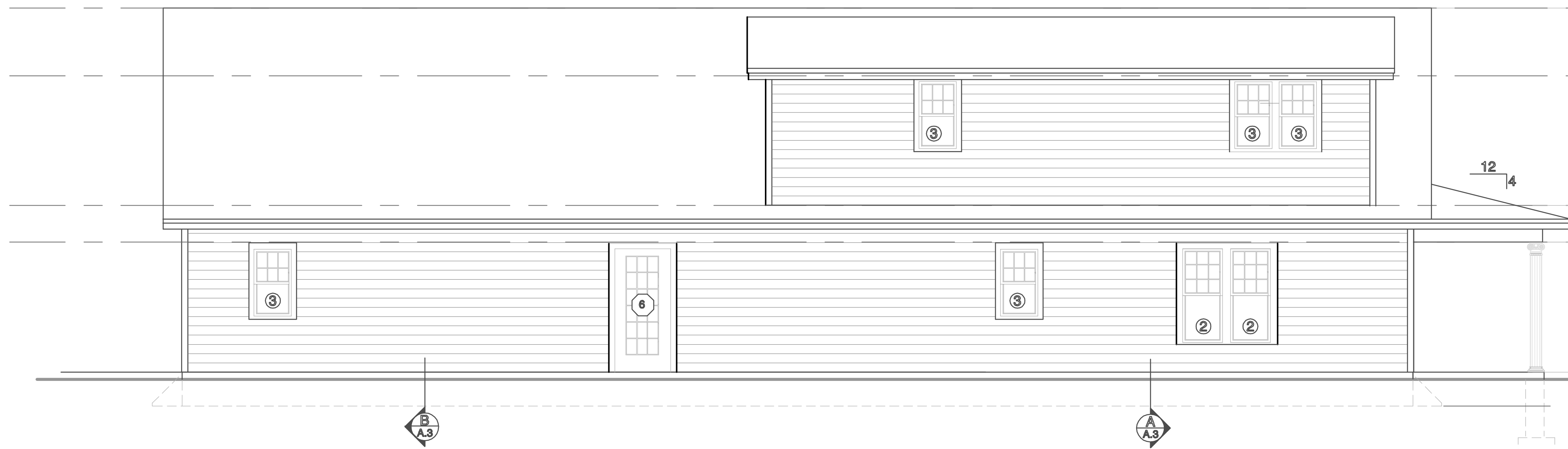
PROPOSED SOUTH WALL ELEVATION

SCALE: 1/4" = 1'-0"



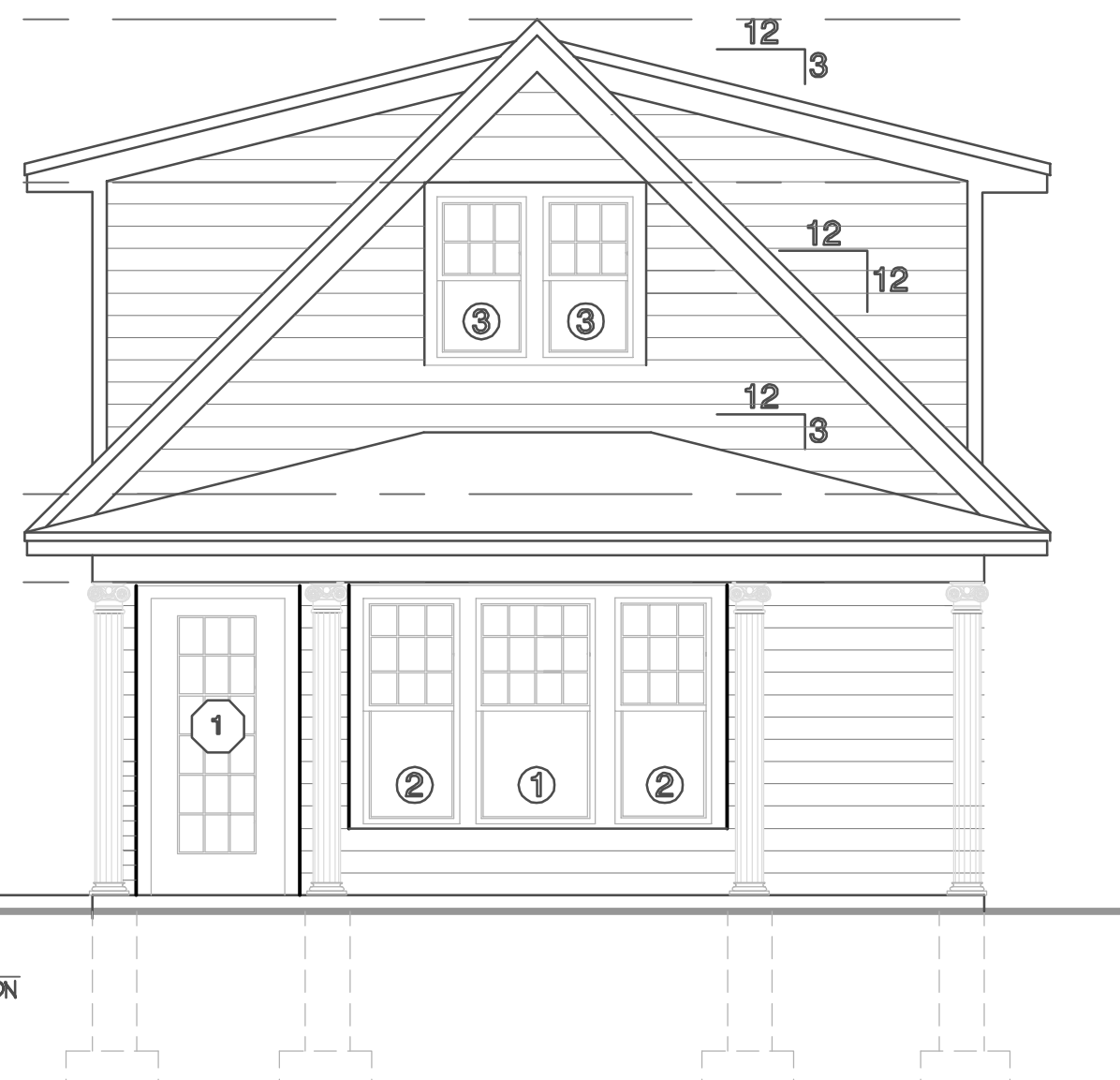
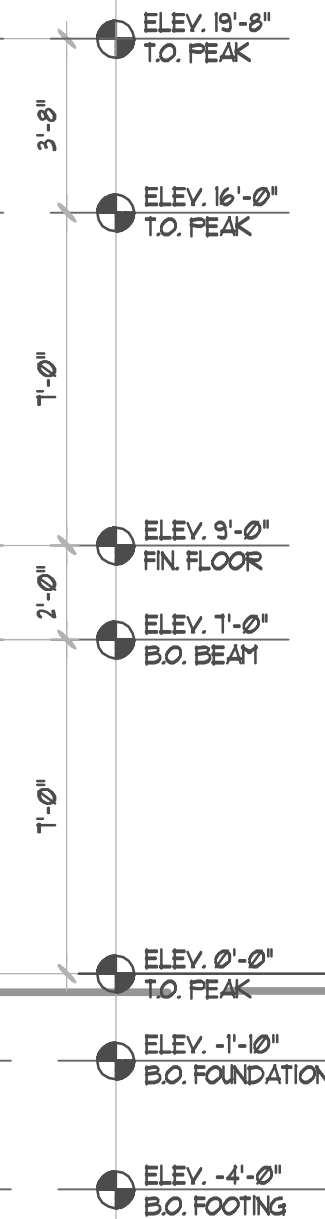
PROPOSED EAST WALL ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH WALL ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

### STRUCTURAL NOTES:

#### 1. DESIGN LOADS

- A. FLOOR - LIVE 125 PSF.  
B. ROOF - SNOW 55 PSF.

#### 2. CONCRETE

- A. STANDARDS - LATEST EDITION OF ACI 301, 315, AND 318.  
B. DESIGN STRENGTH AT 28 DAYS - 3000 PSI.  
C. SLUMP - MAXIMUM 4".  
D. ADMIXTURES - PROVIDE 5% TO 7% AIR ENTRAINMENT FOR ALL CONCRETE EXPOSED TO FREEZE THAW CYCLES. NO OTHER ADMIXTURE SHALL BE USED WITHOUT ENGINEER'S APPROVAL.

#### 3. CONCRETE REINFORCING

- A. DEFORMED BARS - ASTM A615, GRADE 60.  
B. MESH - ASTM A185 FLAT SHEETS.

#### 4. CONCRETE COVER OVER REINFORCING

- A. FOOTINGS - 3".  
B. SLABS ON GRADE - UPPER HALF OF SLAB, MINIMUM 3/4" FROM TOP.

#### 5. PROVIDE ALL NECESSARY TIE BARS, SPACER BARS, CHAIRS, ETC TO SECURE REINFORCING IN PLACE BEFORE PLACING CONCRETE.

#### 6. REINFORCE SLAB ON GRADE WITH 6 X 6 - W2.9 X W2.9 WUF.

#### 7. STRUCTURAL STEEL

- A. DESIGN STANDARD - AISC LATEST EDITION.  
B. STRUCTURAL SHAPES, PLATES AND BARS - ASTM A36, Fy = 50 KSI.  
1. BEAMS & CHANNELS - ASTM A 992, Fy = 50 KSI.  
NO SECOND HAND MATERIAL PERMITTED.  
C. TUBE SECTIONS - ASTM A500 - GRADE B, Fy = 46 KSI.  
D. PIPE SECTIONS - ASTM A53, TYPE S, GRADE B, Fy = 35 KSI.  
E. CONNECTIONS  
1. SHOP - WELDED  
2. FIELD - BOLTED WITH 3/4" ASTM A325 BOLTS UNLESS NOTED OTHERWISE ON DRAWINGS.  
D. PIPE SECTIONS - ASTM A53, TYPE S, GRADE B, Fy = 35 KSI.

#### 8. WOOD

- A. COMMON FRAMING - DOUGLAS FIR NO. 1 GRADE:  
Fb = 1500 PSI; E = 1,800,000 PSI.

#### 9. MASONRY

- A. PRISM STRENGTH - fm = 1500 PSI.  
B. CONCRETE MASONRY UNITS - ASTM C90, GRADE N, TYPE I.  
C. MORTAR - ASTM C270, TYPE S.  
D. GROUT - ASTM C416, FINE GROUT - 2500 PSI.  
E. JOINT REINFORCING - JOINT REINFORCING TIES AND ANCHORS IN EXTERIOR WALLS

### WINDOW SCHEDULE

WINDOW NO.	MODEL NO.	QTY.	MANUFACTURER	ROUGH OPENING	EXTERIOR COLOR	INTERIOR COLOR	REMARKS
1	TW26410	5	ANDERSEN A SERIES	2'-8 1/8"w x 5'-0 7/8"h	WHITE	WOOD STAIN ST.2	1" INSULATED LOW E CLEAR GLASS
2	TW20410	4	ANDERSEN A SERIES	2'-2 1/8"w x 5'-0 7/8"h	WHITE	WOOD STAIN ST.2	1" INSULATED LOW E CLEAR GLASS
3	ADH2644	18	ANDERSEN A SERIES		WHITE	WOOD STAIN ST.2	1" INSULATED LOW E CLEAR GLASS



Notes

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WOLNIAK ARCHITECTS  
1610 JAMES STREET SYRACUSE, NEW YORK 13203  
315.472.7000 FAX / 315.472.7002

Project#  
XX.XXX

Scale  
1/4" = 1'-0"

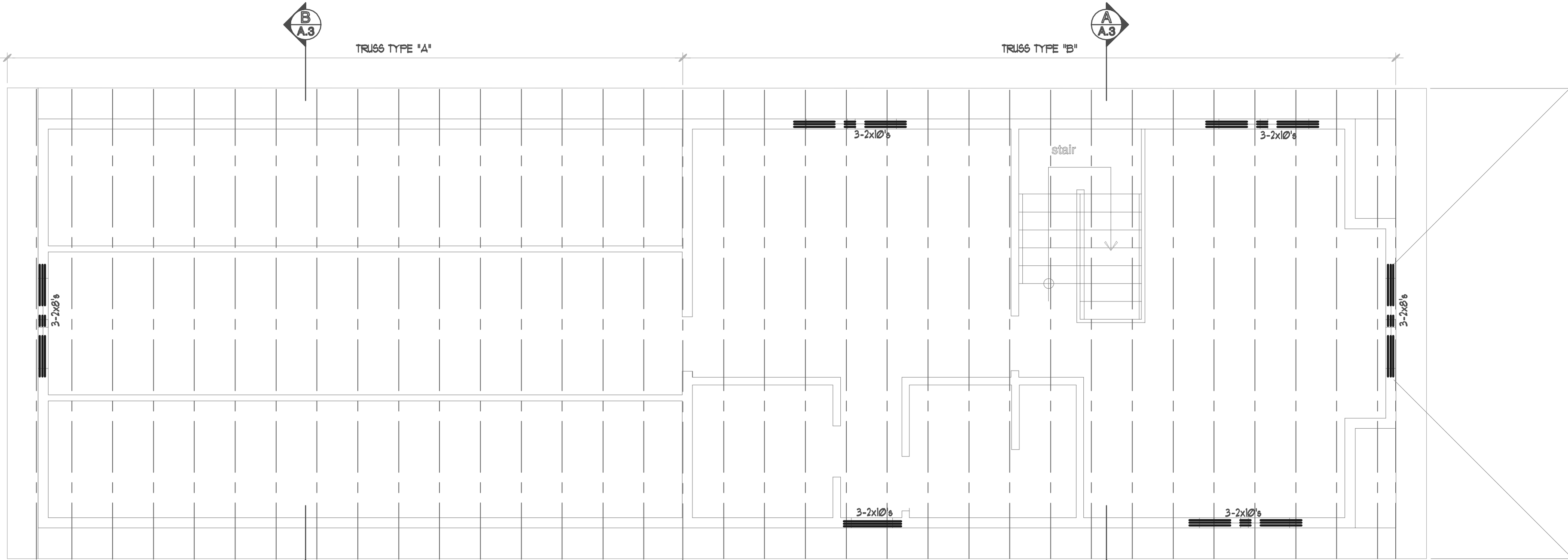
Date  
26 Sept 2024

Title  
EXTERIOR ELEVATIONS

Sheet  
A.2

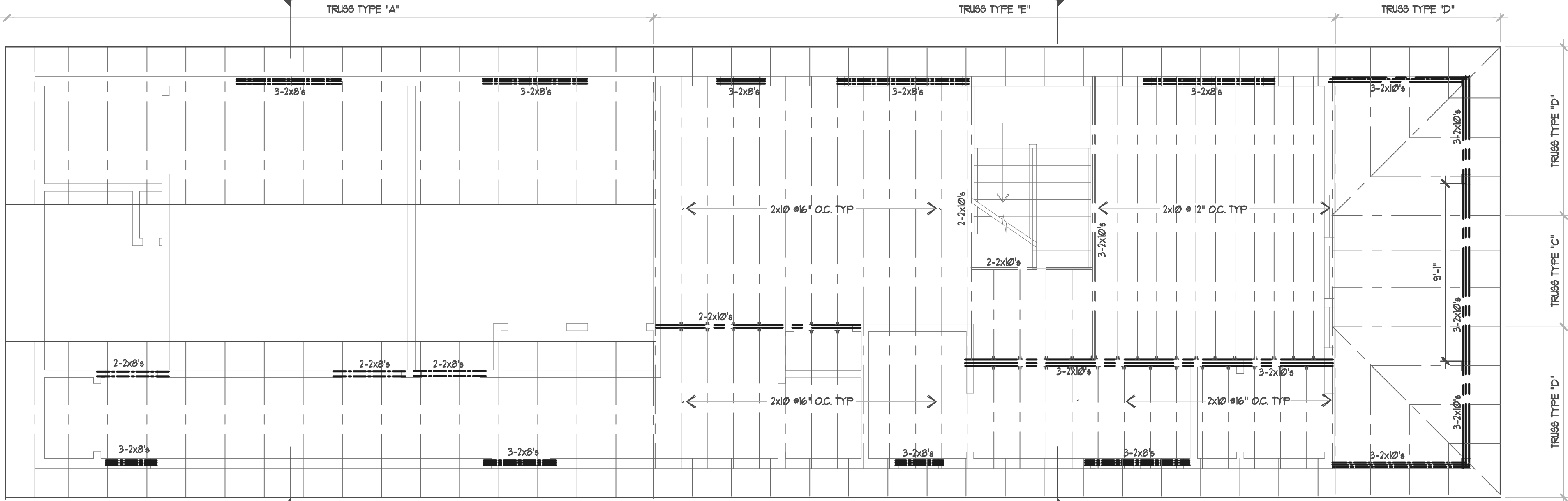
NEW RESIDENCE at:  
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SYRACUSE, NEW YORK

Revisions  
07 Nov 2024



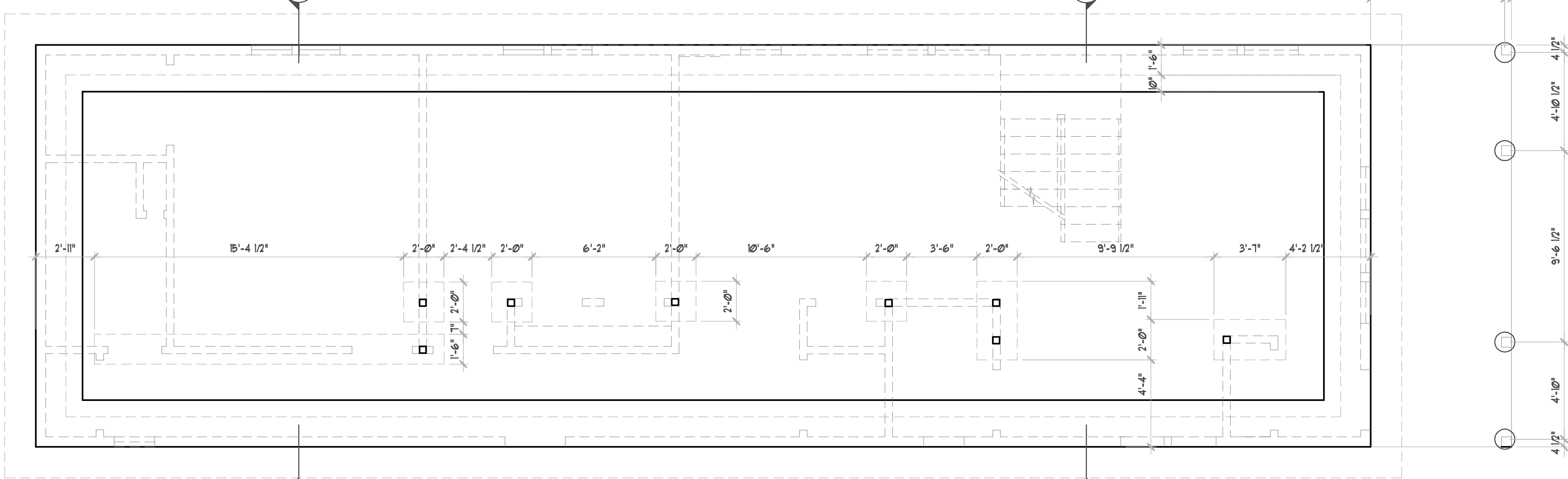
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



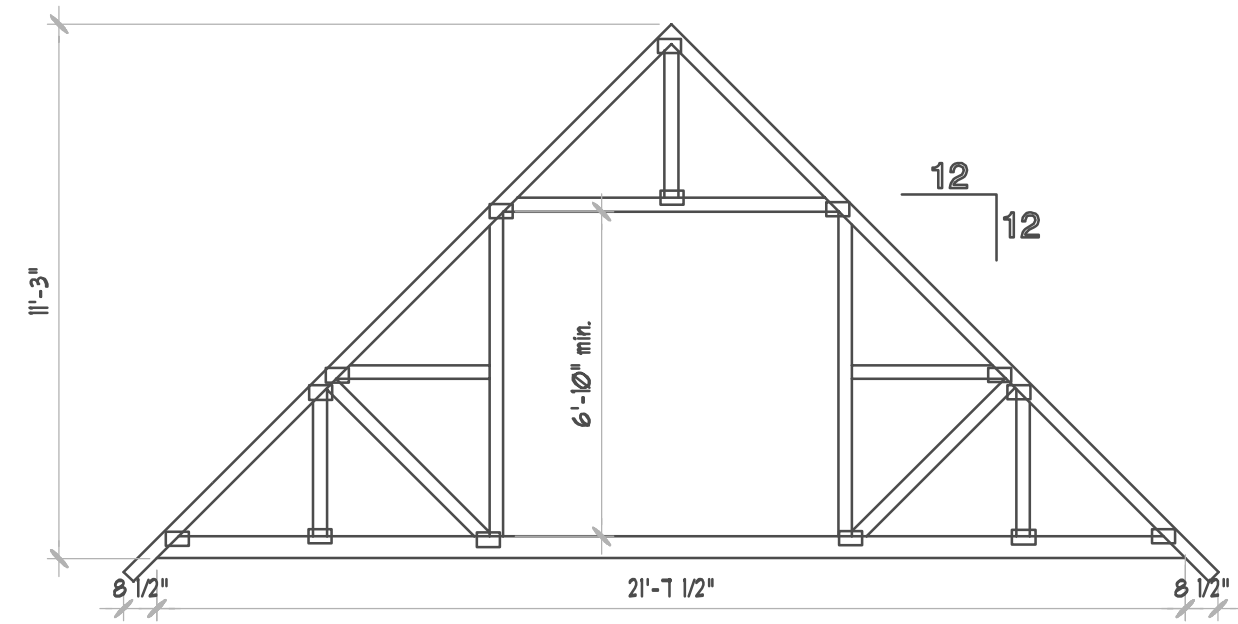
SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

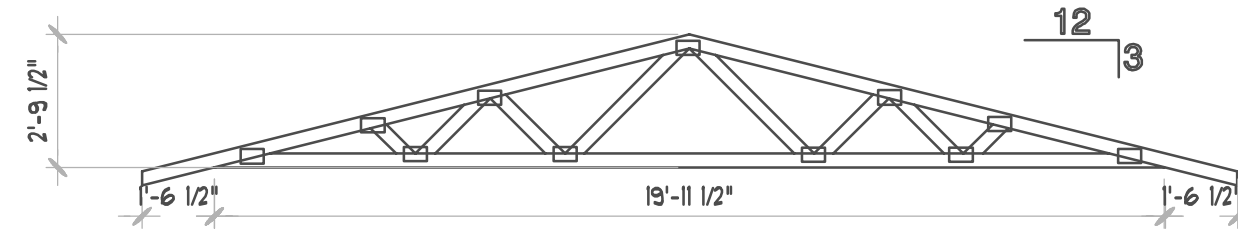


FOUNDATION PLAN

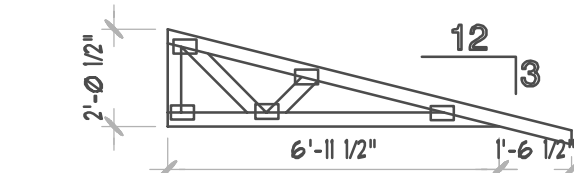
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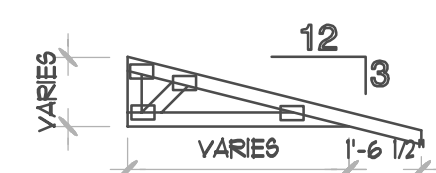
TYPE 'A'



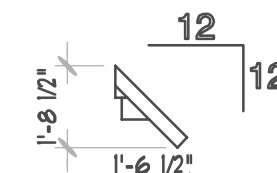
TYPE 'B'



TYPE 'C'



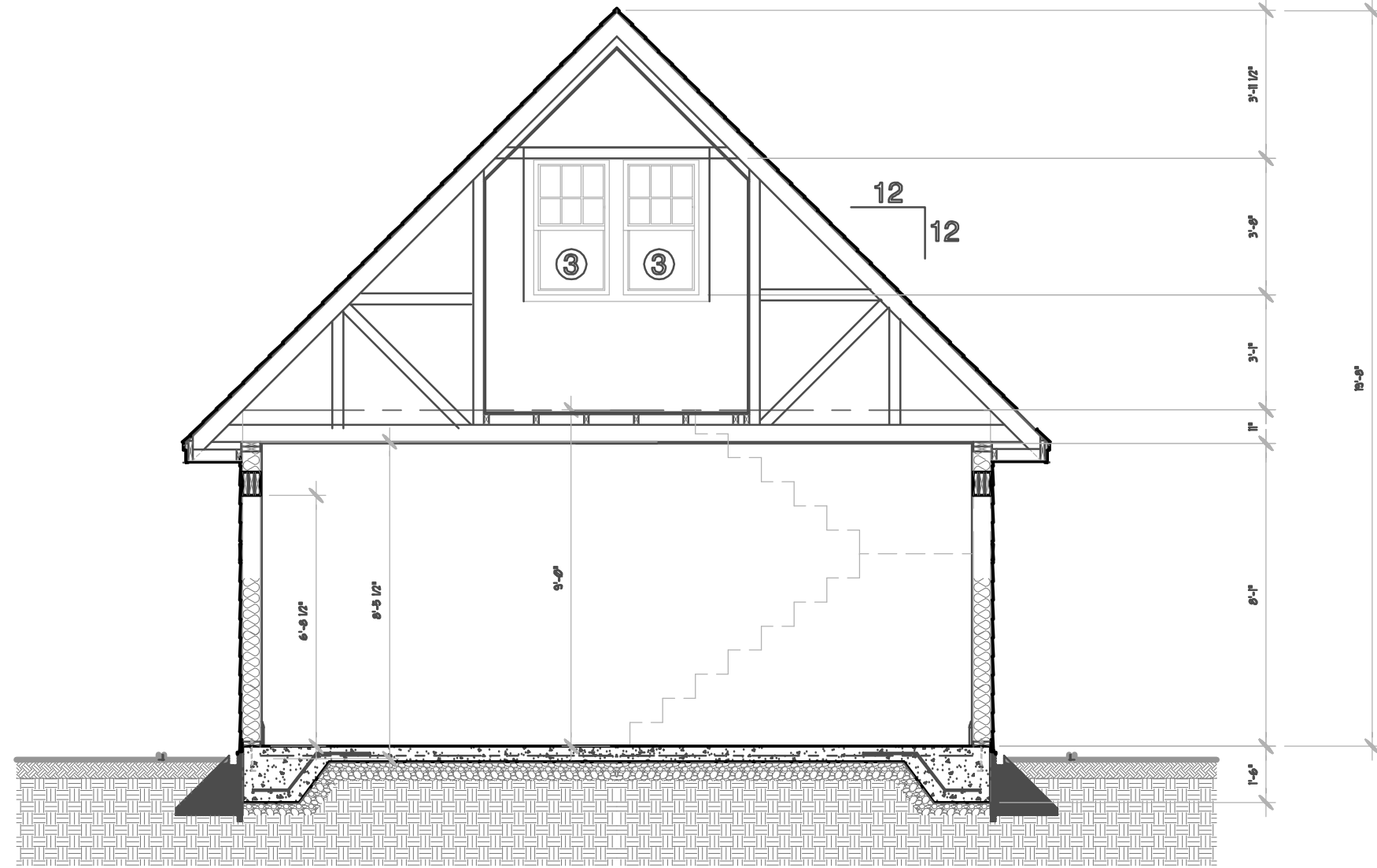
TYPE 'D'



TYPE 'E'

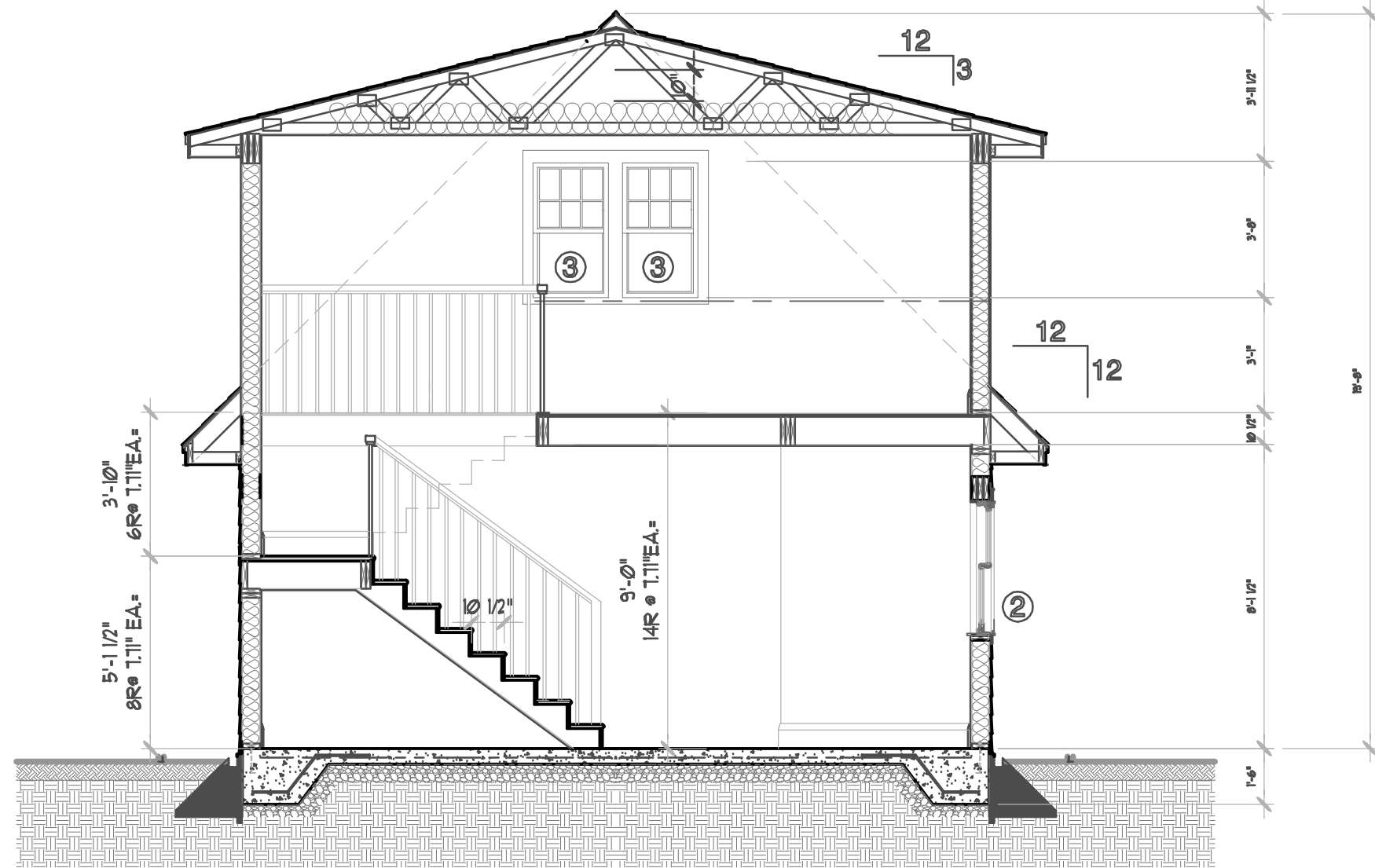
TRUSS TYPES

SCALE: 1/4"=1'-0"



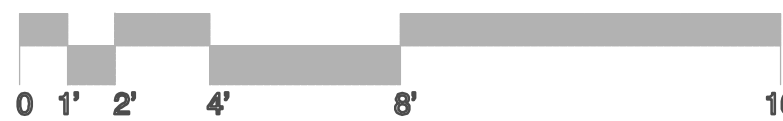
SECTION B-B

SCALE: 1/4" = 1'-0"



SECTION A-A

SCALE: 1/4" = 1'-0"



Notes

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.  
THE DRAWINGS AND THE RELATED DOCUMENTS SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE USED IN CONJUNCTION WITH THE INDICATED PROJECT AT THE NOTED LOCATION ONLY.

WOLNIAK ARCHITECTS

1610 JAMES STREET SYRACUSE, NEW YORK 13203  
315.472.7000 FAX / 315.472.7002

Project  
NEW RESIDENCE at:  
201 & 205 HUBBELL AVE  
SYRACUSE, NEW YORK

Project#  
XX.XXX

Revisions  
07 Nov 2024

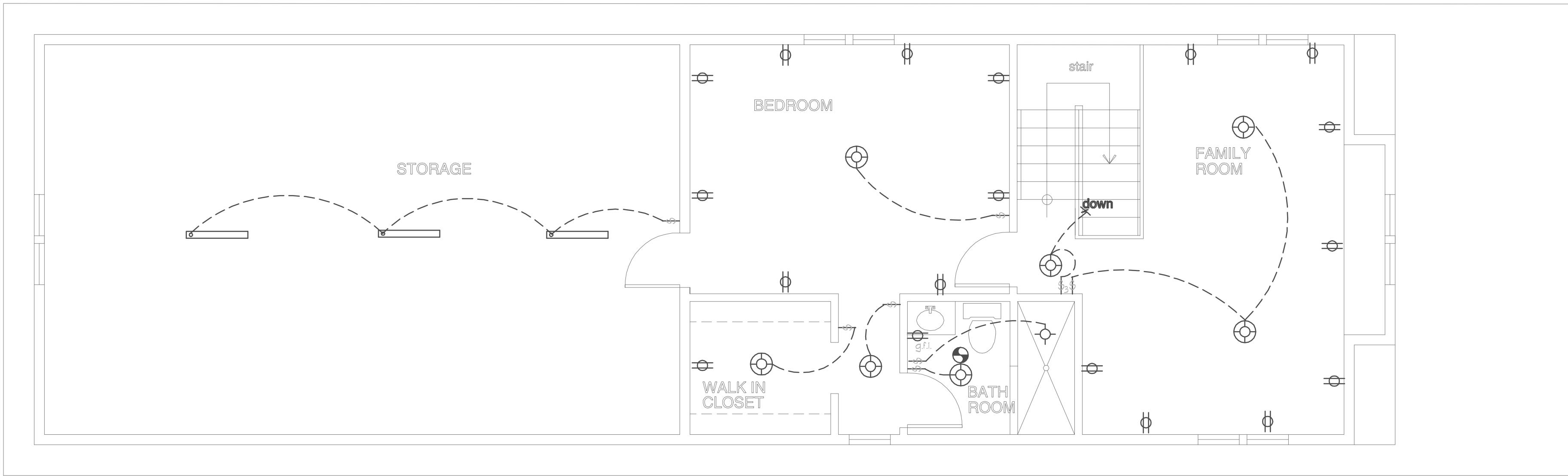
Scale  
1/4" = 1'-0"

Date  
26 Sept 2024

Title  
FOUNDATION,  
FRAMING &  
SECTIONS

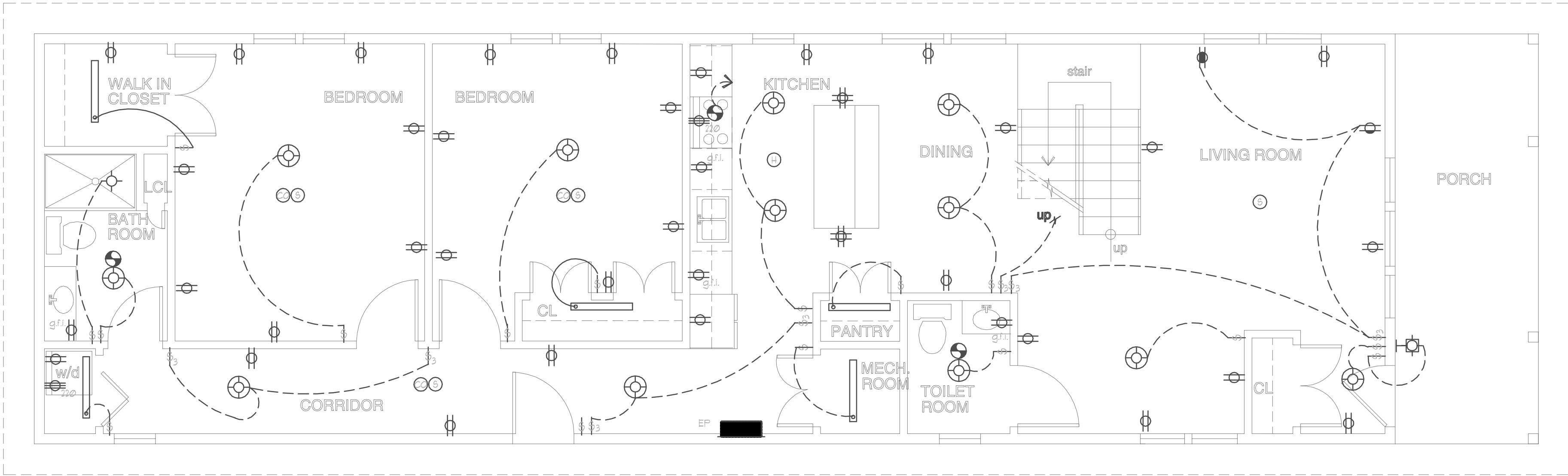


Sheet  
A.3



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS

- |  |   |  |                            |
|--|---|--|----------------------------|
|  | OUTLET                                    |  | STRIP LED LIGHT FIXTURE    |
|  | GROUND FAULT INTERRUPTER OUTLET           |  | TELEPHONE JACK             |
|  | 220v OUTLET                               |  | DATA JACK                  |
|  | QUAD OUTLET                               |  | CABLE TELEVISION           |
|  | EXHAUST FAN                               |  | SMOKE DETECTOR             |
|  | DIMMER SWITCH                             |  | HEAT DETECTOR              |
|  | SWITCH                                    |  | ELECTRICAL PANEL           |
|  | THREE-WAY SWITCH                          |  | CARBON MONOXIDE DETECTOR   |
|  | FOUR-WAY SWITCH                           |  | HARDWARE CONNECTION        |
|  | SCONCE LED LIGHT FIXTURE                  |  | SURFACE LED LIGHT FIXTURE  |
|  | SURFACE MOUNTED PADDLE FAN /LIGHT FIXTURE |  | RECESSED LED LIGHT FIXTURE |
|  |   |  | PHOTOCELL                  |

Notes

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.  
THE DRAWINGS AND THE RELATED DOCUMENTS SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE USED IN CONJUNCTION WITH THE INDICATED PROJECT AT THE NOTED LOCATION ONLY.

Project

NEW RESIDENCE at:

201 & 205 HUBBELL AVE  
SYRACUSE, NEW YORK

Project#

XX.XXX

Scale

1/4" = 1'-0"

Date

26 Sept 2024

Title

FLOOR PLAN

North

Sheet

E.1

Revisions

02 Oct 2024

03 Oct 2024

04 Oct 2024

08 Oct 2024

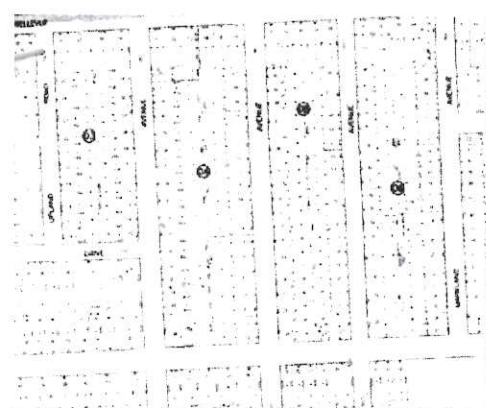
07 Nov 2024

WOLNIAK ARCHITECTS

1610 JAMES STREET SYRACUSE, NEW YORK 13203

315.472.7000 FAX / 315.472.7002

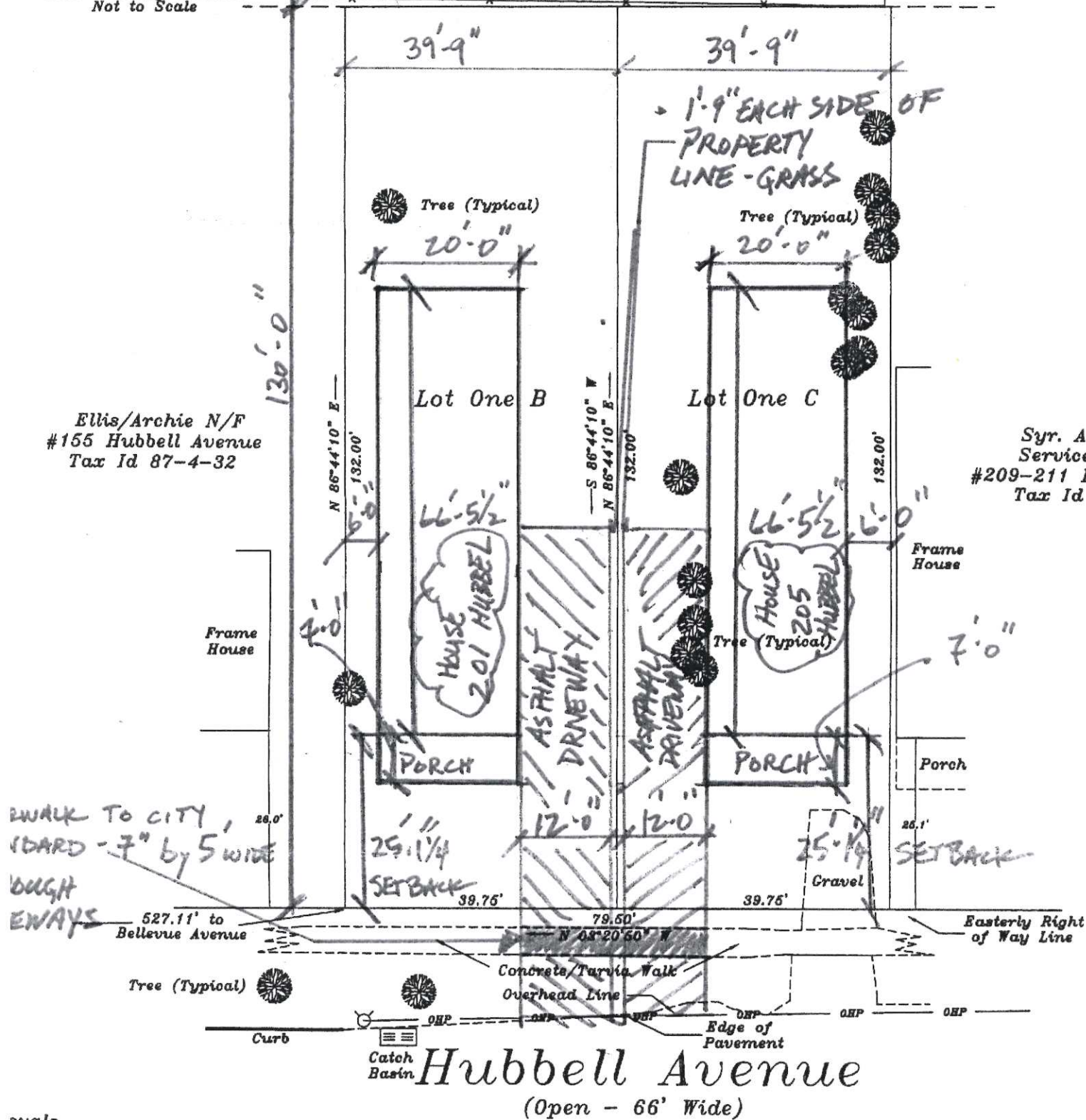




Corell N/F  
#200 Clairmonte Avenue  
Tax Id 87-4-14

Chain Link Fence S 03°20'50" E 79.60'

Site Vicinity Locator  
Not to Scale



Notes/References:

- \*Survey prepared without the benefit of an up-to-date abstract of title.
- \*Adjoiner information obtained using ImageMate Online.
- \*Buildings/Structures shown for informational purposes only.
- \*Subject parcel(s) has access to public utilities.
- \*New Lot One B Area = 5246.99 Sq. Ft.
- \*New Lot One C Area = 5246.99 Sq. Ft.
- \*Parcel(s) Owner : Greater Syracuse Property Development Corporation.

\*Proposed Only\*

Date of Fieldwork: 10-29-24  
Tax Id#: 87-4-30.2  
Deed: 6260/785  
Abstract: Not Provided

Michael J. McCully  
Land Surveying PLLC

5875 Fieldstone Drive  
Casenovia New York 13036  
Phone : (315) 815-5034

I hereby certify that this map was made from an actual survey and same is correct.

M.J. McCully

NYSLS 050696



Proposed Resubdivision on Lot One A, Block Five of the Fiesinger Tract, Amended - Map# 12010. To be New Lots One B and C.

Known as No. 201 and 205 Hubbell Avenue, City of Syracuse, County of Onondaga, State of New York.

Drawn by: MJM

Scale: 1"= 20'

Date(s): 10-31-24

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's linked seal or his embossed seal shall be considered to be valid true copies. Certifications shall run only to the person or entities for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2024, Michael J. McCully Land Surveying, all rights reserved.

2 S11

Lot

Lot

HOUSES

SET  
AREA



205 Hubbell Ave



Looking North toward Grandview Ave



Looking South toward Stolp Ave



Looking North toward St Joseph's Chapel



151-133 Hubbell Ave – smaller single-family homes similar style to proposed designs

### **Supporting Materials**

Attached are a site plan prepared by the proposed developer and data on neighboring lots with similar or smaller frontages. These documents demonstrate that the proposed resubdivision is consistent with the neighborhood's established character.

Project: R-25-01

Date: 3/3/2025

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: R-25-01

Date: 3-3-25

### ***Short Environmental Assessment Form***

#### ***Part 3 Determination of Significance***

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse City Planning Commission <hr/> Name of Lead Agency	3/3/2025 <hr/> Date
Steven Kulick <hr/> Print or Type Name of Responsible Officer in Lead Agency	Chairperson <hr/> Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<hr/> Signature of Preparer (if different from Responsible Officer)

City of Syracuse  
**Parcel History**  
01/01/1900 - 02/25/2025  
Tax Map #: 087.-04-30.2  
Owners: GSPDC  
Zoning: R2

Address	Date	Transaction	Transaction Type	Status	Description
205 Hubbell Ave	01/03/25	Project	Variance (Area)	Approved	<p>V-25-01   Area Vaiance to violate the minimum lot width of 40 feet by less 0.25 feet.</p> <p>The land bank is to propose resubdivide one lot into new two lots. The proposed two lots will not conform with the minimum lot width requirement.</p> <p>Each lot is proposed at 39.75' wide – 3 inches less than the 40' minimum, which triggers Area Variance for the proposal. Deviation is 0.625% from the compliance.</p> <p>Proposed lots upon resubidvision will be 5,167.5 SF in each, which conforms to the minimum lot size of 4,000 SF for Single- unit detached dwelling.</p>
205 Hubbell Ave	01/06/25	Project	Resubdivision	Active	<p>R-25-01   Applicant is proposing to split one lot, 205 Hubbell Ave. (Tax ID: 087.-04-30.2) into two new lots in R2 district, each measuring 39.75' x 132'. Future development plans include development of a single unit dwelling house on each lot. Current vacant lot is 10,494 SF.</p> <p>Proposed SF of each lot: 5,247 SF</p> <p>There is a companion variance application for the proposed lot width being under the minimum for the R2 District</p>



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: GSPDC

From: Amber Dillon, Zoning Planner

Date: 2/27/2025 8:32:50 AM

Re: Resubdivision R-25-01  
205 Hubbell Ave, Syracuse, 13205

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Zoning Planner	Waiting on Board	02/19/2025	Amber Dillon	Proposed Resubdivision is in compliance with ReZone Dimensional Standards for the R2 Zone District pursuant to Art. 2 Sec 2.3B. The companion area variance application for the lot width of the newly subdivided lots to be 39.75' instead of the minimum 40' for a single-unit detached dwelling was approved by the BZA 2/6/25
Eng. Mapping - Zoning	Approved	01/06/2025	Ray Wills	-The bearings for the streets in question AGREE with the Official City Records for the area. The Office of the City Engineer only verifies ROW bearings, not interior angles, bearings abutting neighboring properties or private easements. City Plat# 37 & 48
Finance - Zoning	Internal Review Complete	01/09/2025	Veronica Voss	205 Hubbell Ave is owned by GSPDC, no taxes due.
Eng Stormwater (SWPPP)-Zoning	Internal Review Complete	01/06/2025	Romeo Kpolo	Development on these 2 lots will be treated as one project, as such the project shall be subject to the City's stormwater requirements & process. A Stormwater Pollution Prevention Plan (SWPPP) is required for review if the total soil disturbance is greater than 10,000sf.
Eng Sewers- Zoning	Internal Review Complete	01/06/2025	Romeo Kpolo	Future project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. All installation & restoration work to be done to City of Syracuse specifications & details.
Eng. Design & Cons. - Zoning	Conditionally	01/06/2025	Romeo Kpolo	Future construction/development on the combined lots

Approved		will be subject to the City plan review, approval and permitting process as applicable.		
Planning Commission	Waiting on Board	02/19/2025	Amber Dillon	On 3/3/25 Agenda