

Other Business

August 18th, 2025

3S-25-08

Three-Mile Limit Subdivision Review-Town of Onondaga Woodland Hills Resubdivision

Division of Two Lots into Six New Lots

Pursuant to the City of Syracuse Three-Mile Limit Review Ordinance, the applicant is submitting this request to divide two lots located at 4774 Cleveland Road and 4848 West Seneca Turnpike into six new lots.

- Dimensions of New Lots

New Lot 1: 0.96 Acres/ 42,218 SF

New Lot 2: 2.27 Acres/98,992 SF

New Lot 3: 1.86 Acres/ 80,933 SF

New Lot 4: 12.48 Acres/ 543,843 SF

New Lot 5: 9.19 Acres/ 400,370 SF

New Lot 6: 7.80 Acres/ 339,779 SF

- The Town of Onondaga Planning Board determined no significant environmental impact and approved the Subdivision plan on June 9, 2025.
- The application included a Subdivision map “Preliminary Plan Woodland Hills, Part of Farm Lot No. 119, Town of Onondaga Onondaga County, New York; the map is with the scale of 1” = 50’, Drawn by State of New York Licensed Land Surveyor Timothy Coyer of Ianuzi & Romans Land Surveying P.C.
- The Subdivision map was reviewed by the City of Syracuse Department of Engineering, Onondaga County Health Department, and Onondaga County Planning Agency, Onondaga County Planning Board.

City of Syracuse
Office of Zoning Administration

THREE MILE LIMIT SUBDIVISION REVIEW

One Park Place, 300 S State St, Suite 700, Syracuse, NY 13202
315-448-8640 * zoning@syrgov.net * www.syrgov.net/Zoning.aspx

Office Use Filing Date:

Case:

	<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>ACRES</u>
1)	4774 Cleveland Rd	029.-05-11.0	32.54
2)	4848 W Seneca Tpke	029.-05-40.0	3.12
3)			
4)			
5)			
6)			
7)			
8)			
9)			
10)			

As listed in the **Municipal Assessment** property tax records.

PROJECT INFORMATION

Municipality:	Town of Onondaga			
Subdivision Name:	Woodland Hills			
Number of Proposed Lots:	6			
Existing/Proposed Land Use(s):	Vacant / Residential			
Number of Dwelling Units:	5			
Local Approval(s):	Preliminary	Date:	Final	Date:

PROJECT DESCRIPTION (Combining/Dividing/Realigning X Lot(s) into Y New Lot(s))

(Provide a brief description of the project, including if it is a residential or commercial project.)

The owner is looking to split two existing lots into six new lots in the Town of Onondaga. The existing 4774 Cleveland parcel will be separated into five residential lots for single-family home construction, ranging from 1 Acre to 12.5 acres. The remaining acreage of 4774 Cleveland will be added to the existing 4848 W Seneca Tpke Lot. New residential lots will be on public water and sewer.

PROPERTY OWNER(S) (required)As listed in the Town's **Department of Assessment** property tax records.

Michael	Harper	Owner	Dwell Equity Group		
First Name	Last Name	Title	Company		
100 Magnolia St.		Syracuse	NY	13204	Phone: 315-715-8400
Street Address	Apt / Suite / Other	City	St	Zip	Email: MHarperJr@dwell-equitygroup.com
* Signature: 			Date: 5/16/25		

First Name	Last Name	Title	Company		
					Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:
* Signature:			Date:		

First Name	Last Name	Title	Company		
					Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:
* Signature:			Date:		

First Name	Last Name	Title	Company		
					Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:
* Signature:			Date:		

First Name	Last Name	Title	Company		
					Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:
* Signature:			Date:		

*** OWNER SIGNATURE DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

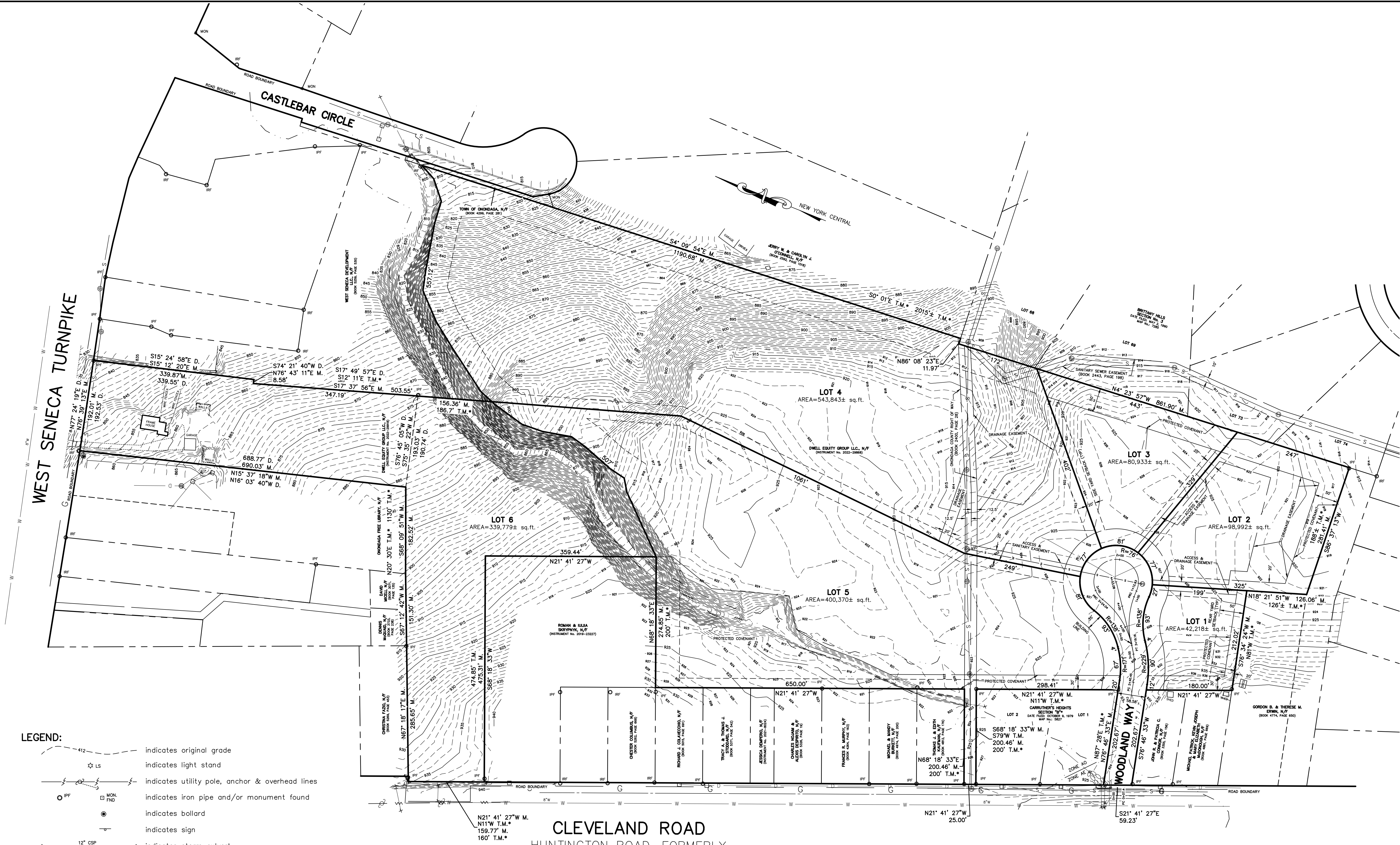
Michael	Harper		Dwell Equity Group		
First Name	Last Name	Title	Company		
100 Magnolia St.		Syracuse	NY	13204	Phone: 680-218-3013
Street Address	Apt / Suite / Other	City	St	Zip	Email: MHarperJr@dwell-equitygroup.com

REPRESENTATIVE(S)/CONTACT(S) (if applicable)

Scott	Freeman	Principal	Keplinger Freeman Associates		
First Name	Last Name	Title	Company		
6320 Fly Road	109	E. Syracuse	NY	13057	Phone: 315-445-7980
Street Address	Apt / Suite / Other	City	St	Zip	Email: vr@keplingerfreeman.com

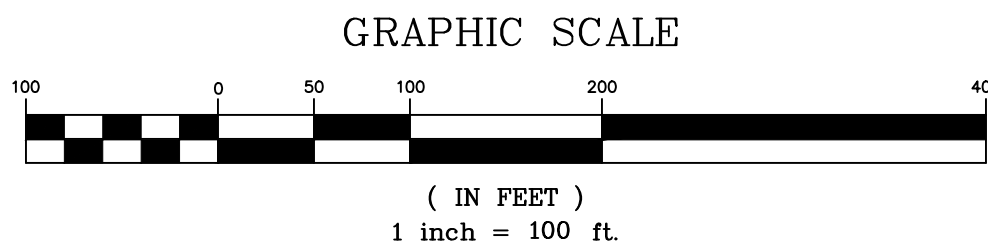


LOCATION PLAN
Scale: 1" = 2000'



- LEGEND:**
- indicates original grade
 - LS indicates light stand
 - indicates utility pole, anchor & overhead lines
 - IPF indicates iron pipe and/or monument found
 - indicates bollard
 - indicates sign
 - indicates storm culvert
 - indicates gas main, gas valve & gas line marker
 - indicates water main, water valve & hydrant
 - indicates storm sewer, catch basin & manhole
 - indicates sanitary sewer, sewer vent & manhole
 - indicates underground telephone line, manhole & box
 - indicates underground electric line & manhole
 - indicates underground television cable & box
 - indicates boundary line
 - indicates adjacent parcel line
 - indicates old/original parcel line
 - indicates easement line
 - indicates centerline road

OWNER/DEVELOPER
Dwell Equity Group LLC
100 Magnolia Street
Syracuse, NY 13204
315-478-2278



NOTES:

Total area: 35.50± acres.
Present Zone: R-1 Residential District & OHB Onondaga Hill Business District
Elevations referred to NAVD 88.
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only.
The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain.) Zone "AE"(Base Flood Elevations determined.) and Zone "AO" (Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel Nos. 360588 218 and 331 F, Effective date: November 4, 2016.
FEMA Zones scanned from online maps and are approximate only
Tax Map Nos. 29.-5-11 & 40
A minimum of 25' separation between driveways and temporary turn-a-rounds.
A minimum of 10' separation between driveways and all catch basins & manholes.

BULK REGULATIONS	
PRESENT ZONE:	R-1
Minimum Lot Width	100 feet
Maximum Lot Coverage	25%
Minimum Front Yard Setback	35 feet
Minimum Side Yard Setback	20 feet
Minimum Rear Yard Setback	50 feet
Maximum Height of Structure	35 feet
Minimum Lot Area	20,000 sq.ft.

REVISIONS

1-16-2025	
2-5-2025	

PRELIMINARY PLAN

WOODLAND HILLS

PART OF FARM LOT No. 119

TOWN OF ONONDAGA

ONONDAGA COUNTY, NEW YORK

IANUZI & ROMANS

LAND SURVEYING, P.C.

NORTH SYRACUSE, NY 13212

PHONE: (315) 457-7200

FAX: (315) 457-9251

EMAIL: mail@romanspc.com

DATE: MARCH 20, 2024

SCALE: 1" = 100'

FILE No.: 4035.001

STATE OF NEW YORK

THIRD J. COVER

NO. 000000

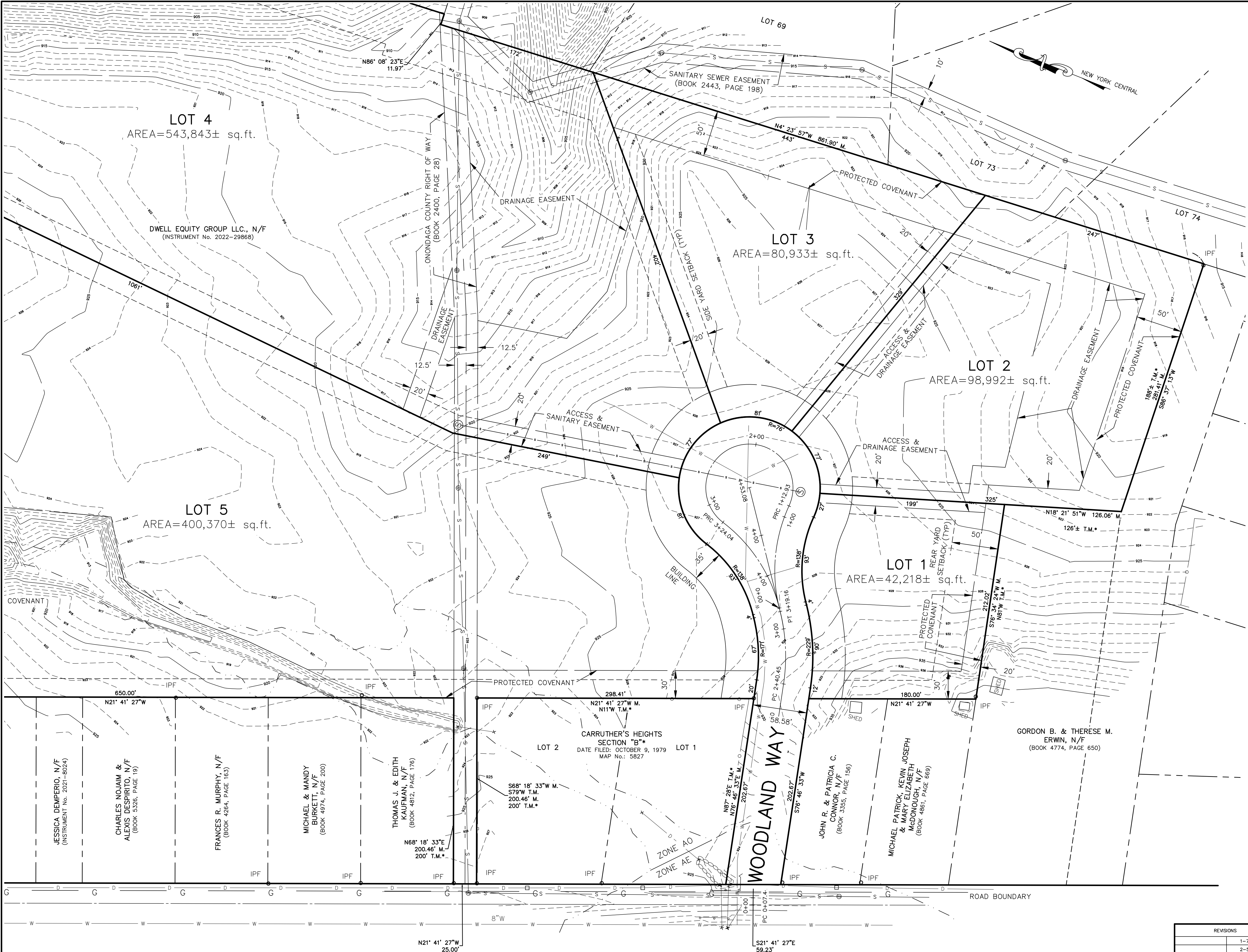
LAND SURVEYOR

SHEET No.

1 OF 2

F.B. No. 1734

Subject to any statement of facts on accurate and up to date abstract of title will show.
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7208, sub-division 2, of the New York State Education Law.



Subject to any statement of facts on accurate and up to date abstract of title will show. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7208, sub-division 2, of the New York State Education Law.

\\SERVER\Civil 3D Projects\ONONDAGA COUNTY\ONONDAGA\CLEVELAND ROAD_4774\Map\CLEVELAND ROAD_4774_PP.dwg

REVISIONS		PRELIMINARY PLAN		
	1-7-2025	WOODLAND HILLS PART OF FARM LOT No. 119 TOWN OF ONONDAGA ONONDAGA COUNTY, NEW YORK		
	2-5-2025			
	IANUZI & ROMANS LAND SURVEYING, P.C.		DATE: MARCH 20, 2024	SHEET No.
	5251 WITZ DRIVE		SCALE: 1" = 50'	2 OF 2
	NORTH SYRACUSE, NY 13212			
	PHONE: (315) 457-7200			
FAX: (315) 457-9251		FILE No.: 4035.001	F.B. No. 1734	
EMAIL: mail@romanspc.com				

2025

CONTRACT DOCUMENTS - SITE

WOODLAND HILLS SUBDIVISION

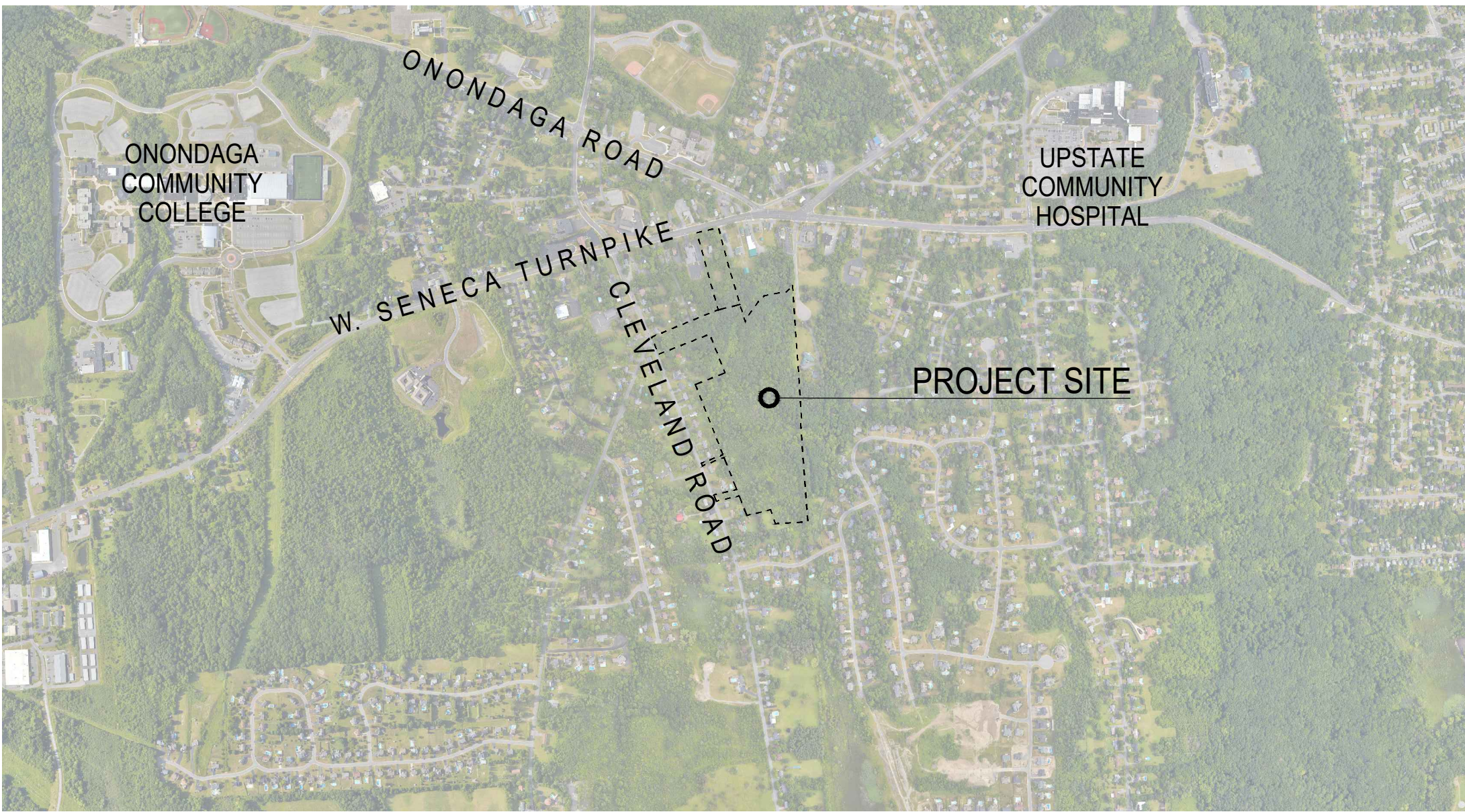
4774 CLEVELAND RD,
TOWN OF ONONDAGA, ONONDAGA COUNTY, NY, 13215

LIST OF DRAWINGS

- S-01
- SITE SURVEY
- S-02
- WOODLAND HILLS PRELIMINARY PLAT
- L001
- TITLE SHEET
- L100
- SITE PREPARATION PLAN
- L200
- GRADING, DRAINAGE & UTILITIES PLAN
- L201
- PARTIAL ROAD PLAN
- L300
- LAYOUT & PLANTING PLAN
- L500
- EROSION CONTROL PLAN
- L600
- DETAILS
- L601
- DETAILS

LIST OF SPECIFICATIONS

- SECTION 31 1000 - SITE CLEARING
- SECTION 31 1001 - SITE PREPARATION
- SECTION 31 1413 - TOPSOIL
- SECTION 31 2213 - ROUGH GRADING
- SECTION 31 2216 - FINE GRADING
- SECTION 31 2301 - SITEWORK EXCAVATION, BACKFILLING & COMPACTING
- SECTION 31 2501 - EROSION,SEDIMENT & POLLUTION CONTROL (>5 AC.)*
- SECTION 32 1100 - BASE COURSES
- SECTION 32 1216 - ASPHALT PAVEMENT
- SECTION 32 1313 - SITE CONCRETE
- SECTION 32 1723 - PAVEMENT MARKINGS
- SECTION 32 4000 - SITE IMPROVEMENTS
- SECTION 32 9200 - LAWNS AND SOD
- SECTION 32 9300 - PLANTINGS
- SECTION 33 1116 - SITE WATER UTILITY DISTRIBUTION PIPING
- SECTION 33 1300 - DISINFECTION
- SECTION 33 3100 - SANITARY
- SECTION 33 3910 - SANITARY STRUCTURES AND PIPING
- SECTION 33 4000 - STORM DRAINAGE

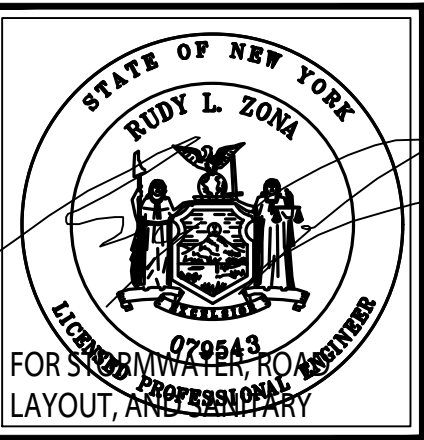


LOCATION PLAN

NOT TO SCALE



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		CONTOUR
+377.7		SPOT ELEVATION
	CT/CB	CURB TAPER/END
	TC/CB	TOP/BOTTOM OF CURB
	H/P/LP	HIGH / LOW POINT
	TP-2	TEST PIT
	B-1	BORING (SEE SPECIFICATIONS FOR BORING INFO)
		GUIDERAIL
		FENCE
		UTILITY POLE
		WATER LINE
		FIRE HYDRANT
EX ST	ST	STORM PIPE
	UD	UNDERDRAIN
EX SAN		SANITARY PIPE
E/T		OVERHEAD ELECTRIC
E		UNDERGROUND ELECTRIC
T		TELEPHONE
○ □	ST MH	STORM STRUCTURE
	CB	INLET
○	MH	CATCH BASIN/MANHOLE
○	CO	CLEAN OUT
○		SANITARY MANHOLE
		ASPHALT PAVEMENT-WALK
		ASPHALT PAVEMENT-PARKING
		ASPHALT PAVEMENT-DRIVE
		CONCRETE PAVEMENT
		CONCRETE PAVEMENT - HEAVY DUTY
		OUTLET PROTECTION
	6" 3' 3"	OUTLET PROTECTION FOR 6" PIPE OR LESS
	3' 8" 3"	OUTLET PROTECTION FOR 8" - 12" PIPE
	X 3' 3"	OUTLET PROTECTION FOR 8" PIPE, DIMENSIONS PER PLANS
		TRAFFIC SIGN
		LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
	ST	CURB
		SILT FENCE
		TREE
		SHRUB
	PLANT KEY	PLANT KEY
		VEGETATION



Client:
MICHAEL HARPER

Contact:

WOODLAND HILLS SUBDIVISION

4774 CLEVELAND ROAD, SYRACUSE NY 13215

SITE PLAN REVIEW	
REVISIONS	
1. TOWN UPD.	- 12.11.24
2. ENG. CMT.	- 02.07.25
3. ENG. CMT.	- 03.12.25
4. ENG. CMT.	- 04.09.25

Drawn By: _____ VR

Checked By: _____ SLF

KFA Proj. No.: _____ 43142

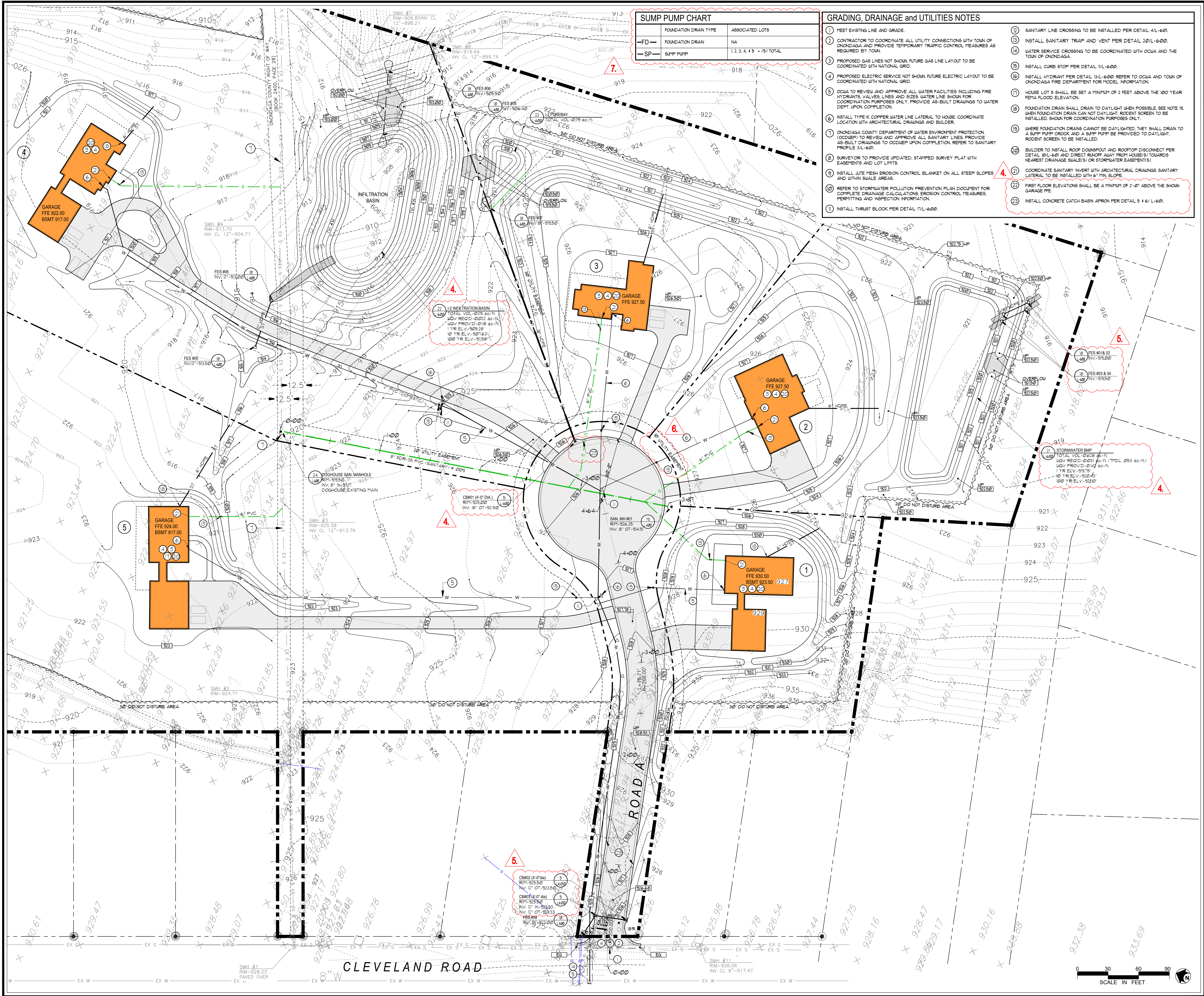
Date: _____ SEPTEMBER 18, 2024

Scale: _____ AS NOTED

Title: _____

COVER SHEET

L-000



SUMP PUMP CHART		
	FOUNDATION DRAIN TYPE	ASSOCIATED LOTS
FD	FOUNDATION DRAIN	NA
SP	SUMP PUMP	1, 2, 3, 4, 5 + (5) TOTAL

- ### GRADING, DRAINAGE and UTILITIES NOTES
- MEET EXISTING LINE AND GRADE.
 - CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS WITH TOWN OF ONONDAGA AND PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES AS REQUIRED BY TOWN.
 - PROPOSED GAS LINES NOT SHOWN. FUTURE GAS LINE LAYOUT TO BE COORDINATED WITH NATIONAL GRID.
 - PROPOSED ELECTRIC SERVICE NOT SHOWN. FUTURE ELECTRIC LAYOUT TO BE COORDINATED WITH NATIONAL GRID.
 - OCWA TO REVIEW AND APPROVE ALL WATER FACILITIES INCLUDING FIRE HYDRANTS, VALVES, LINES AND SIZES. WATER LINE SHOWN FOR COORDINATION PURPOSES ONLY. PROVIDE AS-BUILT DRAWINGS TO WATER DEPT. UPON COMPLETION.
 - INSTALL TYPE K COPPER WATER LINE LATERAL TO HOUSE. COORDINATE LOCATION WITH ARCHITECTURAL DRAWINGS AND BUILDER.
 - ONONDAGA COUNTY DEPARTMENT OF WATER ENVIRONMENT PROTECTION (OCDEP) TO REVIEW AND APPROVE ALL SANITARY LINES. PROVIDE AS-BUILT DRAWINGS TO OCDEP UPON COMPLETION. REFER TO SANITARY PROFILE 5/L-601.
 - SURVEYOR TO PROVIDE UPDATED, STAMPED SURVEY PLAT WITH EASEMENTS AND LOT LIMITS.
 - INSTALL LITE MESH EROSION CONTROL BLANKET ON ALL STEEP SLOPES AND WITHIN SWALE AREAS.
 - REFER TO STORMWATER POLLUTION PREVENTION PLAN DOCUMENT FOR COMPLETE DRAINAGE CALCULATIONS, EROSION CONTROL MEASURES, PERMITTING AND INSPECTION INFORMATION.
 - INSTALL THRUST BLOCK PER DETAIL 17/L-600.
 - SANITARY LINE CROSSING TO BE INSTALLED PER DETAIL 4/L-601.
 - INSTALL SANITARY TRAP AND VENT PER DETAIL 20/L-600.
 - WATER SERVICE CROSSING TO BE COORDINATED WITH OCWA AND THE TOWN OF ONONDAGA.
 - INSTALL CURB 910P PER DETAIL 11/L-600.
 - INSTALL HYDRANT PER DETAIL 13/L-600. REFER TO OCWA AND TOWN OF ONONDAGA FIRE DEPARTMENT FOR MODEL INFORMATION.
 - HOUSE LOT 5 SHALL BE SET A MINIMUM OF 2 FEET ABOVE THE 100 YEAR FEMA FLOOD ELEVATION.
 - FOUNDATION DRAIN SHALL DRAIN TO DAYLIGHT WHEN POSSIBLE. SEE NOTE 18. WHEN FOUNDATION DRAIN CAN NOT DAYLIGHT, RODENT SCREEN TO BE INSTALLED. SHOWN FOR COORDINATION PURPOSES ONLY.
 - WHERE FOUNDATION DRAINS CANNOT BE DAYLIGHTED, THEY SHALL DRAIN TO A SUMP PUMP CROCK AND A SUMP PUMP BE PROVIDED TO DAYLIGHT. RODENT SCREEN TO BE INSTALLED.
 - BUILDER TO INSTALL ROOF DOWNSPOUT AND ROOFTOP DISCONNECT PER DETAIL 10/L-601 AND DIRECT RUNOFF AWAY FROM HOUSE(S) TOWARDS NEAREST DRAINAGE SWALE(S) OR STORMWATER EASEMENT(S).
 - COORDINATE SANITARY INVERT WITH ARCHITECTURAL DRAWINGS. SANITARY LATERAL TO BE INSTALLED WITH 6" MIN. SLOPE.
 - FIRST FLOOR ELEVATIONS SHALL BE A MINIMUM OF 2'-0" ABOVE THE SHOWN GARAGE FTE.
 - INSTALL CONCRETE CATCH BASIN APRON PER DETAIL 5 + 6/L-601.



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5. ENG. CMT.	- 04.15.25
6. ENG. CMT.	- 04.24.25
7. ENG. CMT.	- 05.07.25

Drawn By: VR
Checked By: SLF
KFA Proj. No.: 43142
Date: SEPTEMBER 18, 2024
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GRADING, DRAINAGE & UTILITIES PLAN



Client:
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Contact:

WOODLAND HILLS SUBDIVISION
4774 CLEVELAND ROAD, SYRACUSE NY 13215

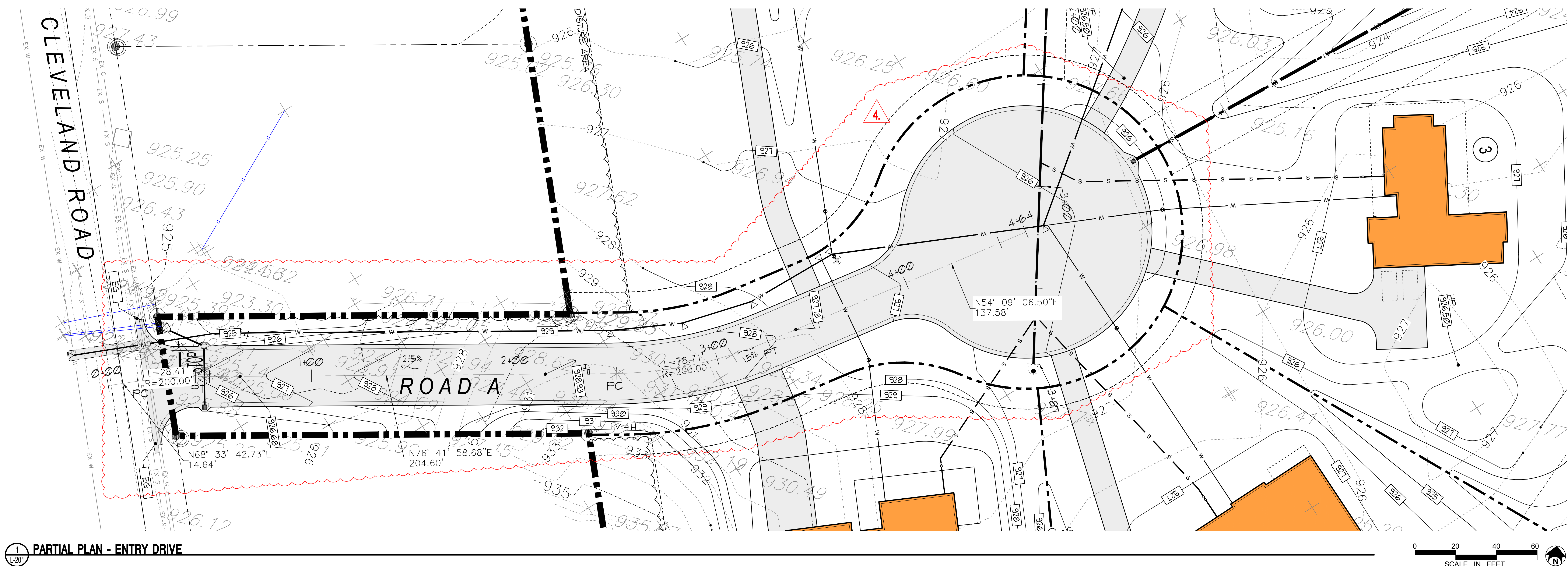
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6. ENG. CMT.	- 04.24.25

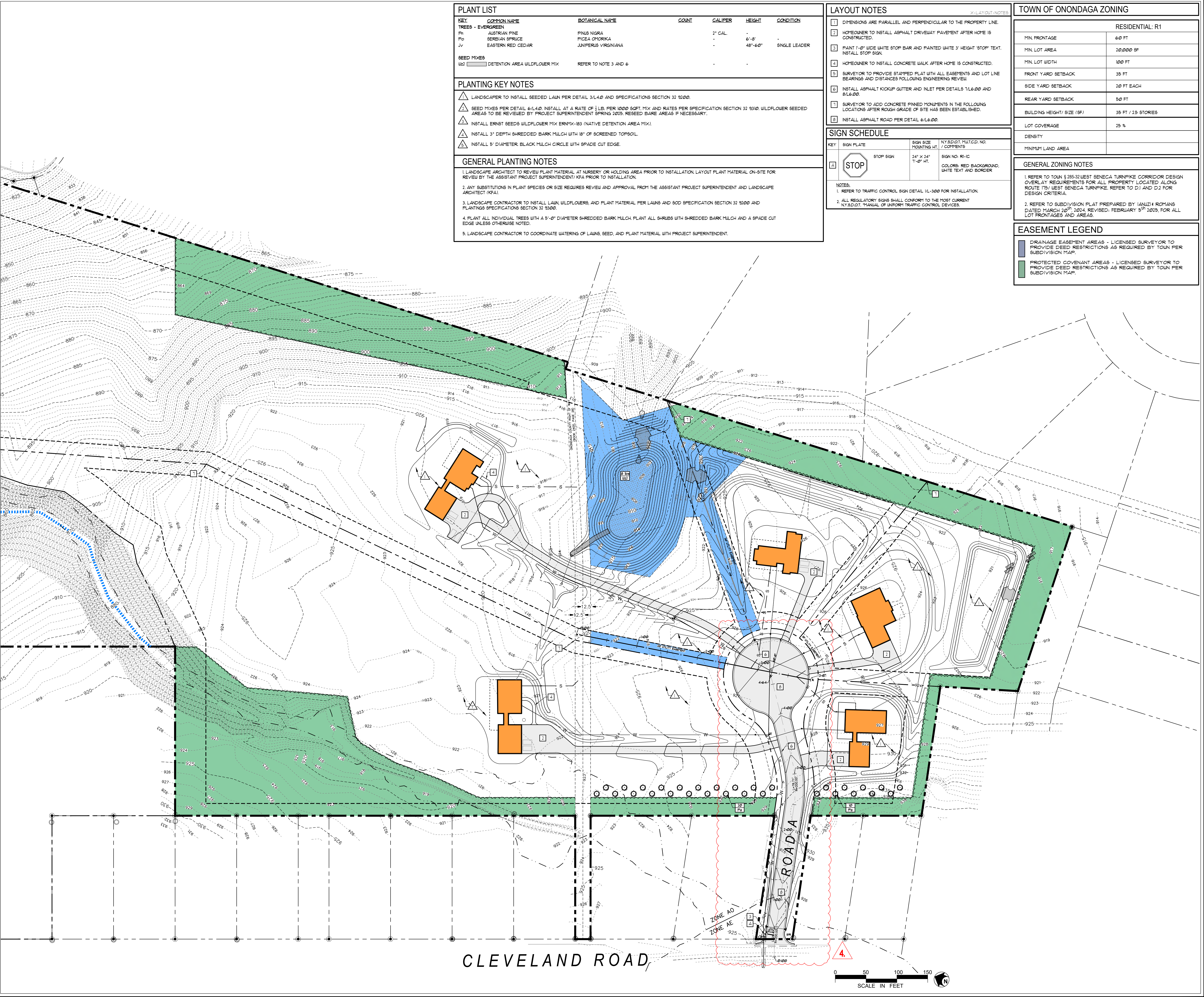
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Date: SEPTEMBER 18, 2024
Scale: AS NOTED

PARTIAL PLAN -
ENTRY DRIVE

L-201



1
L-201
PARTIAL PLAN - ENTRY DRIVE



PLANT LIST

KEY	COMMON NAME	BOTANICAL NAME	QUANT	CALIPER	HEIGHT	CONDITION
TREES - EVERGREEN						
Ph	AUSTRIAN PINE	FINUS NIGRA		2" CAL	-	
Po	SERBIAN SPRUCE	PICEA OMORICA		-	6'-8'	-
Jv	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA		-	48'-60'	SINGLE LEADER

SEED MIXES
W2 DETENTION AREA WILDFLOWER MIX REFER TO NOTE 3 AND 6

PLANTING KEY NOTES

LANDSCAPER TO INSTALL SEEDED LAWN PER DETAIL 3/1.4.0 AND SPECIFICATIONS SECTION 32 9300.

SEED MIXES PER DETAIL 6/1.4.0. INSTALL AT A RATE OF 1 LB. PER 1000 SQFT. MIX AND RATES PER SPECIFICATION SECTION 32 9310. WILDFLOWER SEEDED AREAS TO BE REVIEWED BY PROJECT SUPERINTENDENT SPRING 2025. RESEED BARE AREAS IF NECESSARY.

INSTALL ERNST SEEDS WILDFLOWER MIX ERNMX-183 (NATIVE DETENTION AREA MIX).

INSTALL 3" DEPTH SHREDDED BARK MULCH WITH 18" OF SCREENED TOPSOIL.

INSTALL 5' DIAMETER BLACK MULCH CIRCLE WITH SPADE CUT EDGE.

GENERAL PLANTING NOTES

1. LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIAL AT NURSERY OR HOLDING AREA PRIOR TO INSTALLATION. LAYOUT PLANT MATERIAL ON-SITE FOR REVIEW BY THE ASSISTANT PROJECT SUPERINTENDENT / KFA PRIOR TO INSTALLATION.

2. ANY SUBSTITUTIONS IN PLANT SPECIES OR SIZE REQUIRES REVIEW AND APPROVAL FROM THE ASSISTANT PROJECT SUPERINTENDENT AND LANDSCAPE ARCHITECT (KFA).

3. LANDSCAPE CONTRACTOR TO INSTALL LAWN, WILDFLOWERS, AND PLANT MATERIAL PER LAINS AND SOD SPECIFICATION SECTION 32 9300 AND PLANTINGS SPECIFICATIONS SECTION 32 9300.

4. PLANT ALL INDIVIDUAL TREES WITH A 5'-0" DIAMETER SHREDDED BARK MULCH. PLANT ALL SHRUBS WITH SHREDDED BARK MULCH AND A SPADE CUT EDGE UNLESS OTHERWISE NOTED.

5. LANDSCAPE CONTRACTOR TO COORDINATE WATERING OF LAINS, SEED, AND PLANT MATERIAL WITH PROJECT SUPERINTENDENT.

LAYOUT NOTES

1. DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO THE PROPERTY LINE.

2. HOMEOWNER TO INSTALL ASPHALT DRIVEWAY PAVEMENT AFTER HOME IS CONSTRUCTED.

3. PAINT 1'-0" WIDE WHITE STOP BAR AND PAINTED WHITE 3' HEIGHT 'STOP' TEXT. INSTALL STOP SIGN.

4. HOMEOWNER TO INSTALL CONCRETE WALK AFTER HOME IS CONSTRUCTED.

5. SURVEYOR TO PROVIDE STAMPED PLAT WITH ALL EASEMENTS AND LOT LINE BEARINGS AND DISTANCES FOLLOWING ENGINEERING REVIEW.

6. INSTALL ASPHALT KICKUP GUTTER AND INLET PER DETAILS 7/1.6.00 AND 8/1.6.00.

7. SURVEYOR TO ADD CONCRETE PINNED MONUMENTS IN THE FOLLOWING LOCATIONS AFTER ROUGH GRADE OF SITE HAS BEEN ESTABLISHED.

8. INSTALL ASPHALT ROAD PER DETAIL 6/1.6.00.

SIGN SCHEDULE

KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NYSDOT MUTCD NO. / COMMENTS
A	STOP SIGN	24" X 24" 1'-0" HT.	SIGN NO. RI-1C COLORS: RED BACKGROUND, WHITE TEXT AND BORDER

NOTES:
1. REFER TO TRAFFIC CONTROL SIGN DETAIL 1/1-300 FOR INSTALLATION.
2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NYSDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

TOWN OF ONONDAGA ZONING

RESIDENTIAL: R1	
MIN. FRONTAGE	60 FT
MIN. LOT AREA	10,000 SF
MIN. LOT WIDTH	100 FT
FRONT YARD SETBACK	35 FT
SIDE YARD SETBACK	20 FT EACH
REAR YARD SETBACK	50 FT
BUILDING HEIGHT/ SIZE (SF)	35 FT / 25 STORIES
LOT COVERAGE	25 %
DENSITY	
MINIMUM LAND AREA	

GENERAL ZONING NOTES

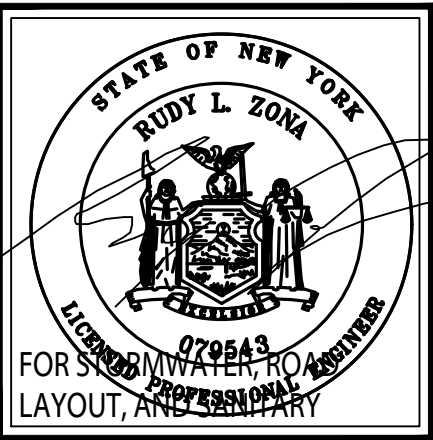
1. REFER TO TOWN § 285-32 WEST SENECA TURNPIKE CORRIDOR DESIGN OVERLAY REQUIREMENTS FOR ALL PROPERTY LOCATED ALONG ROUTE 115/ WEST SENECA TURNPIKE. REFER TO D1 AND D2 FOR DESIGN CRITERIA.

2. REFER TO SUBDIVISION PLAT PREPARED BY LANUZI ROMANS DATED MARCH 20TH, 2024, REVISED, FEBRUARY 5TH 2025, FOR ALL LOT FRONTAGES AND AREAS.

EASEMENT LEGEND

DRAINAGE EASEMENT AREAS - LICENSED SURVEYOR TO PROVIDE DEED RESTRICTIONS AS REQUIRED BY TOWN PER SUBDIVISION MAP.

PROTECTED COVENANT AREAS - LICENSED SURVEYOR TO PROVIDE DEED RESTRICTIONS AS REQUIRED BY TOWN PER SUBDIVISION MAP.



Client:
MICHAEL HARPER
Contact:

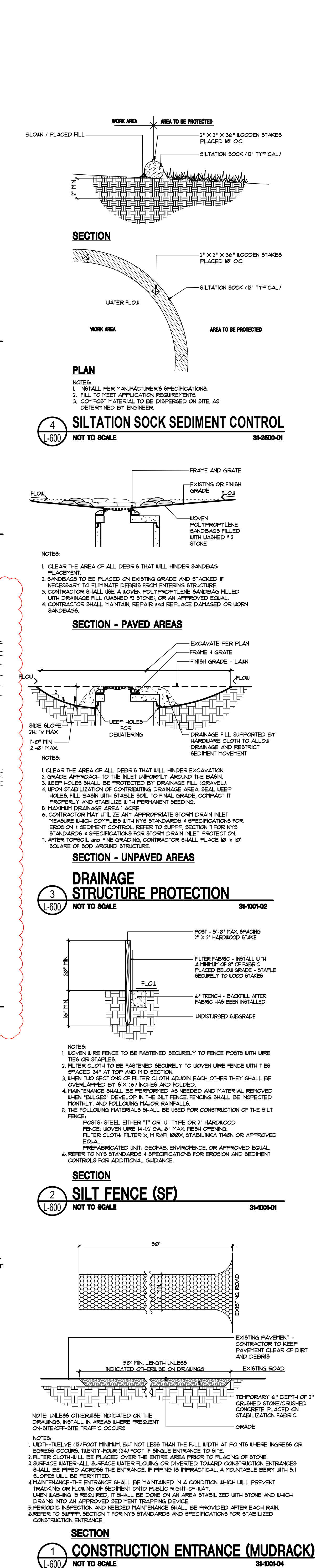
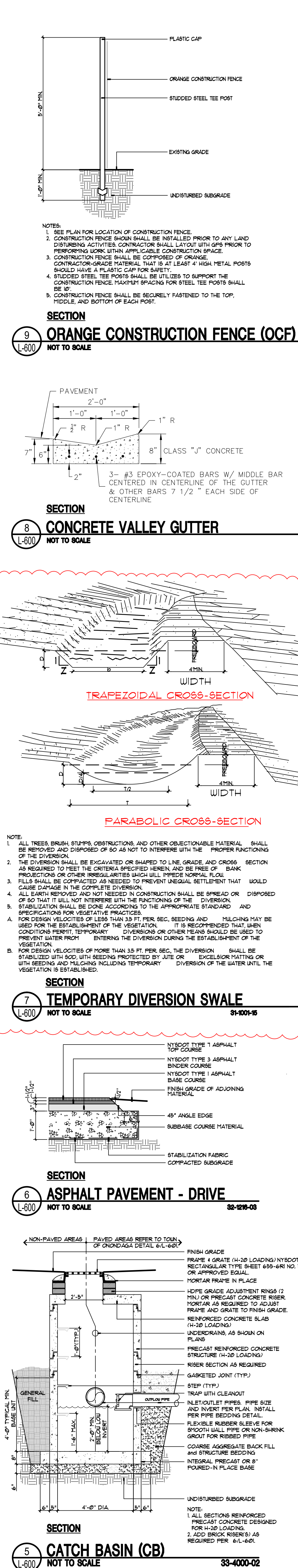
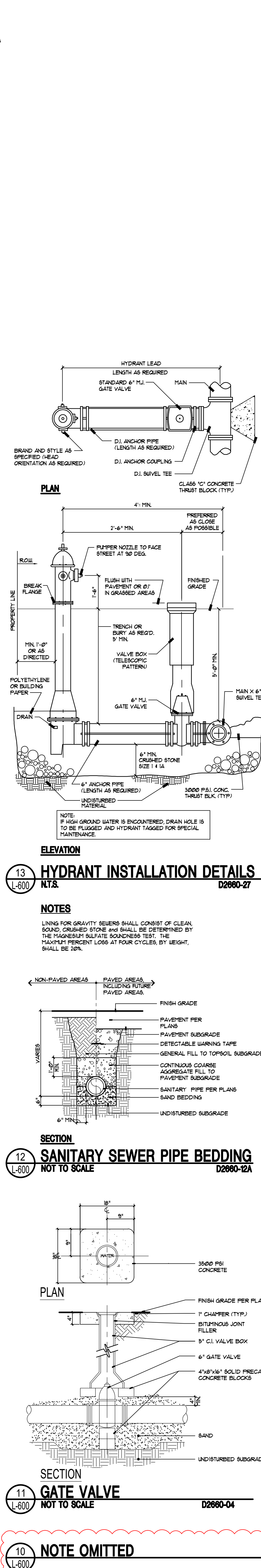
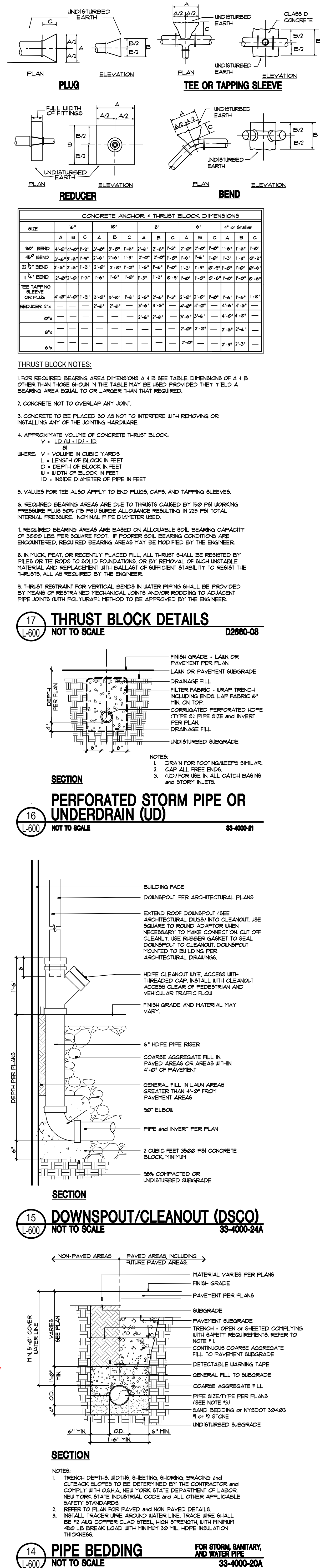
WOODLAND HILLS SUBDIVISION
4774 CLEVELAND ROAD, SYRACUSE NY 13215

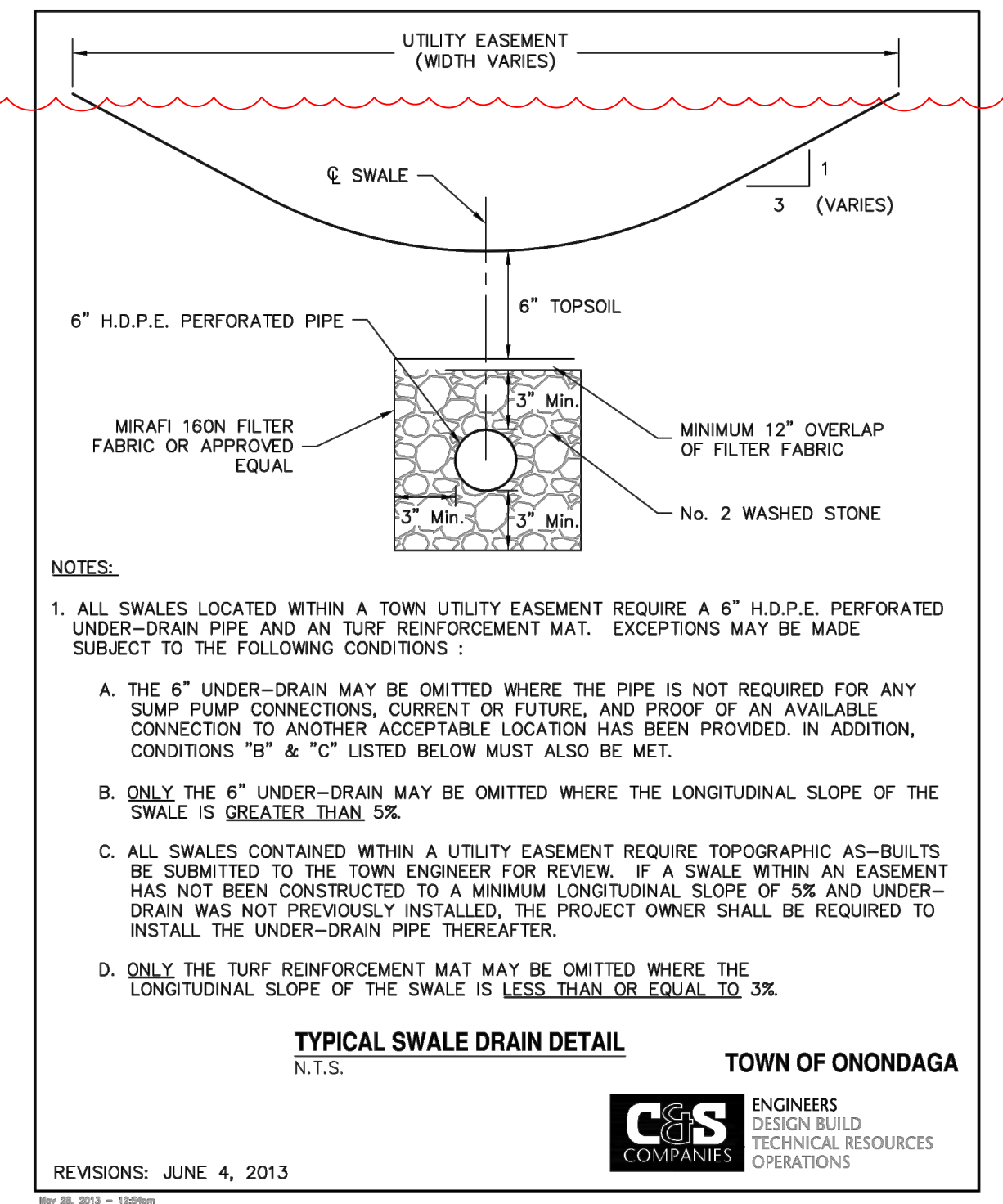
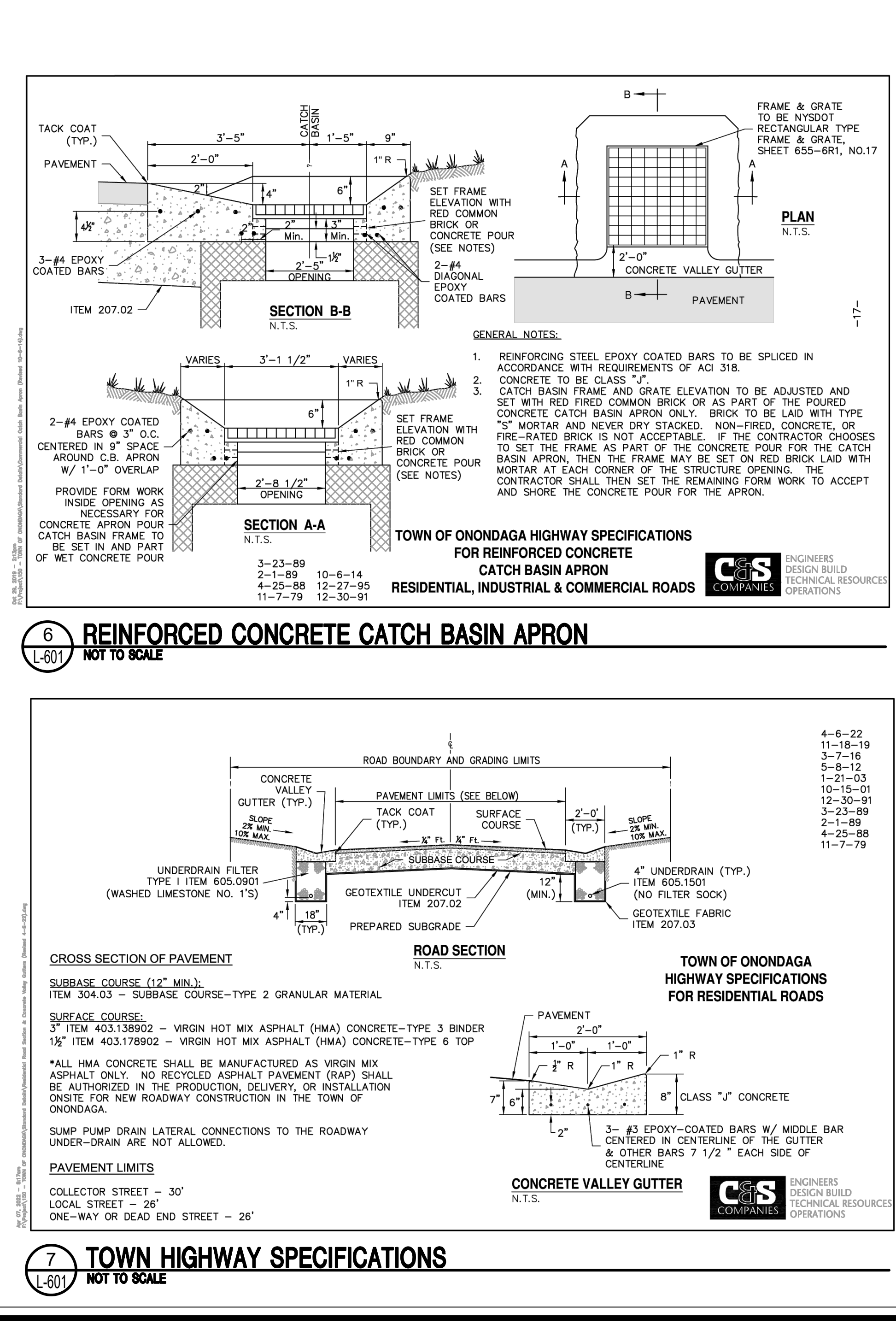
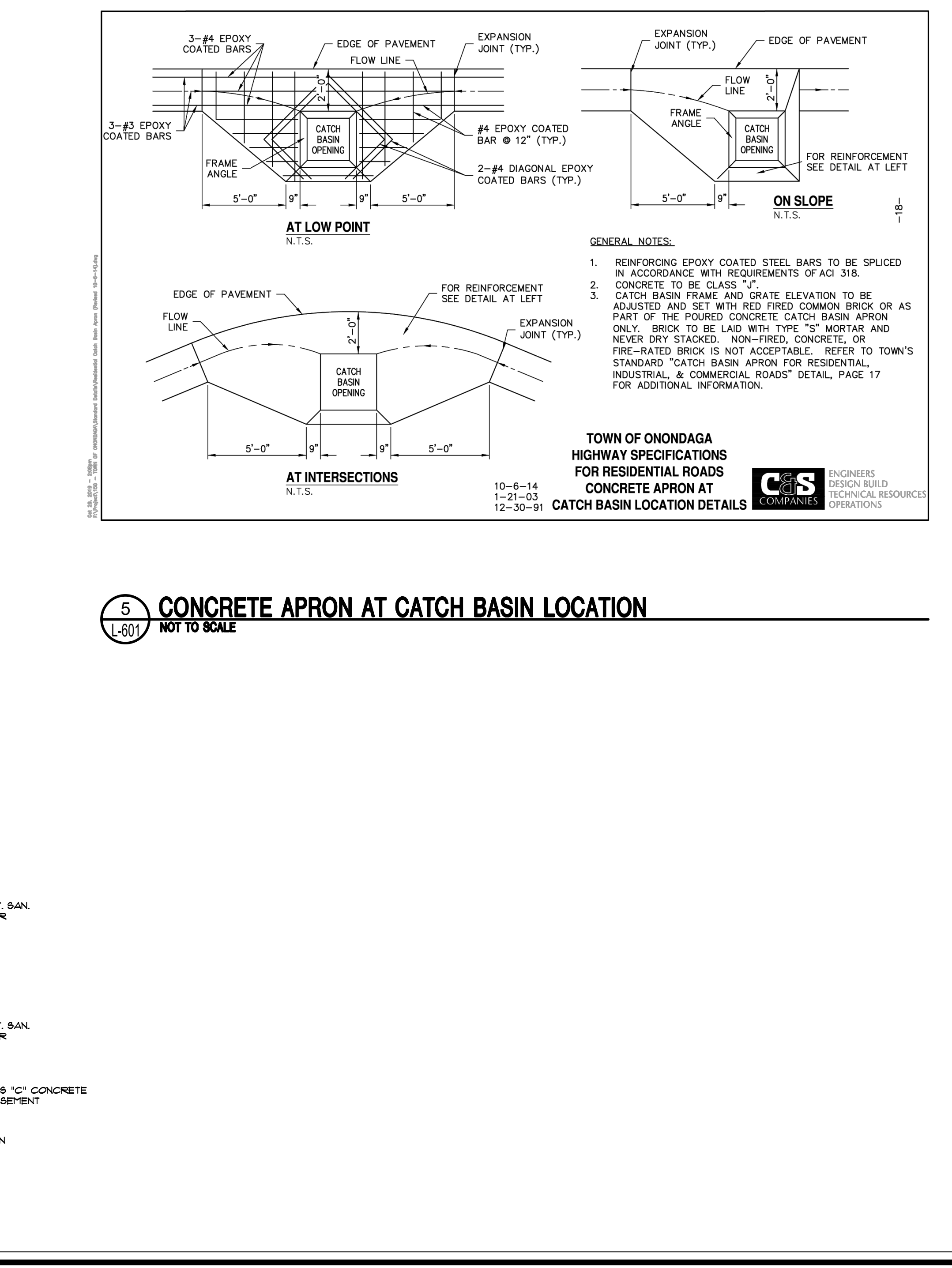
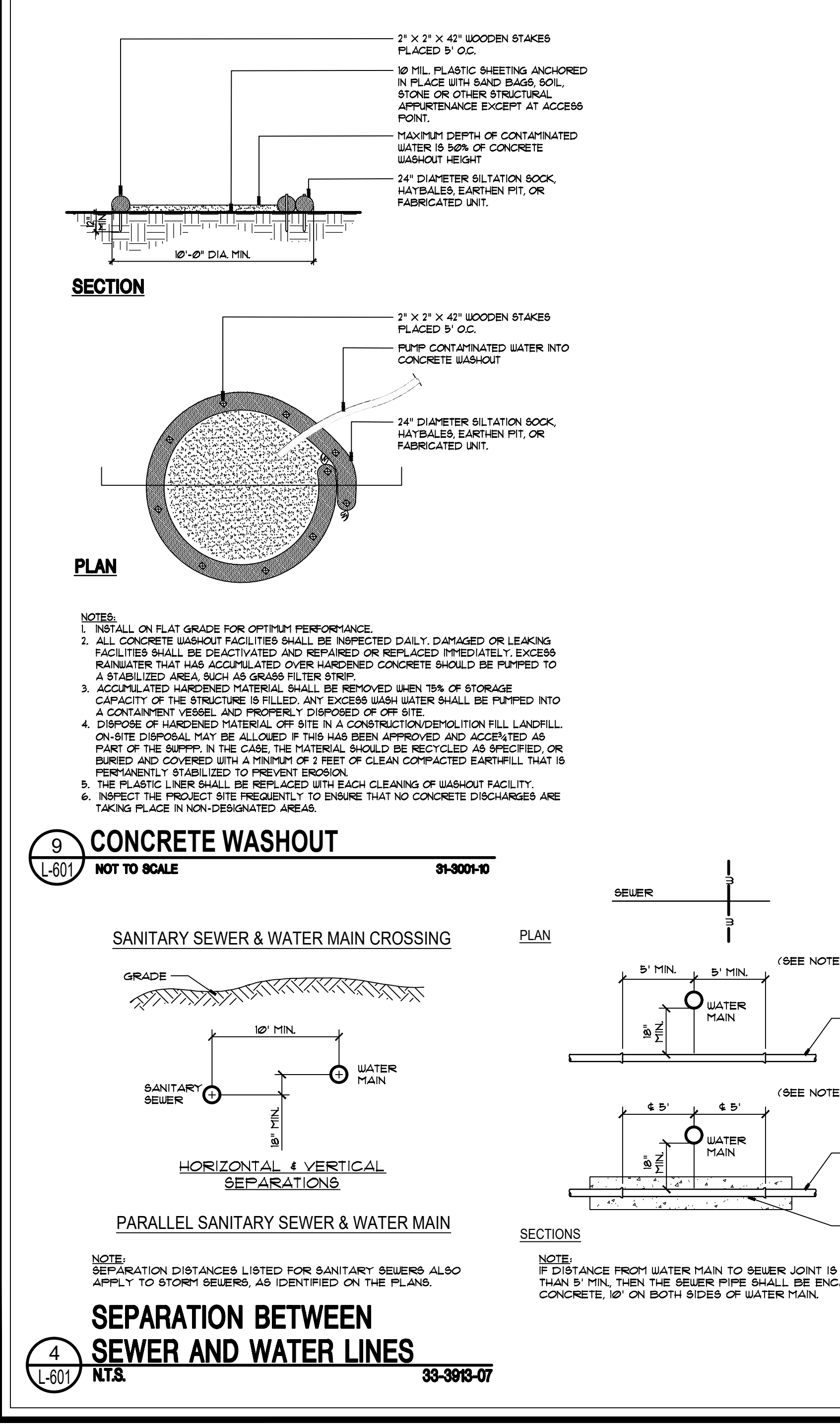
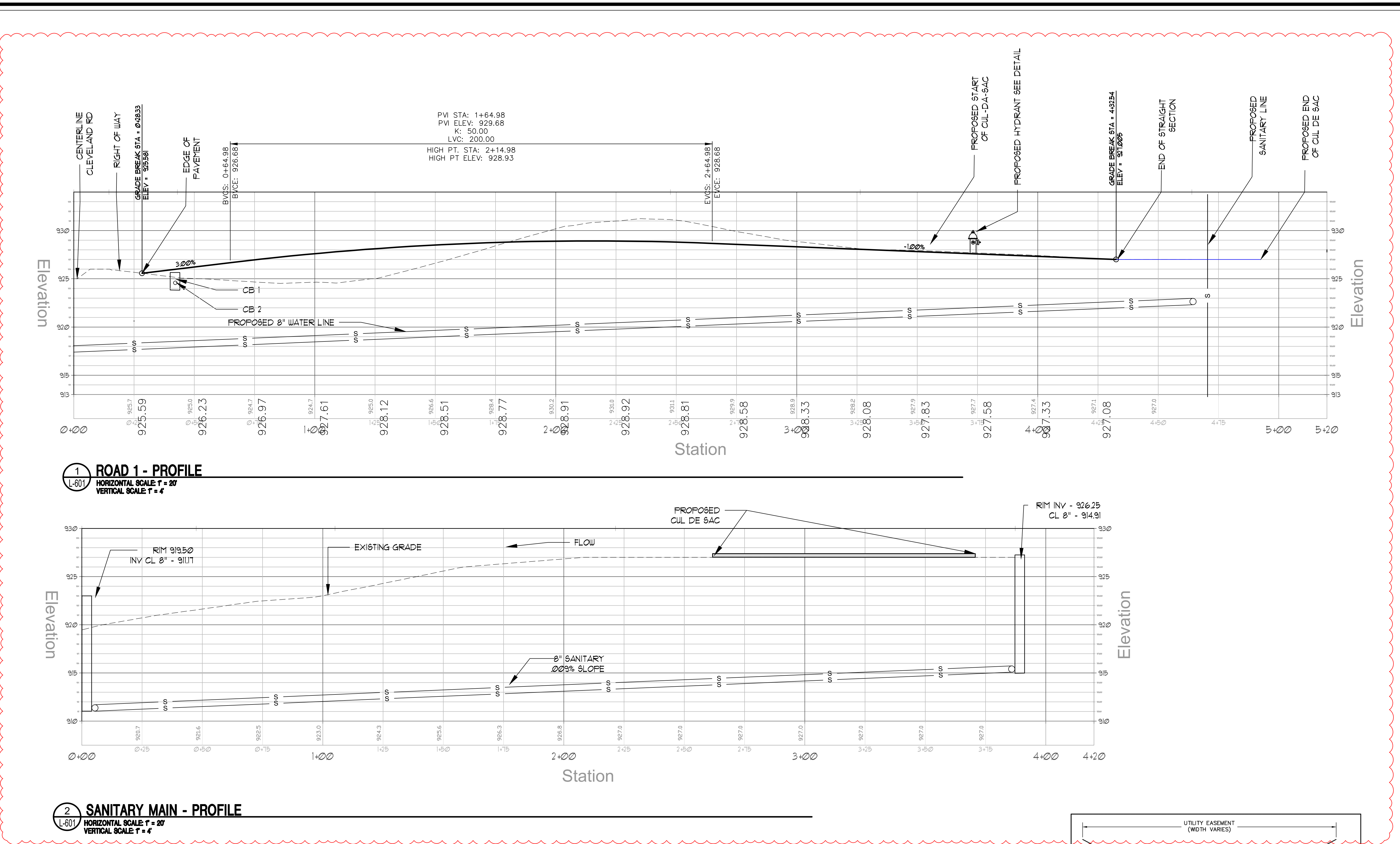
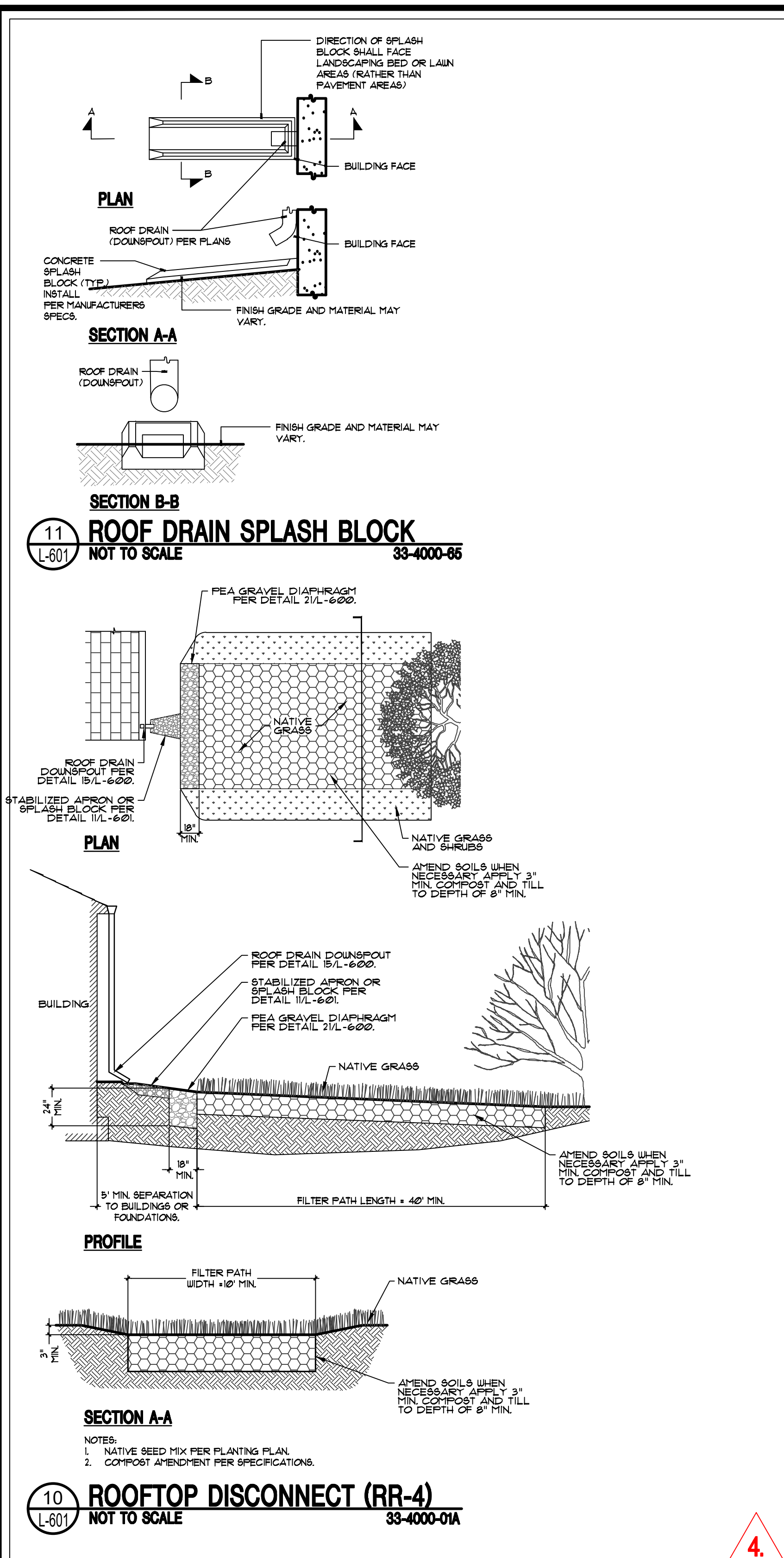
SITE PLAN REVIEW	
REVISIONS	
1. TOWN UPD.	- 12.11.24
2. ENG. CMT.	- 02.07.25
3. ENG. CMT.	- 03.12.25
4. ENG. CMT.	- 04.09.25
5. ENG. CMT.	- 04.15.25
6. ENG. CMT.	- 04.24.25

Drawn By: VR
Checked By: SLF
KFA Proj. No.: 43142
Date: SEPTEMBER 18, 2024
Scale: AS NOTED

LAYOUT AND
PLANTING PLAN

L-300





KEPLINGER FREEMAN ASSOCIATES
LANDSCAPE ARCHITECTURE & LAND PLANNING
8320 51 ROAD, SUITE 100, EAST SYRACUSE, NEW YORK 13227
PHONE: (315) 445-7989 FAX: (315) 445-7982
RZ Engineering, PLLC
8320 51 ROAD, SUITE 100
EAST SYRACUSE, NY 13227
PH: 315.432.1289 FAX: 315.445.7982

WOODLAND HILLS SUBDIVISION
4774 CLEVELAND ROAD, SYRACUSE NY 13215

SITE PLAN REVIEW
REVISIONS
1. TOWN UPD. - 12.11.24
2. ENG. CMT. - 02.07.25
3. ENG. CMT. - 03.42.25
4. ENG. CMT. - 04.09.25

Drawn By: VR
Checked By: SLF
KFA Proj. No.: 43142
Date: SEPTEMBER 18, 2024
Scale: AS NOTED
Title: DETAILS

L-601

TOWN OF ONONDAGA

Planning Board

ALFRED J. FULLER
4564 Cole Road
Syracuse, NY 13215

DAVID HILLERY
4832 Breckenridge Run
Syracuse, NY 13215

TOWN HALL
5020 Ball Road • Syracuse, NY 13215

MARC A. MALFITANO, Chairman
5155 Jupiter Inlet Way
Syracuse, NY 13215

PATRICK BRITT
401 Broadview Drive
Syracuse, NY 13215

JAMES HAGAN
5091 Webster Mile Drive
Syracuse, NY 13215

**Meeting Conducted at 7:00 p.m.
June 9, 2025**

Present:

Marc Malfitano, Chairman
Alfred Fuller
Patrick Britt
David Hillery
Nadine Bell, Attorney
Bill Perrine, Engineer

Chairman Malfitano called the Planning Board to order at 7:02 p.m. noting that Mr. Hagan is excused.

Omelian Subdivision

Having received proof of publication dated June 1, 2025, of the Notice of Public Hearing in the matter of the Omelian Subdivision, Chairman Malfitano opened the Public Hearing. No one appeared on this matter so the Public Hearing will be continued.

Michael Bonacci Subdivision

Having received proof of publication dated June 1, 2025, of the Notice of Public Hearing in the matter of the Michael Bonacci Subdivision, Chairman Malfitano opened the Public Hearing.

The applicant stated that he wanted to amend the proposed subdivision to be a 5 acre lot because the buyer does not want to obtain a County septic plan approval. Chairman Malfitano explained that there is no exemption for a 5 acre lot and the Town of Onondaga Subdivision Regulations would still require the approved septic plan for the Planning Board to make a determination that adequate sewage disposal is provided for. He also noted that there is an exemption for agricultural purposes, which requires a 7 acre lot not 5 acres.

Chairman Malfitano suggested that the buyer could have a septic plan designed estimated based upon a 4 bedroom house which would allow for approval of the system and the size of the leach field. He explained that the process involves the perc testing then in the past a letter from the Health Department would be provided stating that based upon the perc testing they would not have a problem issuing a plan. The County Health Department will no longer issue such a letter and now require an actual septic plan approval.

The applicant explained that he and the buyer have experienced difficulty communicating with the Codes Office because of changing staff and being redirected to other departments as well as being provided information that differs from what he is being informed by the Planning Board. Chairman Malfitano reiterated that we need the septic plan approval prior to making any determination of subdivision approval. Chairman Malfitano noted for the record that we do not have an updated plan and the Public Hearing for the Michael Bonacci Subdivision will be kept open.

Woodland Hills Subdivision

Having received proof of publication dated June 3, 2025, of the Notice of Public Hearing in the matter of the Woodland Hills Subdivision, Chairman Malfitano opened the Public Hearing.

Mr. Scott Freeman, landscape architect, appeared on behalf of the applicant. A letter dated April 7, 2025, responding to the outstanding items was noted. A letter dated May 8, 2025, from Mr. Perrine lists the plans for consideration. He noted that the plan has not yet received preliminary approval and due to the amount of time that has lapsed and the efforts put forth, he asked that the Planning Board consider preliminary plan approval and plan approval of the contract drawings before it goes before the Town Board.

Chairman Malfitano asked if they are pursuing the alternative construction process. Mr. Perrine stated he had explained the processes to the owners and they advised that they will be seeking the alternate process. Chairman Malfitano explained both processes.

The applicant expressed wanting to expedite the process as much as possible. Chairman Malfitano explained that the main difference is posting the securities. Lots cannot be conveyed until the final plan is approved and this matter will need to be reviewed by the Town Board for the highway agreement. It was noted that the draft highway agreement has been requested. Ms. Bell will communicate with the applicant's attorney.

Mr. Perrine has a set of stamped plans for this subdivision from the engineer. Ms. Bell has just received a draft of the covenants. It was noted that it states a timeframe of 40 years. Ms. Bell will work with Mr. Germain, the applicant's attorney, to assist with the wording. Additionally, a private maintenance covenant easement agreement for the detention facility on one lot will also need to be drafted.

There being no further comments or questions, Chairman Malfitano closed the Public Hearing. Mr. Freeman noted that the application for the Consolidated Drainage District extension was submitted. Mr. Perrine noted that will be a Town Board action.

Chairman Malfitano made a motion to approve the preliminary plan (Sheet 1 and 2) of Woodland Heights of March 20, 2024, last revised May 7, 2025, prepared by Ianuzzi and Romans, based upon the plans as listed, and the SWPPP last revised May 7, 2025; grant preliminary approval subject to the conditions that there is a declaration of covenants conditions and restrictions, a draft which has been received, which needs approval as to form by the Town Attorney; the form of a private drainage maintenance agreement prepared and accepted between the Town and the Applicant; and the legal description of the area that encompasses the private maintenance agreement should be added to the preliminary plan. Mr. Fuller seconded the motion which passed with all in favor.

CONTRACT DRAWINGS

- L-000 – Title Sheet, dated September 18, 2024, last revised April 9, 2025
- L-100 – Site Preparation Plan, dated September 18, 2024, last revised May 7, 2025
- L-200 – Grading, Drainage, & Utilities Plan, dated September 18, 2024, last revised May 7, 2025
- L-201 – Partial Plan – Entry Drive, dated September 18, 2024, last revised April 24, 2025
- L-300 – Layout and Planting Plan, dated September 18, 2024, last revised April 24, 2025
- L-500 – Erosion & Sediment Control Plan, dated September 18, 2024, last revised May 7, 2025
- L-600 – Details, dated September 18, 2024, last revised April 24, 2025
- L-601 – Details, dated September 18, 2024, last revised April 9, 2025
- Preliminary Plan, Sheet No. 1 of 2 and Sheet No. 2 of 2, Woodland Hills, dated March 20, 2024, last revised May 7, 2025, as prepared by Ianuzi & Romans Land Surveying, P.C.
- Stormwater Pollution Prevention Plan (SWPPP) for Woodland Hills Subdivision, dated August 21, 2024, last revised May 7, 2025

Woods Way Subdivision

Mr. Derm Delay appeared regarding the proposed subdivision located at 4690 McDonald Road. Ms. Bell had provided his attorney with a letter stating the outstanding requirements for the Woods Way Subdivision. He believes that all items were addressed with the exception of the SWPPP. He also asked if the submission of payment and the application had been located in the file.

Ms. Bell stated that on June 19, 2024, she emailed Attorney Kevin Ryan in response to his email requesting a comprehensive list of all remaining requirements that remain unfulfilled in order to get the Town to grant subdivision approval. There were 8 items noted in Ms. Bell's response: 1) New subdivision application form as there was no record of a new form being submitted although there was a record of fees being paid, 2) Short Environmental Assessment Form, 3) SWPPP, 4) Written confirmation that the expense and installation of water system improvements required by OCWA including the 8 inch extension as set forth in communication from OCWA was going to be born by the applicant (referred to an email from Mr. Drake to the Town Engineer), 5) Contract drawings for the public sanitary sewer extension prepared by a licensed engineer with deposit of construction securities with inspection fees for the Town Engineer, 6) Documentation evidencing approval from WEPP and the Department of Health for the contract drawings, 7) Payment of park fees in the amount of \$2400, and 8) Confirmation of plans to either proceed under the traditional subdivision approval or the alternate.

Ms. Bell further indicated in her email to Mr. Ryan that once these items were provided, a Public Hearing would be scheduled. She noted that she received an email back from Mr. Ryan stating that Mr. Delay asked that he get clarification regarding items 4 and 5. He stated, it is his understanding that as a sub-divider as opposed to a developer, that he would not be responsible for the cost of installing the water system and the sewer extension on the proposed subdivided land. He asked if that understanding is correct or if it is the Town's position that he is in fact responsible for those costs. Ms. Bell confirmed back by email the same date stating the Mr. Delay is responsible for the cost of the items associated with items 4 and 5, being the contract drawings for public sanitary sewer extension and confirmation of the expense and installation of the water system improvements.

Ms. Bell stated that she did not receive a response, but the next day as a follow up she advised as follows; recognizing that Mr. Delay retained your services only recently, I know that in 2006

to 2007 Mr. Delay proposed an 8 lot subdivision on the same property that included construction of a new street and cul de sac and at that time Mr. Delay had submitted complete construction plans that had been prepared by a licensed engineer for the road, water and sewer utilities and an initial set was done by Steven Barber P.E. dated September 9, 2007, and a subsequent set was prepared by Mastrone Engineering dated March 30, 2008. These plans were specifically reviewed and approved and she advised Mr. Delay should be familiar with the process and the requirements. Ms. Bell indicated that she does not have any communication since the July 10, 2024, email to Mr. Ryan.

Mr. Delay indicated that he did acknowledge to Mr. Ryan that the expense for the water system would be his responsibility and perhaps he did not understand. Chairman Malfitano noted that it has been some time since his last appearance, but it was made clear at that time that the subdivider has to provide adequate water and sewer as part of the subdivision process. Also a modified highway agreement will need to be entered into between the applicant and the Town Board and also confirm the extension of the sewer line. Mr. Delay stated he will speak with Mr. Ryan.

Ms. Bell explained that the outstanding requirements have not been met. Mr. Delay noted that he gave a check for the fees in January of 2024. Ms. Bell stated that in her email she does acknowledge that, however, there was not a new application and in addition there was no evidence of payment of the park fees which is \$600 per lot for a total of \$2400 needed. We also need the SEAF and documentation of the arrangement for the work with OCWA. The engineering and application fees have been paid.

Chairman Malfitano asked if the applicant will be moving forward to provide the document that OCWA is requesting. Mr. Delay stated he was waiting to hear back from his attorney. Ms. Bell noted that she had an unrelated conversation with Mr. Ryan and he asked if there had been anything further for this subdivision. Ms. Bell stated that the email was the last communication. Mr. Ryan also noted that he had not been in communication with the applicant. Mr. Delay will reach back out to Mr. Ryan.

Mr. Delay noted that he has a sewer design prepared. Mr. Rudy Zona noted that there are 3 new residential lots and one lot that is existing. He asked about doing a SWPPP for the 3 lots and analyzing the hydrology on those 3 lots. Mr. Zona is seeking guidance for the storm water drainage and maintenance plan. Chairman Malfitano noted that it will depend on the size of the impervious surface. Mr. Zona noted that it will be 3 short driveways and the houses. Chairman Malfitano stated that the normal calculation of impervious surfaces should be used. A private maintenance agreement could be included if the size warrants. Mr. Zona noted that each lot could have their own possibly. Mr. Perrine noted a similar project on Beef Street where they calculated the impervious surface for all 4 lots and it consisted of a dry swale with a small extended linear detention basin and a private maintenance covenant easement agreement that stretched across all 4 lots and would be recorded with the county. Mr. Perrine noted that it is a suggested practice.

Chairman Malfitano noted that no one wants Mr. Delay to incur extra expenses with Mr. Zona or Mr. Ryan, but the main issue is the water line and the sewer. It was noted that OCWA has already designed the water system plan for the current proposed subdivision. Chairman Malfitano explained that the water line is on the opposite side of the street and the area is all rock. The applicant will need to agree to the cost of that plan prior to proceeding. The applicant's unwillingness to accept that expense has been the biggest issue and that needs to be addressed and worked out. Mr. Perrine added that there is a County trunk sewer on the opposite side of Furnace Brook and connection to each lot was not feasible so there is a

schematic extension of a sewer across Lots 2 through 4. The expense to extend that sewer which will be dedicated to the Town of Onondaga as a public sewer main will be expensive. Mr. Zona noted that he has a proposal for that and he will provide it to Mr. Perrine to review.

Mr. Zona asked what will fulfill the requirement on Mr. Delay's part. Chairman Malfitano stated he will need a service agreement with OCWA. For the sewer he will need to agree to the minor extension and there will need to be a modified highway agreement with the Town that will obligate that portion of it to be done. Those components are part of the subdivision approval.

For the record, Chairman Malfitano acknowledged receipt from Mr. Zona of 3 sheets, S-0, S-1 and S-2 for the proposed sewer extension. A copy for the file was received and a copy was provided to Mr. Perrine. Further discussion will be based upon comments from the Town Engineer. We still await input and information from the applicant on the major outstanding issues.

Planning Board Minutes

A motion was made by Mr. Fuller, seconded by Mr. Hillery, that after minor changes, the Board approve and accept the meeting minutes of the May 12, 2025, meeting. The motion passed with Mr. Britt abstaining.

A motion was made by Chairman Malfitano, seconded by Mr. Fuller, that there being no further business to come before the Board the meeting be adjourned. The motion passed unanimously and the meeting was adjourned at approximately 8:08 p.m.

Respectfully submitted,

Melinda L. Mayer
Secretary



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

To: City Of Syracuse

From: Amber Dillon, Zoning Planner

Date: 8/15/2025 8:50:40 AM

Re: Three-Mile Limit Review 3S-25-08
Three Mile Limit, ,

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or Zoning@syr.gov if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Planning Commission	Pending	07/21/2025		
Eng Stormwater (SWPPP)-Zoning	Internal Review Complete	08/14/2025	Mirza Malkoc	Proposed development shall follow all local & state regulations.
Eng Sewers- Zoning	Internal Review Complete	08/14/2025	Mirza Malkoc	No comment
Eng. Mapping - Zoning	Approved	08/13/2025	Ray Wills	-The bearings for the streets in question cannot be confirmed or denied via Official City ROW records. As they lie in an area outside of the plats available. -No objection to the work proposed, as it lies outside of the plated area and should have no impact on Mapping Division assets or control in the area.
City Engineer - Zoning	Conditionally Approved	08/14/2025	Mary Robison	• Project site is located in the Onondaga Creek Basin. • Ok for re-subdivision. • Developer shall follow the approved site plans & SWPPP (dated 05-07-2025). Any deviation from the approved site plans & SWPPP shall be submitted to the City of Syracuse Engineering Department for review and approval.
Eng. Design & Cons. - Zoning	Conditionally Approved	08/14/2025	Mirza Malkoc	****08-14-2025**** • Project site is located in the Onondaga Creek Basin. • Ok for re-subdivision. • Developer shall follow the approved site plans & SWPPP (dated 05-07-2025). Any deviation from the approved site plans & SWPPP shall be submitted to the City of Syracuse Engineering Department for review and approval.

****08-13-2025****

SWPPP and Site Plans shall be submitted for review.