



**CITY OF SYRACUSE, MAYOR SHARON F. OWENS**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>R-25-61</i></b>	<b><i>Staff Report – February 2, 2026</i></b>
<b><i>Application Type:</i></b>	Resubdivision
<b><i>Project Address:</i></b>	1201-03 W Genesee St (Tax Map ID: 108.2-06-06.0); 1207 W Genesee St. ( Tax Map ID: 108.2-06-05.0); 1215 W Genesee St. (Tax Map ID: 108.2-06-04.0)
<b><i>Summary of Proposed Action:</i></b>	The applicant intends to combine three existing parcels (1201-03, 1207, 1215 W Genesee St) into one new lot.  Total site area: 0.93 Acres/ 40510.8 SF
<b><i>Owner/Applicant</i></b>	James Ranalli III, Specialty Properties LLC (Owner) CHA Consulting (Applicant & Representative)
<b><i>Existing Zone District:</i></b>	Mixed-Use Transition (MX-3) Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the east, and west are the Mixed-Use Transition, MX-3 Zone District; the neighboring properties to the south are Urban Neighborhood, MX-1 Zone District; the neighboring properties to the north are Commercial, CM Zone District.
<b><i>Companion Application(s)</i></b>	MaSPR-25-30   Major Site Plan to construct a commercial building for general retail and office land use type.
<b><i>Scope of Work:</i></b>	The applicant proposes to remove the properties line between the three subject parcels and emerge the parcels to be a new parcel.
<b><i>Facts on Project:</i></b>	<p><b><u>Proposed lot dimension and coverage</u></b></p> <ul style="list-style-type: none"> <li>- The proposed resubdivided lot meets the Dimensional Standards of the MX-3 Zone District pursuant to Art. 2 Sec.2.9</li> <li>- The existing coverage of three current individual lots is 100%, which exceed the maximum allowable coverage of 95%. The proposed total lot coverage ( building + parking surface+ other non-natural surface) only occupies 75% of the lot after resubdivision and site features improvements.</li> <li>- The newly established lot line between the two structures will be established to create a conforming side setback for both principal structures.</li> </ul> <p><b><u>Future addresses</u></b></p> <ul style="list-style-type: none"> <li>- According to the Onondaga County Planning Agency’s confirmation letter, the new 9-1-1 street address for “Lot 4 A” will be : 1201 West Genesee ST for the east retail space; 1205 West Genesee ST for the center retail space; 1215 West Genesee ST for the west retail space; 1209 West Genesee St for the 2<sup>nd</sup> floor office space.</li> </ul>
<b><i>Staff Recommendation:</i></b>	<b>Staff recommend approving this project.</b>
<b><i>Recommended Conditions if Approved:</i></b>	<ul style="list-style-type: none"> <li>- Applicant shall successfully file the resubdivision map of R-25-61 in the Onondaga County Clerk's office within 62 days of resubdivision approval.</li> </ul>

<p><b>Zoning Procedural History:</b></p>	<p>1201-03 W Genesee St.: Not Zoning application is available The existing commercial building was built in 1930.</p> <p>1207 W Genesee St.: AS-74-17   Off Premise sign, approved 8/30/1974 AS-82-23   Erecting two off premise Outdoor Advertising Signs. Each sign is 12' x 25" (single faced). Approved on 98/18/1982 V-87-25   Use Variance, to permit an existing used car sales lot, approved on 5/7/1987. V-89-11   Use Variance, to construct an addition of a body shop of auto sales business. 6/1/1989. SD-93-52   Encroachment permit for a sign into W Genesee St, ( closed administratively) SD-98-13   Encroachment permit, erect a 15 1/2' in height sign into the west Genesee St, Right -of -Way.</p> <p>1215 W Genesee St: No Zoning history is available</p>
<p><b>Summary of Zoning History:</b></p>	<p>1201-03 W Genesee St: The commercial building at 1201–03 W. Genesee Street was originally constructed in 1930 for a club use. In 1935, a building permit was issued to remodel the structure into a restaurant, and in 1948 another permit remodeled it back to a club occupancy. The most recent land use and occupancy was office use, which has been maintained up to the present. The building has been vacant for rent since approximately 2012.</p> <p>1207 &amp; 1215 W Genesee St.: The office building at 1207 and the paved parking lot at 1215 W. Genesee Street have been utilized for auto sales operations through Variance approvals V-87-25 and V-89-11, even though 1215 W. Genesee Street was never formally required to be combined with 1207 W. Genesee Street. In addition, several off-premise signs were permitted to be erected on the office façade, and a 15.5-foot ground sign received an encroachment permit for installation within the W. Genesee Street right-of-way.</p>
<p><b>Code Enforcement History:</b></p>	<p>See attached code enforcement history.</p>
<p><b>Zoning Violations:</b></p>	<p>The proposed lot has no zoning violations.</p>
<p><b>Summary of Changes:</b></p>	<p>This is not a continued application.</p>
<p><b>Property Characteristics:</b></p>	<p><b>Existing property characteristics</b> The subject property at 1215 W Genesee St. is a trapezoid shaped parcel with a lot size of 8,567 SF (0.197Acres). The property has one street frontages with 50.1 FT of Northern frontage along W Genesee St. To the west, the property line border 1221 W Genesee St. for 161.59 FT. To the south, the property line borders 852-56 Park Ave for 53.53 FT. To the east, the property line borders 1207 W Genesee St. for 178.62 FT; The parcel is current vacant and all paved for the office tenant and customers at 1207 W Genesee St. to park vehicle.</p> <p>The subject property at 1207 W Genesee St. is a trapezoid shaped parcel with a lot size</p>

**R-25-61**

of 19,642 SF (0.451 Acres). The property has one street frontages with 95.63 FT of Northern frontage along W Genesee St. To the west, the property line border 1215 W Genesee St. for 178.62 FT. To the south, the property line borders 838-40, 842-22, and 846-50 Park Ave for 105.64 FT. To the east, the property line borders 1201-03 W Genesee St. for 212.92 FT; The parcel is currently occupied by a one-story commercial office building.

The subject property at 1201-03 W Genesee St. is an irregular shaped parcel with a lot size of 12,301 SF (0.282 Acres). The property has one street frontages with 50.28 FT of Northern frontage along W Genesee St. To the west, the property line border 1207 W Genesee St. for 212.92 FT. To the south, the property line borders 832, 834-36, and 838-40 Park Ave for 114.3 FT. To the east, the property line borders 1135 W Genesee St. for 230.23 FT; The parcel is currently occupied by a 2.5- story commercial building.

**Proposed property characteristics After Resubdivision R-25-61**

The subject property at 1205 W Genesee St. is an irregular shaped parcel with a lot size of 40,510 SF (0.93 Acres). The property has one street frontages with 200.17 FT of Northern frontage along W Genesee St. To the west, the property line border 1221 W Genesee St. for 161.59 FT. To the south, the property line borders 832, 834-36, 838-40, 842-22, 846-50, 852-56 Park Ave for 267.62 FT. To the east, the property line borders 1135 W Genesee St. for 230.23 FT.

***SEQR Determination:***

Pursuant to the 6 NYCRR §617.2 (al), the proposal is an Unlisted Action.

***Onondaga County  
Planning Board  
Referral:***

Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board on 11/25/2025 with modification comments. (See OCPB resolution) Provided comments has been added as the Major Site Plan approval conditions.

**Application Submittals:** The application submitted the following in support of the proposed project:

- Resubdivision Application
- Short Environmental Assessment Form Part 1
- Resubdivision on Lot Nos. 4 Through 7 Part of Block No.111 into New Lot No.4A, Specialty Properties Phase 2, City of Syracuse, County of Onondaga, State of New York. Drawn by New York State Licensed Surveyor: Timothy J. Coyer; Ianuzi & Romans Land Surveyors. Dated 9/10/2018. Scale: 1”=20’

**Attachments:**

Resubdivision Application  
Code Enforcement History

OCPB Comments  
IPS Comments from City Departments

**Context Maps:**

**Figure 1:** Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.  
Image Source: City of Syracuse Neighborhood and Business Development, Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.  
Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

City of Syracuse  
Office of Zoning Administration

**RESUBDIVISION / LOT ALTERATION APPLICATION**  
One Park Place, 300 S State St \*Suite 700\* Syracuse, NY 13202  
315-448-8640 \* zoning@syr.gov \*  
\*\*www.syr.gov/Departments/Zoning-Administration\*\*

Office Use Filing Date: \_\_\_\_\_ Case: \_\_\_\_\_ Zoning District: \_\_\_\_\_

**REQUESTED** (Check applicable and provide the subdivision name, existing and proposed number of lots, and total area.)

	<u>Subdivision Name</u>	<u>Number of Lots</u>	<u>Total Area</u>
<input checked="" type="checkbox"/> Resubdivision:	_____	_____	_____
<input type="checkbox"/> Lot Alteration:	_____	_____	_____

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) 1201-03 Genesee St. W.	108.2-06-06.0	Specialty Properties LLC	8/14/2018
2) 1207 Genesee St. W.	108.2-06-05.0	Specialty Properties LLC	8/14/2018
3) 1215 Genesee St. W.	108.2-06-04.0	Specialty Properties LLC	8/14/2018
4) _____	_____	_____	_____

As listed in the Department of Assessment property tax records at <http://syr.gov.net/Assessment.aspx> - 315-448-8280.

**COMPANION ZONING APPLICATION(S)** (List any related City Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

1) Project Site Review \_\_\_\_\_ 2) \_\_\_\_\_ 3) \_\_\_\_\_

**PROJECT CONSTRUCTION** (Check all that apply and briefly describe, as applicable.)

- Demolition (full and partial): Demolition of existing buildings on property
- New Construction: Construction of new two story retail/office building
- Façade (Exterior) Alterations: \_\_\_\_\_
- Site Changes: Updated parking layout based on new building

**PROJECT INFORMATION** (Briefly describe, as applicable.)

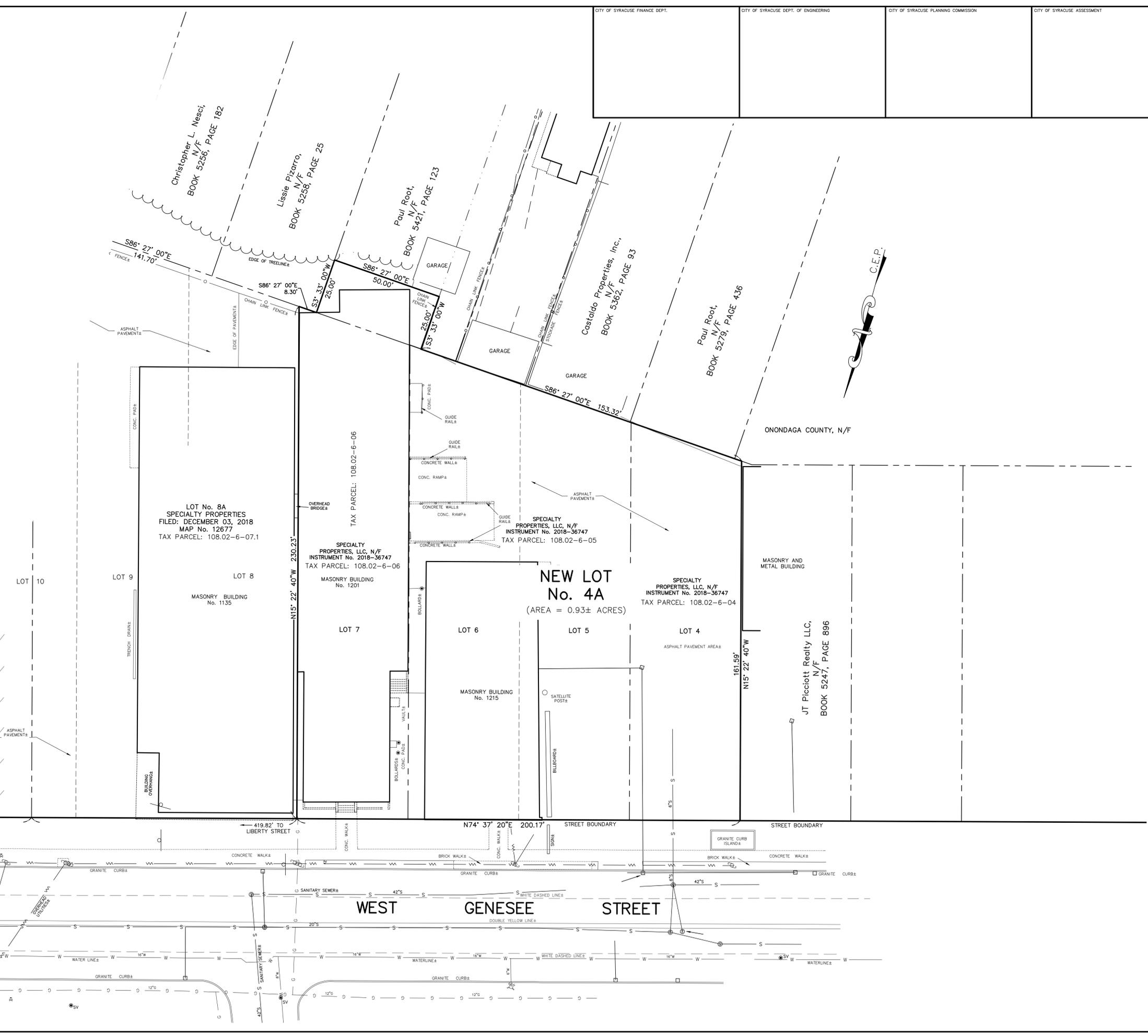
Project Name: 1201-1207 W. Genesee Street Redevelopment  
 Current Land Use(s): Vacant commercial buildings  
 Proposed Land Use(s): Retail/office building  
 Number of Dwelling Units: 0  
 Days and Hours of Operation: \_\_\_\_\_  
 Number of Onsite Parking Spaces: 55

**PROJECT DESCRIPTION** (Provide a brief description of the project, including purpose or need, and justification.)

Combination of three existing lots into a single property to allow for the construction of a new two story retail/office building on the property

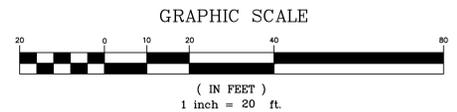


**LOCATION PLAN**  
Scale: 1" = 2000'



**NOTES:**

Total area: 0.93 ± acres  
 Total number of lots: Three (3) existing; One (1) proposed  
 Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only.  
 Tax Map Nos. 108.2-06-04, 05- & 06



**LEGEND:**

- ☆ LS indicates light stand
- indicates utility pole, anchor & overhead lines
- PPF indicates iron pipe and/or monument found
- MON FND indicates monument found
- indicates bollard
- indicates sign
- 12" CMP — indicates storm culvert
- 6" G — indicates gas main, gas valve & gas line marker
- 8" W — indicates water main, water valve & hydrant
- 18" S — indicates storm sewer, catch basin & manhole
- 8" S — indicates sanitary sewer, sewer vent & manhole
- TEL — indicates underground telephone line, manhole & box
- ELEC — indicates underground electric line & manhole
- CATV — indicates underground television cable & box
- indicates boundary line
- indicates adjacent parcel line
- indicates old/original parcel line
- indicates easement line
- indicates centerline road

**TRACT MAP**  
 BY: R. GRIFFIN C.E.  
 FILED: JULY 26, 1985  
 MAP NO. 866

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS IS A CORRECT MAP MADE FROM AN ACTUAL SURVEY.

N.Y.S. Licensed Land Surveyor

Subject to any statement of facts on accurate and up to date abstract of title will show.  
 Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

REVISIONS	<p>RE-SUBDIVISION MAP OF                  LOT Nos. 4 THROUGH 7                  PART OF BLOCK No. 111                  INTO                  NEW LOT No. 4A                  SPECIALTY PROPERTIES PHASE 2                  CITY OF SYRACUSE                  ONONDAGA COUNTY, NEW YORK</p>	
<p>IANUZI &amp; ROMANS                  LAND SURVEYING, P.C.                  5251 WITZ DRIVE                  NORTH SYRACUSE, NY 13212                  PHONE: (315) 457-7200                  FAX: (315) 457-9251</p>	<p>DATE: SEPTEMBER 10, 2018                  SCALE: 1" = 20'                  FILE NO.: 2544.016</p>	<p>SHEET NO.                  F.B. NO. 1600</p>



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Specialty Properties LLC  
From: Amber Dillon, Zoning Planner  
Date: 1/30/2026 10:15:27 AM  
Re: Resubdivision R-25-61  
1207 Genesee St W, Syracuse, 13204

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Zoning Planner	Pending	11/13/2025		
Eng. Mapping - Zoning	Approved	11/20/2025	Ray Wills	-The bearings for the streets in question AGREE with the Official City Records for the area. The Office of the City Engineer only verifies ROW bearings, not interior angles, bearings abutting neighboring properties or private easements. City Plat# 548
Finance - Zoning	Internal Review Complete	11/14/2025	Veronica Voss	1201-03 W Genesee Street is current thru 12/31/25. 1207 W Genesee Street also current thru 12/31/25 and 1215 W Genesee St is also current thru 12/31/25.
Eng Stormwater (SWPPP)- Zoning	Internal Review Complete	11/14/2025	Romeo Kpolo	Development on these 3 lots will be treated as one project, as such the project shall be subject to the City's stormwater requirements & process and a SWPPP shall be required.
Eng Sewers- Zoning	Internal Review Complete	11/14/2025	Romeo Kpolo	Future project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. All installation & restoration work to be done to City of Syracuse specifications & details.
Eng. Design & Cons. - Zoning	Conditionally Approved	11/14/2025	Romeo Kpolo	Any future construction/development on the combined lots will be subject to the City plan review, approval and permitting process as applicable.



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Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>MaSPR-25-30</i></b>	<b><i>Staff Report – February 2, 2026</i></b>
<b><i>Application Type:</i></b>	Major Site Plan Review
<b><i>Project Address:</i></b>	1201-03 W Genesee St (Tax Map ID: 108.2-06-06.0); 1207 W Genesee St. (Tax Map ID: 108.2-06-05.0); 1215 W Genesee St. (Tax Map ID: 108.2-06-04.0)
<b><i>Summary of Proposed Action:</i></b>	<p>The applicant intends to demolish two existing vacant buildings and construct a two-story commercial building to establish three “General Retail, 1,000–15,000 sq. ft.” tenant spaces on the first floor and one “Office” use on the second floor</p> <p>“Office”, “Retail, General” are permitted by right under MX-3 Zone District.</p> <p>Site changes include reconfiguring 55 on-site off-street parking spaces, and providing new landscaping and screening improvement.</p> <p>Total site area: 0.93 Acres/ 40510.8 SF</p>
<b><i>Owner/Applicant</i></b>	James Ranalli III, Specialty Properties LLC (Owner) CHA Consulting (Applicant & Representative)
<b><i>Existing Zone District:</i></b>	Mixed-Use Transition (MX-3) Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the east, and west are the Mixed-Use Transition, MX-3 Zone District; the neighboring properties to the south are Urban Neighborhood, MX-1 Zone District; the neighboring properties to the north are Commercial, CM Zone District.
<b><i>Companion Application(s)</i></b>	R-25-61   Resubdivision to combine three parcels (1201-03, 1207, 1215 W Genesee St) into one new lot.
<b><i>Scope of Work:</i></b>	<p>Exterior works includes:</p> <ol style="list-style-type: none"> <li>(1) Demolishing the two existing vacant commercial buildings.</li> <li>(2) Constructing a new 2-story, 6,800 SF footprint commercial building.</li> <li>(3) Installing new sidewalks access to the proposed building from the existing pedestrian network, and on-site bicycle parking area.</li> <li>(4) Reconfigure the paved asphalt area by striping 55 on-site off-street parking spaces (including 3 ADA spaces) with landscaped islands.</li> <li>(5) Planting grass, shrubs and trees along the side and rear setbacks to provide natural buffers between adjacent properties and the new commercial building and parking lot.</li> </ol> <p>Interior renovation:</p> <ol style="list-style-type: none"> <li>(1) Building out 1<sup>st</sup> floor for 3 retail space respectively for spaces 1,700 SF, 3,400 SF, 1,700 SF.; respectively constructing 2<sup>nd</sup> floor for 1 office space of 6,800 SF</li> </ol>

***Facts on Project:***

**Existing Conditions**

- There are two vacant commercial buildings and empty paved lot.

**Nonconformities**

- No nonconformities will exist on the proposed site and structure.

**Dimensional Standards**

- The existing lot meets all Dimensional standards of the MX-3 Zone District.
- The existing coverage of three current individual lots is 100%, which exceed the maximum allowable coverage of 95%. The proposed total lot coverage ( building + parking surface+ other non-natural surface) only occupies 75% of the lot after resubdivision and site features improvements.

**Use Specific Standards**

- N/A

**Local Land Use and Residential Compatibility**

- The site is Mixed-Use Transition Zone District (MX-3), where the commercial use types including “Office”, “Retail, General” are permitted by right, which diversifies the land uses at the intersection of W Genesee St. & Sackett St, where currently primarily contain large Auto sales and repairs business. To the east of W Genesee St, the current land use consists primarily of small-scale auto related businesses, personal service, and educational facility. The introduction of retail and office uses will not intensify this corridor becoming a monotonous “Auto-service street”, which conflicts with the intent of the MX-3 Zone district for creating mixed-use development and compatible nonresidential uses with surrounding residential neighborhoods. The proposed land use types are moderate comparing to existing intensive vehicle related business.

**Off-Street Parking and Loading**

- Snow storage area is designated at eastside of parking lot, preventing excessive snow from being pushed to encroach R.O.W or onto adjacent properties.
- The proposed parking lot design will provide a new vehicle circulation path, striped parking space, landscaped islands, better directing the vehicle inflow and outflow comparing the existing all paved parking area with none of any above mentioned items.
- According to the traffic impact assessment submitted by the applicant (CHA, Consulting), the proposed land use types and its related demand for 55 parking space are anticipated to generate significantly lower traffic flow during peak hour and overall volumes in contrast to the current land usages.

**Landscaping, Buffering, and Screening**

- The proposed green space buffer, fencing and adequate building setback along the rear property line will preserve the residential compatibility by minimizing visual and noise impacts to the backyard of the residential neighbors at 838-40, 842-44, 846-50, 852-56 Park Ave

**Site, Building Design, and Exterior Lighting**

- The current front setback is dangerous to the pedestrian where there is no curb cuts to block the vehicle from entering directly from the road and parking before one of the current office building. The restoration of curbs and the green space in the front setback will support the goals of MX-3 Zone District for pedestrian-friendly environment by preventing vehicle enter the sidewalk from the road.

**Signage**

- Any proposed signage requires separate building permits subject to review by the Zoning Administration, Central Permit Office, and Preservation Planner if applicable.

**Historic Preservation**

- This property is not on the City’s Historic Properties list and does not require by the Landmark Preservation Board.

**Additional Standards, Building Placement, and Transparency**

- The existing buildings are deficient in window transparency, with very limited visibility for pedestrian. The proposed window installation meets the minimum transparency requirement by providing sufficient at least 40% transparent sights for the retail storefront in the ground floor, and 20% for the office in the second floor.
- All existing buildings exhibit delapidated conditions of siding, windows, entrances and other exterior façade features. Based on google street view, the office tenants space in both building has been vacant for at least 5 years. Furthermore, the existing one-story office building on 1207 W Genesee does not conform with the minimum two-story requirement. The proposed commercial building will not only conform with the 2-story requirement, but the new façade design and introduction of new retail & office space also will revivify the street scape. The project also aligns with emerging development trends along the W. Genesee Street corridor for smaller-scale commercial uses.

**Wetlands determination**

- The applicant has provided a Wetlands determination letter of New York State Department of Environmental Conservation (DEC), which confirms that the subject parcels are not within or adjacent to any DEC regulated freshwater wetlands. Therefore, no freshwater wetlands permit is required.

**Major Site Plan Approval Criteria**

**Consistency with the General Purpose and Intent of the Ordinance:**

The proposed two-story commercial building aligns with the MX-3 District’s intent to encourage various commercial uses and pedestrian-friendly commercial corridors. The introduction of retail and office uses diversifies the corridor’s land use mix and replaces deteriorated, long vacant structures with active storefronts and improved transparency and connectivity.

**Consistency with Dimensional & Design Development Standard of Zoning**

*Staff Analysis:*

	<p><b>Ordinance:</b> The project meets all applicable dimensional standards for the MX-3 District and introduces sidewalk access, bicycle parking, landscaping, snow storage , and improved vehicle circulation. Lot coverage is reduced substantially from 100% to 75%, and required transparency percentages are met for both the ground floor retail and the second floor office spaces.</p> <p><b>Consistency with the Comprehensive Plan and Other Adopted City Policies and Plans:</b> The proposed restoration and conversion of the building is consistent with the Comprehensive Plan and adopted City policies by supporting reinvestment in vacant properties, promoting small, middle scale business</p>
<p><b><i>Staff Recommendation:</i></b></p>	<p><b>Staff recommend approving this project.</b></p>
<p><b><i>Recommend conditions if approved:</i></b></p>	<ol style="list-style-type: none"><li>1. The applicant shall comply with the general conditions for approval on the Site Plan application. (See the attached sheet General Conditions for Site Plan Approval</li><li>2. Curbing and landscaping within the front setback shall be installed to prevent vehicles from entering or parking within the public sidewalk area.</li><li>3. Snow storage shall be maintained on-site in the designated area and shall not encroach into the public right-of-way or adjacent properties.</li><li>4. The applicant shall submit updated floor plan details to the Office of Zoning Administration for any new tenants occupying the proposed commercial spaces. Additional Zoning review shall be required if the proposed land use types deviate from those approved under this Major Site Plan.</li><li>5. The applicant shall coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP) Flow Control Division for any infrastructure related disturbance of land within the county easement and include County-owned infrastructure must on the related plans</li></ol>

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<p><b>Summary of Zoning History:</b></p>	<p>1201-03 W Genesee St: The commercial building at 1201–03 W. Genesee Street was originally constructed in 1930 for a club use. In 1935, a building permit was issued to remodel the structure into a restaurant, and in 1948 another permit remodeled it back to a club occupancy. The most recent land use and occupancy was office use, which has been maintained up to the present. The building has been vacant for rent since approximately 2012.</p> <p>1207 &amp; 1215 W Genesee St.: The office building at 1207 and the paved parking lot at 1215 W. Genesee Street have been utilized for auto sales operations through Variance approvals V-87-25 and V-89-11, even though 1215 W. Genesee Street was never formally required to be combined with 1207 W. Genesee Street. In addition, several off-premise signs were permitted to be erected on the office façade, and a 15.5-foot ground sign received an encroachment permit for installation within the W. Genesee Street right-of-way.</p>
<p><b>Code Enforcement History:</b></p>	<p>See attached code enforcement history.</p>
<p><b>Zoning Violations:</b></p>	<p>The proposed lot has no zoning violations.</p>
<p><b>Summary of Changes:</b></p>	<p>This is not a continued application.</p>
<p><b>Property Characteristics:</b></p>	<p><b>Existing property characteristics</b> The subject property at 1215 W Genesee St. is a trapezoid shaped parcel with a lot size of 8,567 SF (0.197Acres). The property has one street frontages with 50.1 FT of Northern frontage along W Genesee St. To the west, the property line border 1221 W Genesee St. for 161.59 FT. To the south, the property line borders 852-56 Park Ave for 53.53 FT. To the east, the property line borders 1207 W Genesee St. for 178.62 FT; The parcel is current vacant and all paved for the office tenant and customers at 1207 W Genesee St. to park vehicle.</p> <p>The subject property at 1207 W Genesee St. is a trapezoid shaped parcel with a lot size</p>

	<p>of 19,642 SF (0.451 Acres). The property has one street frontages with 95.63 FT of Northern frontage along W Genesee St. To the west, the property line border 1215 W Genesee St. for 178.62 FT. To the south, the property line borders 838-40, 842-22, and 846-50 Park Ave for 105.64 FT. To the east, the property line borders 1201-03 W Genesee St. for 212.92 FT; The parcel is currently occupied by a one-story commercial office building.</p> <p>The subject property at 1201-03 W Genesee St. is a irregular shaped parcel with a lot size of 12,301 SF (0.282 Acres). The property has one street frontages with 50.28 FT of Northern frontage along W Genesee St. To the west, the property line border 1207 W Genesee St. for 212.92 FT. To the south, the property line borders 832, 834-36, and 838-40 Park Ave for 114.3 FT. To the east, the property line borders 1135 W Genesee St. for 230.23 FT; The parcel is currently occupied by a 2.5- story commercial building.</p> <p><b><u>Proposed property characteristics After Resubdivision R-25-61</u></b></p> <p>The subject property at 1205 W Genesee St. is an irregular shaped parcel with a lot size of 40,510 SF (0.93Acres). The property has one street frontages with 200.17 FT of Northern frontage along W Genesee St. To the west, the property line border 1221 W Genesee St. for 161.59 FT. To the south, the property line borders 832, 834-36, 838-40, 842-22, 846-50, 852-56 Park Ave for 267.62 FT. To the east, the property line borders 1135 W Genesee St. for 230.23 FT.</p>
<b><i>SEQR Determination:</i></b>	Pursuant to the 6 NYCRR §617.2 (al), the proposal is an Unlisted Action.
<b><i>Onondaga County Planning Board Referral:</i></b>	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board on 11/25/2025 with modification comments. (See OCPB resolution) Provided comments has been added as the Major Site Plan approval conditions.

- Application Submittals:** The application submitted the following in support of the proposed project:
- Major Site Plan Review Application
  - Short Environmental Assessment Form Part 1
  - Site Plan Package ( Sheet C101, C-003, C-001, C-003,C-004, C-401,C-501 ) Proposed Commercial Development, 1201-1207 W Genesee ST, Specialty Properties, LLC 1200 State Fair Blvd. Onondaga County, City of Syracuse, New York; Drawn by CHA Consulting LLC ,Dated 10/30/2025, ; Scale: As shown
  - Floor Plan Layout ( Sheet A-100, A-101) Proposed Commercial Development, 1201-1207 W Genesee ST, Specialty Properties, LLC 1200 State Fair Blvd. Onondaga County, City of Syracuse, New York; Drawn by CHA Consulting LLC ;Dated 10/30/2025; Scale: As shown
  - Elevation Plan Layout ( Sheet A-200, A201) Proposed Commercial Development, 1201-1207 W Genesee ST, Specialty Properties, LLC 1200 State Fair Blvd. Onondaga County, City of Syracuse, New York; Drawn by CHA Consulting LLC ;Dated 10/30/2025; Scale: As shown

**Attachments:**

Major Site Plan Review Application  
Code Enforcement History

OCPB Comments  
IPS Comments from City Departments

**Context Maps:**

**Figure 1:** Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.  
Image Source: City of Syracuse Neighborhood and Business Development, Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.  
Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

"ON THIS SITE, APPLICATION R-25-61 AND MASPR-25-30 IS A RESUBDIVISION, MAJOR SITE PLAN REVIEW TO DEMOLISH TWO VACANT BUILDINGS AND CONSTRUCT A TWO-STORY COMMERCIAL BUILDING ON A NEW LOT AT PROPERTIES SITUATED AT 1201-03 W GENESEE ST., 1207 W GENESEE ST., AND 1215 W GENESEE ST. THIS MATTER WILL BE DISCUSSED AT A CITY PLANNING COMMISSION MEETING ON FEBRUARY 2, 2026 AT 6:00 P.M. IN THE COMMON COUNCIL CHAMBERS, CITY HALL, SYRACUSE, NEW YORK."

1:34 PM

FRIDAY, 23 JAN

United States

LONGITUDE -76.1757° W 76°10'32"W

LATITUDE 43.0533° N 43°3'11"N



# Office of Zoning Administration

CITY OF SYRACUSE, MAYOR BEN WALSH

**Jacob R. Dishaw**  
Zoning Administrator

**Zhitong Wu**  
Director of Zoning

**Meira Hertzberg**  
Land Use & Zoning  
Attorney

**Haohui Pan**  
Zoning Planner II

**Amber Dillon**  
Zoning Planner II

**Noah Garcia**  
Zoning Planner II

**Eric Auwaerter**  
Zoning Administration  
Specialist

James Ranalli III  
Specialty Properties LLC  
1200 State Fair Blvd  
Syracuse, NY 13209  
11/13/2025

C.C: Ben Harrell  
CHA Consulting  
300 S State St,  
Syracuse, NY 13202

Re: Application completeness for City Planning Commission

Dear James Rnanalli,

On 11/13/2025, Nate Pan determined the proposed project MaSPR-25-30 and R-25-61 to be **complete** for City Planning Commission's review.

All landowners and applicants shall appear in person at the hearing, or by a properly authorized representative or agent. An authorized agent who is thoroughly familiar with all aspects of the appeal and who is able to testify as to all issues may appear if he or she holds a properly signed and executed document showing that they have authority to proceed on behalf of the landowner or applicant. Proof of signed and executed document must be submitted to Nate Pan at least six (6) business days before the public hearing and must be notarized. Failure to have representation appear before the City Planning Commission two consecutive meetings will result in your project proposal to be denied. Any updates to deliverables (such as site plan, changes in proposed work etc.) must be submitted to Nate Pan at least six (6) business days before the date of the hearing.

If the proposed project is held open for another public hearing and/or meeting to resolve any outstanding concerns, updated plans or any other requested documents shall be submitted to Zoning Administration staff NO FEWER than six (6) days prior to the hearing. Failure to submit by this deadline shall cause the item to be removed from the next meeting agenda.

**GROWTH. DIVERSITY. OPPORTUNITY FOR ALL.**

Office of Zoning Administration 300 South State Street, Suite 700 Syracuse, NY 13202  
Office 315 448 8640 [zoning@syr.gov](mailto:zoning@syr.gov) [www.syr.gov](http://www.syr.gov)



For Office Use Only	
Zone District:	_____
Application Number:	_____ - _____ - _____
Date:	_____

Office of Zoning Administration  
 300 S State St, Suite 700  
 Syracuse, NY 13202  
 Phone: (315) 448-8640  
 Email: zoning@syr.gov.net

**Site Plan Review Application**

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

**General Project Information**

Business/project name: 1201-1207 W. Genesee Redevelopment	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 1201-1207 W. Genesee Street	
Tax Map ID#: 108.2-06-06.0, 108.2-06-05.0 & 108.2-06-04.0	Lot size (sq. ft.): 40,421SF
Current use of property: Two existing vacant buildings in poor condition	Proposed: <b>Retail/commercial</b>
Current number of dwelling units (if applicable): <b>N/A</b>	Proposed: <b>0</b>
Current number of affordable dwelling units (if applicable):	Proposed:
Current onsite parking (if applicable): <b>40</b>	Proposed: <b>55</b>
Zone District (base and any overlay) of property: <b>MX-3</b>	
Companion zoning applications (if applicable, list any related zoning applications):	
<b>Resubdivision lot consolidation</b>	
Type of Site Plan: <input type="checkbox"/> Major <input checked="" type="checkbox"/> Minor	
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes	
Detailed description of the project (required):  Demolition of two existing building which are in poor condition and a hazard for the construction of a new two story building with first floor retail space and second story office space	

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>		
Name of Action or Project: 1201-1207 W. Genesee Commercial Redevelopment		
Project Location (describe, and attach a location map): 1201-1207 W. Genesee Street, Syracuse NY		
Brief Description of Proposed Action: Demolition of existing buildings for construction of a new two story commercial building with first floor retail and second floor office space and consolidation of three existing lots into a single lot for the redevelopment		
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.93 acres b. Total acreage to be physically disturbed? _____ 0.9 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 2.6 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:		
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland		

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Adjacent to the Frazer school and park ( 250 ft of separation on a different street) b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

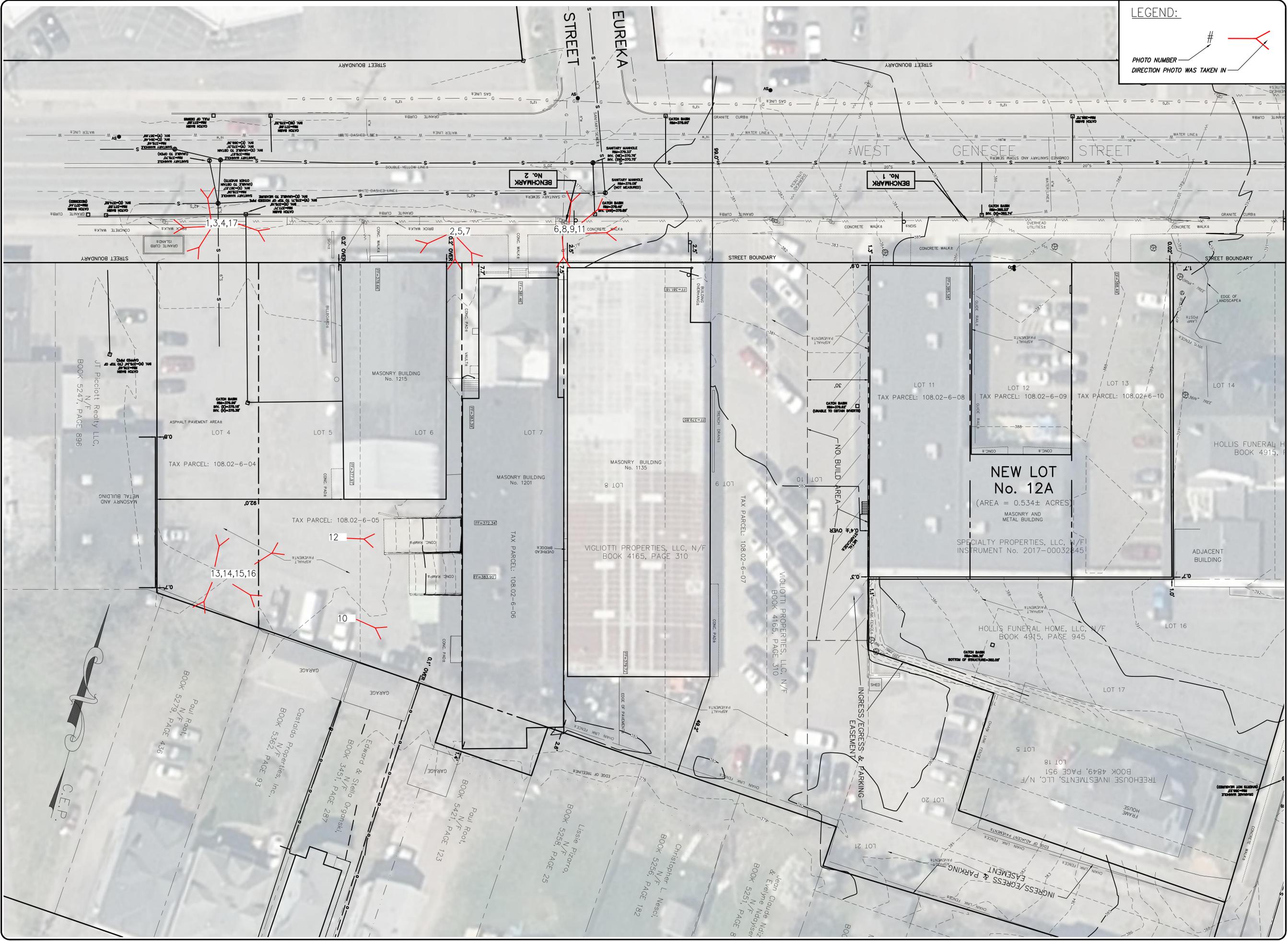
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
_____		
Stormwater will be managed on site per City of Syracuse stormwater requirements and discharged to storm sewer		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
734039, Syracuse Fire Training School closed remediation site (1,000 feet away) & V00222 Voluntary clean up at 531 Liberty St. all work has been completed (1,500 feet away)		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>CHA Consulting (c/o James Trasher)</u> Date: <u>10-31-25</u>		
Signature: <u></u> Title: <u>National Market Director</u>		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

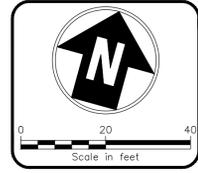


**LEGEND:**

PHOTO NUMBER #

DIRECTION PHOTO WAS TAKEN IN

No.	Submitted / Revision	App'd	By	Date
1	CITY OF SYRACUSE PROJECT SITE REVIEW SUBMISSION	JFT	BGH	10/30/25



**SPECIALTY PROPERTIES, LLC**  
 1200 STATE FAIR BLVD.  
 SYRACUSE, NY 13209

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**PROPOSED COMMERCIAL DEVELOPMENT**  
 1201-1207 W. GENESEE STREET  
 CITY OF SYRACUSE, NEW YORK  
 ONONDAGA COUNTY

**PROPOSED SITE PLAN**

Issue Date: 10/30/25 Project No.: 23278 Scale: AS SHOWN

**C-101**



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8



Photo 9



Photo 10



Photo 11



Photo 12



Photo 13



Photo 14



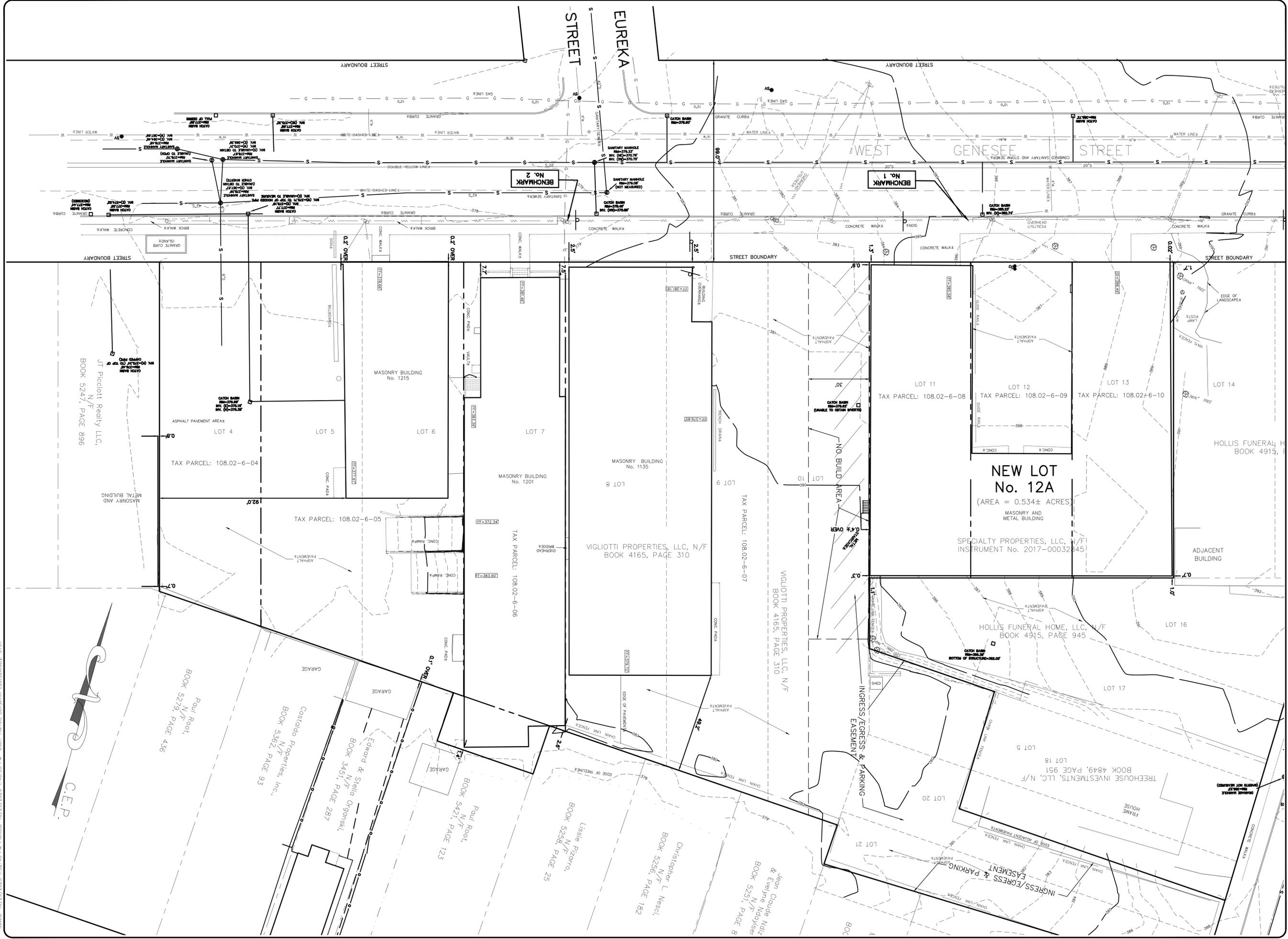
Photo 15



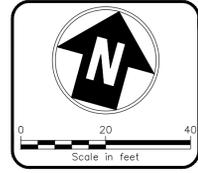
Photo 16



Photo 17



No.	Submittal / Revision	App'd	By	Date
1	CITY OF SYRACUSE PROJECT SITE REVIEW SUBMISSION	JFT	BGH	10/30/25



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 SYRACUSE, NY 13209

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Designed: BGH | Drawn: BGH | Checked: JFT

**PROPOSED COMMERCIAL DEVELOPMENT**  
 1201-1207 W. GENESEE STREET  
 CITY OF SYRACUSE, NEW YORK  
 ONONDAGA COUNTY

**EXISTING CONDITIONS SITE SURVEY**

Issue Date: 10/30/25 | Project No.: 23278 | Scale: AS SHOWN

**C-003**

# PROPOSED REDEVELOPMENT

## 1201-1207 WEST GENESEE STREET CITY OF SYRACUSE, NY

### SITE LOCATION MAP



NO SCALE



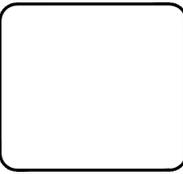
### DRAWING INDEX

Sheet Number	Sheet Title
C-001	TITLE SHEET
C-003	EXISTING CONDITIONS SITE SURVEY
C-004	DEMOLITION PLAN
C-101	SITE LAYOUT PLAN
C-401	LANDSCAPE PLAN
C-501	EROSION & SEDIMENT CONTROL PLAN



OCTOBER 30, 2025

No.	Submitted / Revision	App'd By	Date
-	CITY OF SYRACUSE PROJECT SITE REVIEW SUBMISSION	JFT	10/30/25



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1200 STATE FAIR BLVD.  
SYRACUSE, NY 13209

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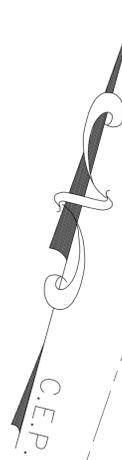
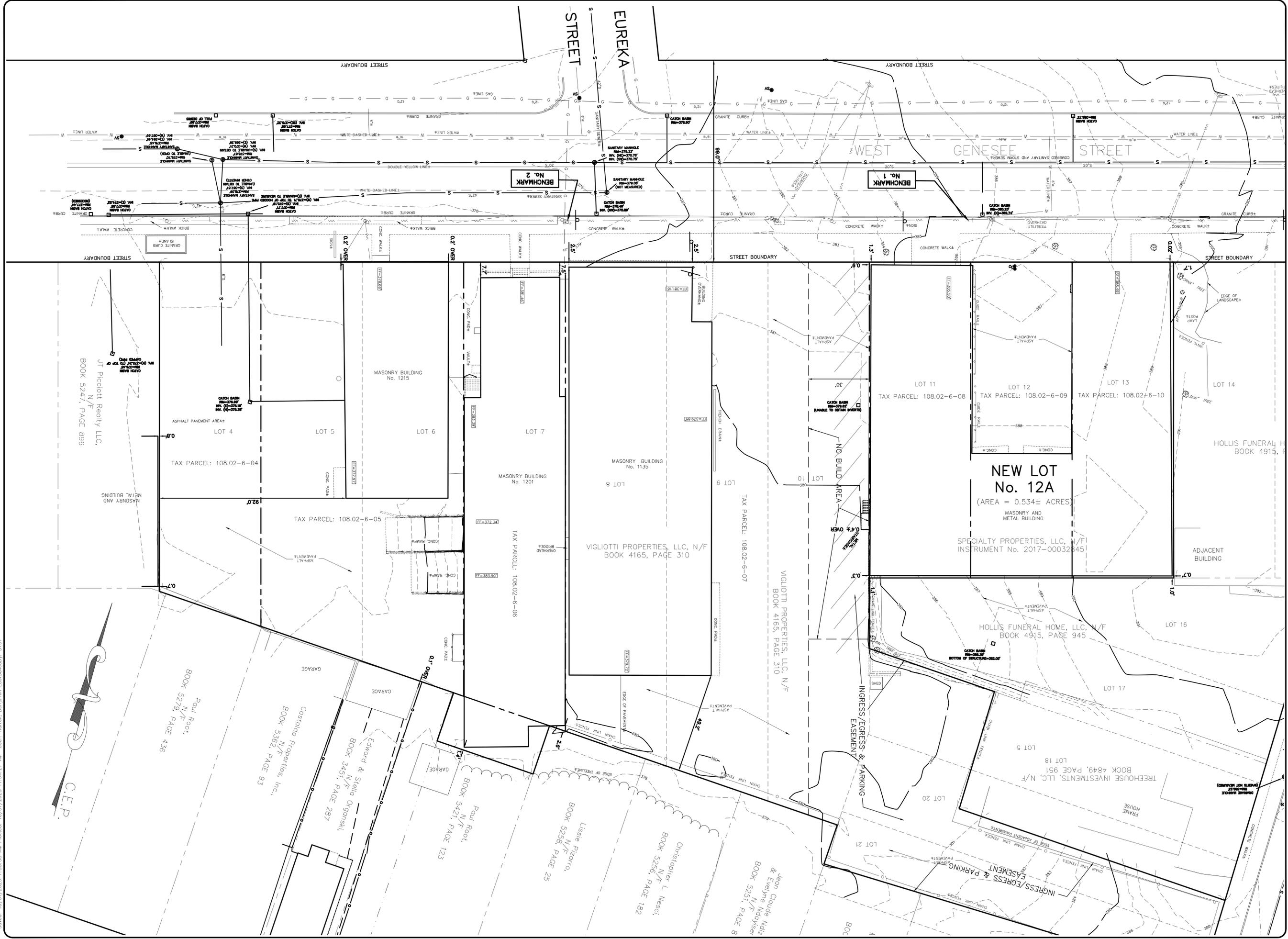
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**PROPOSED COMMERCIAL DEVELOPMENT**  
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 CITY OF SYRACUSE, NEW YORK  
 ONONDAGA COUNTY

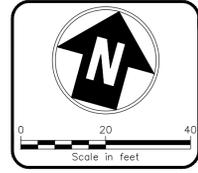
**TITLE SHEET**

Issue Date: 10/30/25 | Project No.: 23278 | Scale: AS SHOWN

**C-001**



No.	Submittal / Revision	App'd	By	Date
1	CITY OF SYRACUSE PROJECT SITE REVIEW SUBMISSION	JFT	BGH	10-30-25



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 SYRACUSE, NY 13209

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Designed: BGH  
 Drawn: BGH  
 Checked: JFT

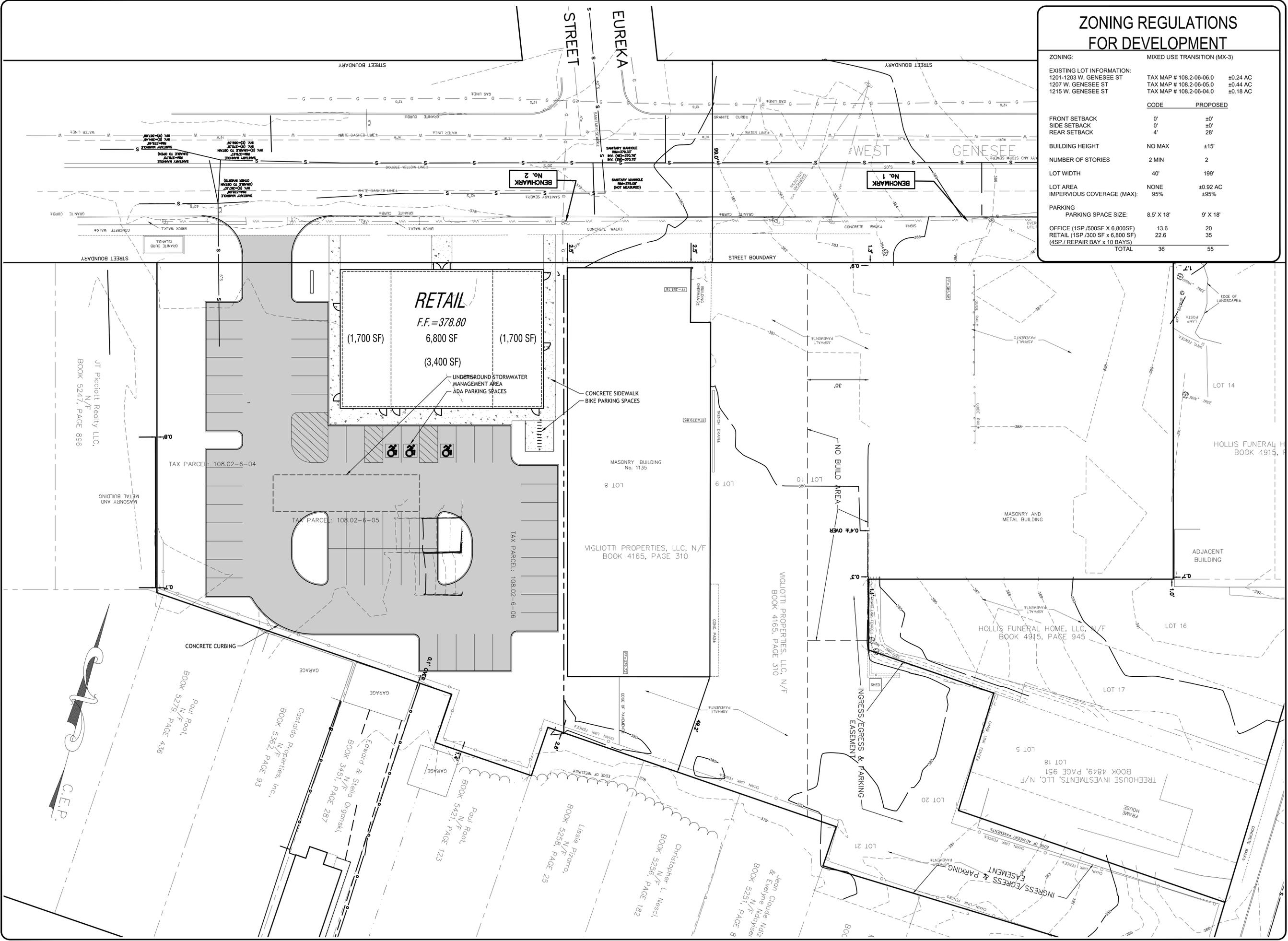
**PROPOSED COMMERCIAL DEVELOPMENT**  
 1201-1207 W. GENESEE STREET  
 CITY OF SYRACUSE, NEW YORK  
 ONONDAGA COUNTY

**EXISTING CONDITIONS SITE SURVEY**

Issue Date: 10/30/25  
 Project No.: 23278  
 Scale: AS SHOWN

**C-003**





### ZONING REGULATIONS FOR DEVELOPMENT

ZONING:		MIXED USE TRANSITION (MX-3)	
EXISTING LOT INFORMATION:			
1201-1203 W. GENESEE ST	TAX MAP # 108.2-06-06.0	±0.24 AC	
1207 W. GENESEE ST	TAX MAP # 108.2-06-05.0	±0.44 AC	
1215 W. GENESEE ST	TAX MAP # 108.2-06-04.0	±0.18 AC	
	CODE	PROPOSED	
FRONT SETBACK	0'	±0'	
SIDE SETBACK	0'	±0'	
REAR SETBACK	4'	28'	
BUILDING HEIGHT	NO MAX	±15'	
NUMBER OF STORIES	2 MIN	2	
LOT WIDTH	40'	199'	
LOT AREA	NONE	±0.92 AC	
IMPERVIOUS COVERAGE (MAX):	95%	±95%	
PARKING			
PARKING SPACE SIZE:	8.5' X 18'	9' X 18'	
OFFICE (1SP/500SF X 6,800SF)	13.6	20	
RETAIL (1SP/300 SF x 6,800 SF)	22.6	35	
(4SP/REPAIR BAY x 10 BAYS)			
TOTAL	36	55	

Submitted / Revision: \_\_\_\_\_  
 App'd By: JFT  
 Date: 10-30-25

CITY OF SYRACUSE PROJECT SITE REVIEW SUBMISSION

No. \_\_\_\_\_

Scale in feet: 0 20 40

**SPECIALTY PROPERTIES, LLC**  
 1200 STATE FAIR BLVD.  
 SYRACUSE, NY 13209

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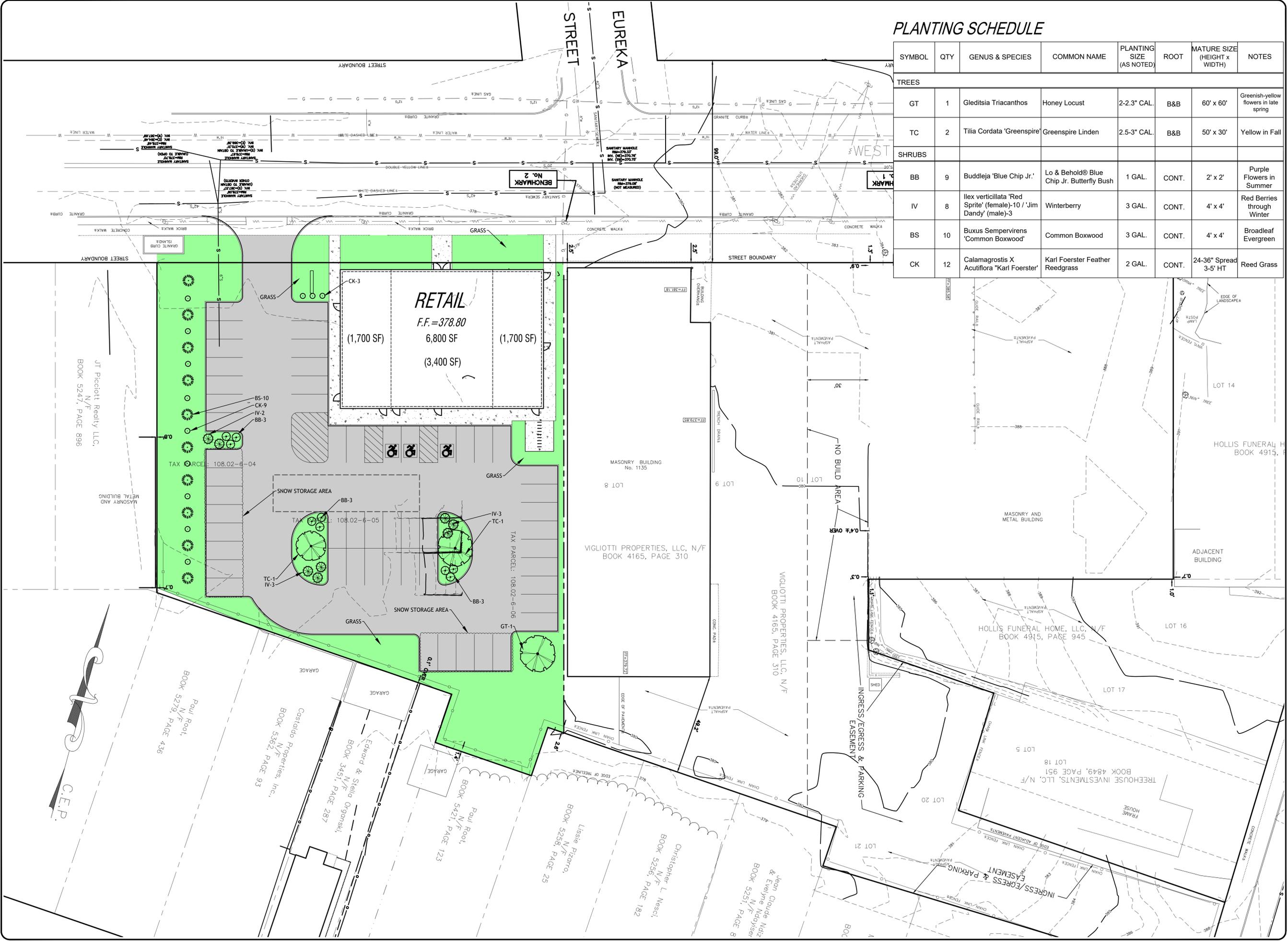
Designed: BGH | Drawn: BGH | Checked: JFT

**PROPOSED COMMERCIAL DEVELOPMENT**  
 1201-1207 W. GENESEE STREET  
 CITY OF SYRACUSE, NEW YORK  
 ONONDAGA COUNTY

**SITE LAYOUT PLAN**

Issue Date: 10/30/25 | Project No.: 23278 | Scale: AS SHOWN

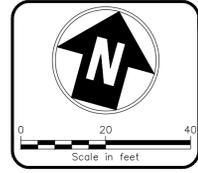
**C-101**



**PLANTING SCHEDULE**

SYMBOL	QTY	GENUS & SPECIES	COMMON NAME	PLANTING SIZE (AS NOTED)	ROOT	MATURE SIZE (HEIGHT x WIDTH)	NOTES
<b>TREES</b>							
GT	1	Gleditsia Triacanthos	Honey Locust	2-2.3" CAL.	B&B	60' x 60'	Greenish-yellow flowers in late spring
TC	2	Tilia Cordata 'Greenspire'	Greenspire Linden	2.5-3" CAL.	B&B	50' x 30'	Yellow in Fall
<b>SHRUBS</b>							
BB	9	Buddleja 'Blue Chip Jr.'	Lo & Behold® Blue Chip Jr. Butterfly Bush	1 GAL.	CONT.	2' x 2'	Purple Flowers in Summer
IV	8	Ilex verticillata 'Red Sprite' (female)-10 / 'Jim Dandy' (male)-3	Winterberry	3 GAL.	CONT.	4' x 4'	Red Berries through Winter
BS	10	Buxus Sempervirens 'Common Boxwood'	Common Boxwood	3 GAL.	CONT.	4' x 4'	Broadleaf Evergreen
CK	12	Calamagrostis X Acutiflora 'Karl Foerster'	Karl Foerster Feather Reedgrass	2 GAL.	CONT.	24-36" Spread 3-5' HT	Reed Grass

Submittal / Revision	App'd	Date
CITY OF SYRACUSE PROJECT SITE REVIEW SUBMISSION	JFT	10/30/25
No.		



**SPECIALTY PROPERTIES, LLC**  
 1200 STATE FAIR BLVD.  
 SYRACUSE, NY 13209

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**PROPOSED COMMERCIAL DEVELOPMENT**  
 1201-1207 W. GENESEE STREET  
 CITY OF SYRACUSE, NEW YORK  
 ONONDAGA COUNTY  
**LANDSCAPE PLAN**

Issue Date: 10/30/25 Project No.: 23278 Scale: AS SHOWN

**C-401**

# EROSION & SEDIMENT CONTROL SPECIFICATION

ONE WEEK PRIOR TO BEGINNING EARTHWORK OPERATIONS, A PRE-CONSTRUCTION MEETING WILL BE HELD TO DISCUSS THE EROSION AND SEDIMENT CONTROL PLAN, AND TO FINALIZE THE PAPERWORK FOR THE STORMWATER POLLUTION PREVENTION PLAN AS SPECIFIED IN THE NYSDEC STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITIES (09-0-25001). ALTHOUGH SPDES GENERAL PERMIT COVERAGE IS NOT REQUIRED FOR THIS PROJECT DUE TO SOIL DISTURBANCES LESS THAN 1 ACRE, ALL REGULATIONS ASSOCIATED WITH PERMIT COVERAGE MUST BE COMPLIED WITH IN ACCORDANCE WITH THE CITY ORDINANCE.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED PRIOR TO BEGINNING ANY LAND DISTURBANCE ACTIVITIES. THE DEVICES PROVIDING PROTECTION TO A GIVEN AREA SHALL NOT BE REMOVED UNTIL THE LANDS IN THAT AREA ARE STABILIZED.

NO DISTURBED AREA SHALL REMAIN EXPOSED FOR MORE THAN 7 CALENDAR DAYS, EXCEPT FOR PORTIONS OF THE SITE IN WHICH WORK WILL BE CONTINUED BEYOND 7 DAYS.

## CONSTRUCTION SEQUENCE:

### GENERAL NOTES:

- FILTER SOCK MUST BE INSTALLED AT THE TOE OF SLOPES WITH BUFFER AREAS PER BLUE BOOK GUIDELINES.
- BACKFILL SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL TRENCHES DURING UTILITY CONSTRUCTION.
- PROTECT ALL EXISTING STORM SEWER FACILITIES, ADJACENT ROADWAYS AND SURROUNDING PROPERTIES FROM SEDIMENT TRANSPORT.

### SEQUENCE:

- INSTALL FILTER SOCK AS SHOWN. ADDITIONAL SOCK MAY BE INSTALLED AS NECESSARY.
- DEMOLISH AND REMOVE EXISTING STRUCTURES.
- ROUGH GRADE SITE PER DESIGN AND INSTALL STABILIZED CONSTRUCTION ENTRANCE IF SEDIMENT TRACKING CANNOT BE CONTROLLED USING EXISTING PAVED SURFACE. LIMIT ALL VEHICULAR TRAFFIC TO THIS ENTRANCE ONLY.
- PROVIDE FILTER SOCK AROUND PERIMETER OF ANY STAGED/STOCKPILED TOP SOIL AND/OR TEMPORARY STAGED PILE OR FILL.
- INSTALL STORM SYSTEM. TRENCHES SHALL BE BACKFILLED/COMPACTED AND STABILIZED IMMEDIATELY AFTER BACKFILL OPERATION.
- ALL GRADED AREAS ARE TO BE SEEDED AND MULCHED FOR VEGETATIVE COVER IMMEDIATELY UPON COMPLETION OF EARTHWORK OPERATION.
- CONSTRUCT PARKING AREA.
- CONSTRUCT SIDEWALKS.
- COMPLETE FINAL GRADING AND INSTALL PERMANENT SEEDING AND MULCH.
- WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND GROUND IS STABILIZED, REMOVE EROSION CONTROL MEASURES AND RESEED ANY DISTURBED AREAS CREATED BY THEIR REMOVAL.

# INSPECTION PROCEDURES & MAINTENANCE:

- DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE TEMPORARY EROSION CONTROL FACILITIES. ALSO, AREAS THAT HAVE BEEN SEEDED WILL BE INSPECTED REGULARLY AFTER SEED GERMINATION TO ENSURE COMPLETE COVERAGE OF EXPOSED AREAS.
- INSPECTIONS OF ALL DEVICES SHALL BE COMPLETED WEEKLY. REPAIRS SHOULD BE COMPLETED IMMEDIATELY UPON DISCOVERY OF DEFICIENCIES.
- THE OWNER WILL DESIGNATE A QUALIFIED PERSON(S) TO PERFORM THE FOLLOWING INSPECTIONS:
  - STABILIZATION MEASURES: DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION WILL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM.
  - STRUCTURAL CONTROLS: ALL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN WILL BE INSPECTED REGULARLY FOR PROPER POSITIONING, ANCHORING, AND EFFECTIVENESS IN TRAPPING SEDIMENTS. SEDIMENT WILL BE REMOVED FROM THE UPSTREAM OR UP-SLOPE SIDE OF THE FILTER FABRIC.
  - DISCHARGE POINTS: DISCHARGE POINTS OR LOCATIONS WILL BE INSPECTED TO DETERMINE WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT AMOUNTS OF POLLUTANTS FROM ENTERING RECEIVING WATERS.
  - CONSTRUCTION ENTRANCES: LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE WILL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
  - ALL SEEDED AREAS SHALL BE PROTECTED UNTIL VEGETATION HAS BEEN ESTABLISHED. IMMEDIATELY RESEED AREAS WHICH DO NOT ESTABLISH VEGETATION.

## PERMANENT EROSION CONTROL MEASURES NOTES

PERMANENT STABILIZATION NOTES: DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

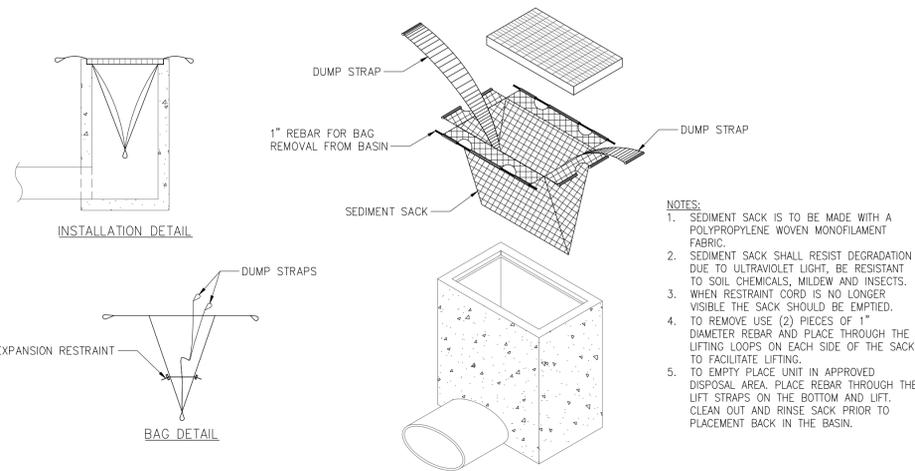
TOPSOIL SHALL HAVE AT LEAST TWO (2) PERCENT BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN SIX (6) PERCENT. MUCK SOIL SHALL NOT BE CONSIDERED TOPSOIL. TOPSOIL SHALL NOT HAVE LESS THAN 20 PERCENT FINE TEXTURES MATERIAL (PASSING THE No. 200 SIEVE) AND NOT MORE THAN 15 PERCENT CLAY. TOPSOIL SHALL BE FREE OF STONES OVER 1.5 INCHES IN DIAMETER, TRASH, NOXIOUS WEEDS SUCH AS NUT SEDGE AND QUACKGRASS, AND WILL HAVE LESS THAN 10 PERCENT GRAVEL BY VOLUME. REFER TO THE NYSSDM FOR INFORMATION ON TOPSOIL APPLICATION AND GRADING.

THE PERMANENT SEED MIX SHALL BE AS FOLLOWS:

SPECIES	RATE PER ACRE (LBS.)	RATE PER 1,000 SQ.FT. (LBS.)
KENTUCKY BLUEGRASS	115	2.6
PERENNIAL RYE	35	0.8
FINE FESCUE	25	0.6

FERTILIZER SHALL BE COMMERCIAL FERTILIZER (5-0-5) INORGANIC, OR ORGANIC, CONTAINING NOT LESS THAN FIVE (5) PERCENT NITROGEN, AND FIVE (5) PERCENT WATER SOLUBLE POTASH.

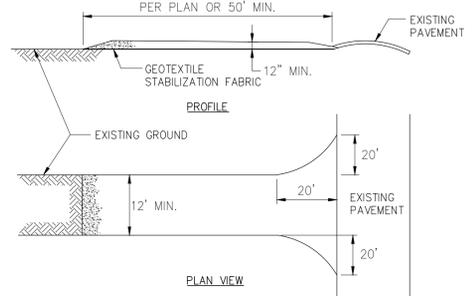
PROVIDE AND INSTALL A MULCH ADEQUATE TO PROTECT THE SEEDING DURING ITS GROWING PERIOD. REFER TO THE NYSSDM TO DETERMINE THE APPROPRIATE MULCHING TECHNIQUES FOR THE PARTICULAR SITE CONDITIONS.



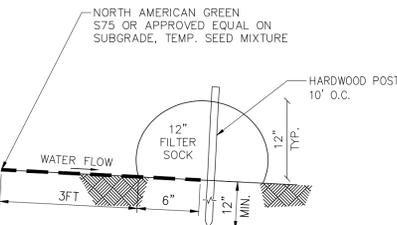
- NOTES:**
- SEDIMENT SACK IS TO BE MADE WITH A POLYPROPYLENE WOVEN MONOFILAMENT FABRIC.
  - SEDIMENT SACK SHALL RESIST DEGRADATION DUE TO ULTRAVIOLET LIGHT, BE RESISTANT TO SOIL CHEMICALS, MILDEW AND INSECTS.
  - WHEN RESTRAINT CORD IS NO LONGER VISIBLE THE SACK SHOULD BE EMPTIED.
  - TO REMOVE USE (2) PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE LIFTING.
  - TO EMPTY PLACE UNIT IN APPROVED DISPOSAL AREA. PLACE REBAR THROUGH THE LIFT STRAPS ON THE BOTTOM AND LIFT. CLEAN OUT AND RINSE SACK PRIOR TO PLACEMENT BACK IN THE BASIN.

## 1 INLET PROTECTION

SCALE: N.T.S.



- STONE SIZE—USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- THICKNESS—NOT LESS THAN 12".
- WOVEN GEOTEXTILE FABRIC WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- EXISTING ROAD SIDE DRAINAGE SHALL BE MAINTAINED.
- MAINTENANCE—THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT OR STONE SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



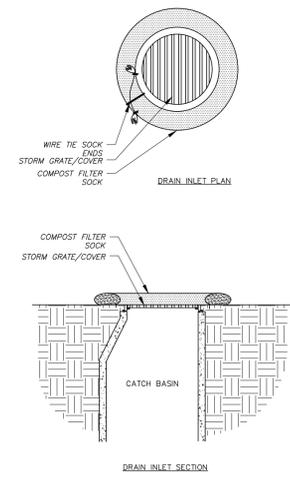
- NOTES:**
- ALL MATERIAL TO MEET MANUFACTURER SPECIFICATIONS.
  - ALL FILTER SOCKS SHALL BE 12" DIAMETER.
  - INSTALL PERPENDICULAR TO FLOW.
  - THE CONTRACTOR SHALL MAINTAIN SOCK IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
  - DAMAGED SOCKS SHALL BE REPAIRED IN THE MANNER REQUIRED BY THE MANUFACTURER OR REPLACED WITHIN 24 HOURS OF INSPECTION NOTIFICATION.
  - THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE SOCK WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE SOCK, OR AS DIRECTED BY THE REPRESENTATIVE.
  - UPON STABILIZATION OF THE AREA CONTRIBUTORY TO THE SOCK, STAKES SHALL BE REMOVED. THE INTERNAL COMPOST MATERIAL WITHIN THE SOCK SHALL BE DISPERSED ON SITE.

## 2 COMPOST FILTER SOCK

SCALE: N.T.S.

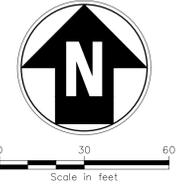
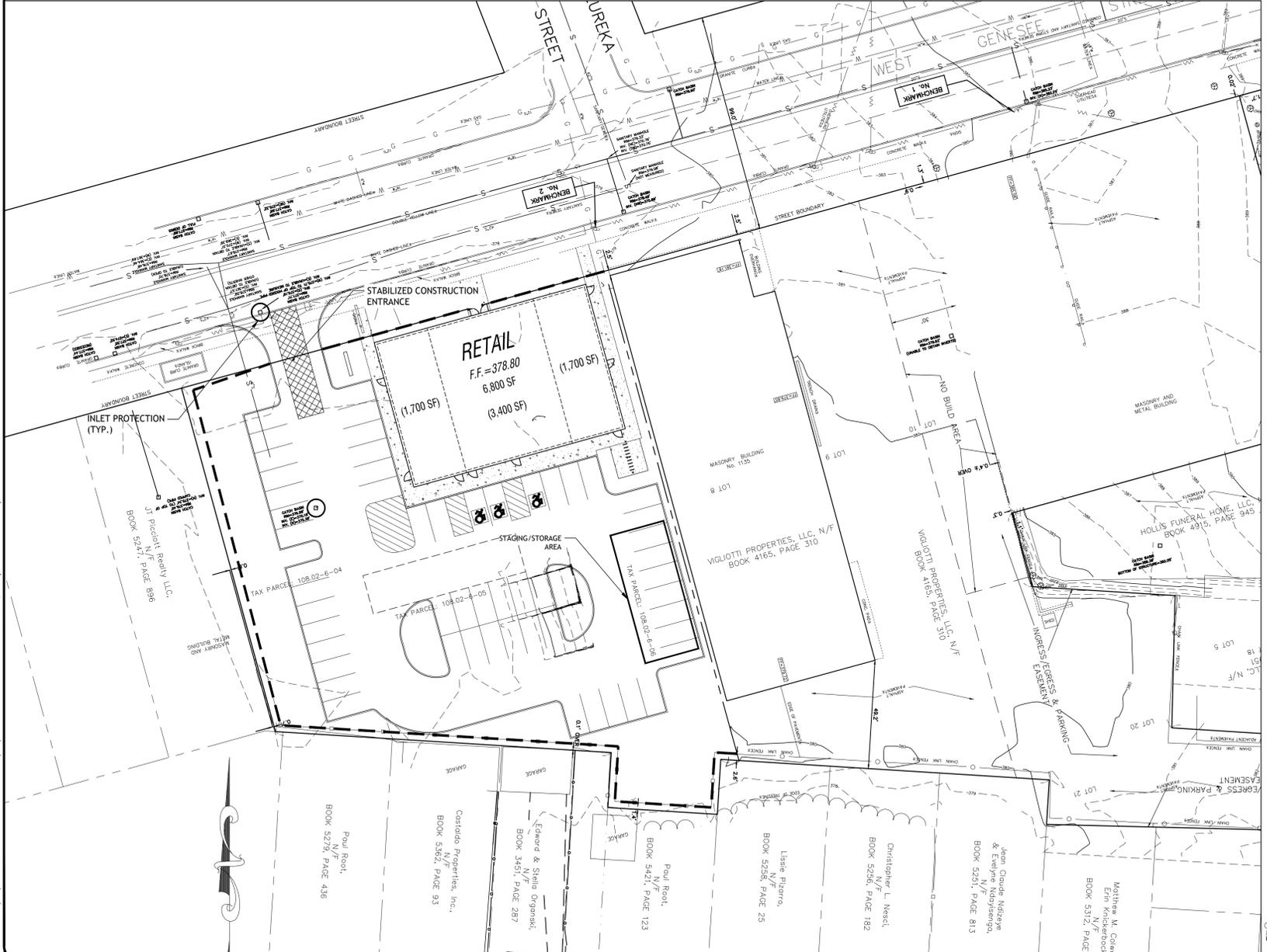
## 3 STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.



## 4 COMPOST FILTER SOCK INLET PROTECTION

SCALE: N.T.S.



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Date	By	App'd	Submittal / Revision
10/30/25	BGH	JFT	CITY OF SYRACUSE PROJECT SITE REVIEW SUBMISSION

No.	City of Syracuse
-	-

**SPECIALTY PROPERTIES, LLC**  
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 SYRACUSE, NY 13209

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**PROPOSED COMMERCIAL DEVELOPMENT**  
 1201-1207 W. GENESEE STREET  
 CITY OF SYRACUSE, NEW YORK  
 ONONDAGA COUNTY  
**EROSION & SEDIMENT CONTROL PLAN**  
 Issue Date: 10/30/25 Project No.: 23278 Scale: AS SHOWN

**C-501**



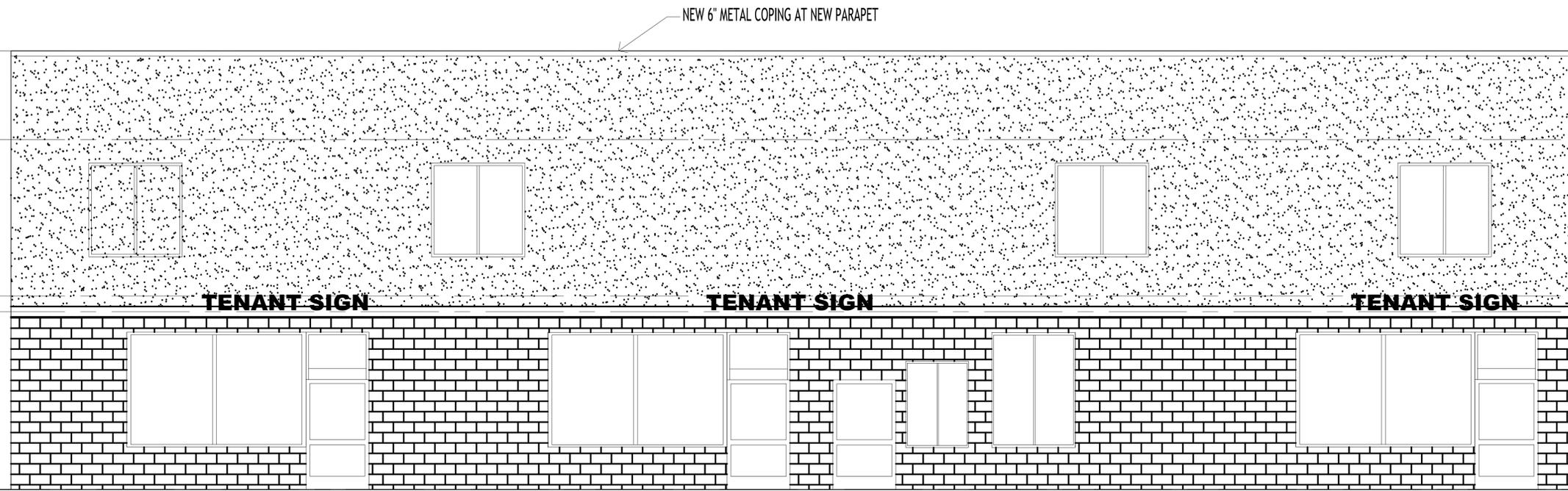


28'-8" TOP OF STRUCTURE

11'-0" CEILING HT

11'-0" CEILING HT

EXIST SLAB LEVEL  
EXG/ NEW GRADE



**SOUTH ELEVATION- (Rear)**  
SCALE : 1/4" = 1'-0"

LOWER AREA OF WALL TO BE 12" CMU AS SELECTED BY OWNER, UPPER PORTION OF WALL TO BE E.I.F.S. EXTERIOR FINISH/  
ALL WINDOW AND DOOR FRAMES TO BE CLEAR ANODIZED ALUMINUM, AND TINTED GLASS

28'-8" TOP OF STRUCTURE

11'-0" CEILING HT

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EXIST SLAB LEVEL  
EXG/ NEW GRADE



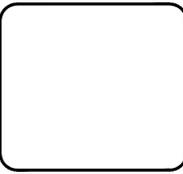
**NORTH ELEVATION- (W. Genessee St)**  
SCALE : 1/4" = 1'-0"

LOWER AREA OF WALL TO BE 12" CMU AS SELECTED BY OWNER, UPPER PORTION OF WALL TO BE E.I.F.S. EXTERIOR FINISH/  
ALL WINDOW AND DOOR FRAMES TO BE CLEAR ANODIZED ALUMINUM, AND TINTED GLASS

ENTRY DOOR- 8'W X 7'H DOOR/ WITH TRANSOM OVERALL HT 10'

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1	CITY OF SYRACUSE PROJECT SITE REVIEW SUBMISSION	JFT	BGH	10/30/25



**SPECIALTY PROPERTIES, LLC**  
1200 STATE FAIR BLVD.  
SYRACUSE, NY 13209

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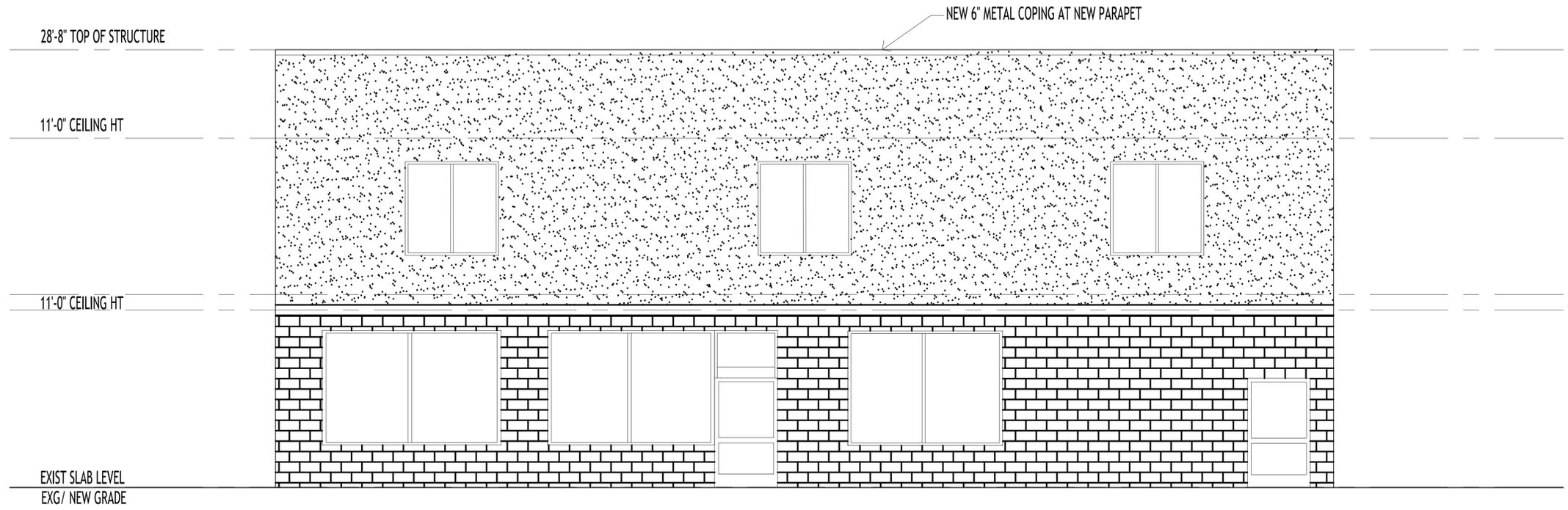
**PROPOSED COMMERCIAL DEVELOPMENT**  
1201-1207 W. GENESSEE STREET  
CITY OF SYRACUSE, NEW YORK  
ONONDAGA COUNTY

**BUILDING ELEVATIONS**

Issue Date: 10/30/25 | Project No.: 23278 | Scale: AS SHOWN

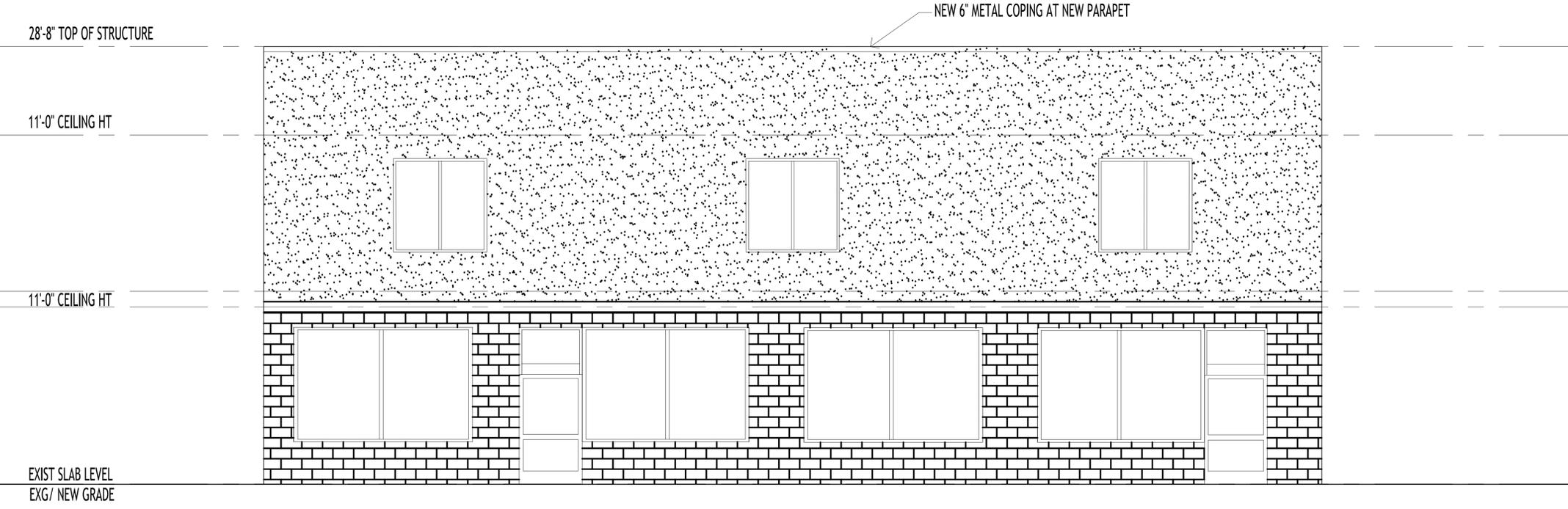
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**EAST ELEVATION**  
 SCALE : 1/4" = 1'-0"

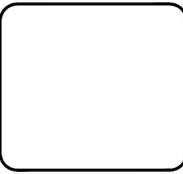
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 ALL WINDOW AND DOOR FRAMES TO BE CLEAR ANODIZED ALUMINUM, AND TINTED GLASS



**WEST ELEVATION**  
 SCALE : 1/4" = 1'-0"

LOWER AREA OF WALL TO BE 12" CMU AS SELECTED BY OWNER, UPPER PORTION OF WALL TO BE E.I.F.S. EXTERIOR FINISH/  
 ALL WINDOW AND DOOR FRAMES TO BE CLEAR ANODIZED ALUMINUM, AND TINTED GLASS

No.	Submitted / Revision	App'd	By	Date
-	CITY OF SYRACUSE PROJECT SITE REVIEW SUBMISSION	JFT	BGH	10/30/25



**SPECIALTY PROPERTIES, LLC**  
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 SYRACUSE, NY 13209

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**PROPOSED COMMERCIAL DEVELOPMENT**  
 1201-1207 W. GENESEE STREET  
 CITY OF SYRACUSE, NEW YORK  
 ONONDAGA COUNTY

**BUILDING ELEVATIONS**

Issue Date: 10/30/25 | Project No.: 23278 | Scale: AS SHOWN

**A-201**



January 8, 2026

Nate(Haohui) Pan  
Economic Development Planner, City of Syracuse  
One Park Place, 300 S State St, Suite 700  
Syracuse, NY 13202

RE: Traffic Assessment: 1201-1207 W. Genesee Street Redevelopment

Mr. Pan,

As requested, CHA Consulting, Inc., (CHA) has prepared a brief trip generation assessment for the proposed redevelopment of 1201-1207 West Genesee Street in Syracuse, New York. This memo will compare the trips generated by the existing/prior site usage with the trips generated by the proposed development during the anticipated peak hours.

### Project Description

The proposed project would redevelop an existing 22,000 square foot retail site and an existing 6,000 square foot auto sales site into a single building containing 6,800 square feet of retail space on the ground floor and an additional 6,800 square feet of office space above.

### Existing and Proposed Trips

Using the current ITE trip generation estimates, the existing / former uses would account for approximately 162 trips during the AM peak hour and 76 trips during the PM peak. Comparatively, the proposed usage is anticipated to generate approximately 57 trips during the AM peak and 28 trips during the PM peak, as summarized in the table below:

<b>Address</b>	<b>USE</b>	<b>SQF</b>	<b>AM TRIPS</b>	<b>PM TRIPS</b>
1201 West Genesee	Retail	22,000	150	60
1207 West Genesee	Auto Sales	6,000	12	16
		Former Peak	162	76
1201-1207 West Genesee	Office	6,800	11	10
	Retail	6,800	46	18
		New Peak	57	28

## Traffic Volumes

According to the available New York State Department of Transportation (NYSDOT) data from 2024, the Average Annual Daily Traffic (AADT) along West Genesee Street at the project location is 14,861 vehicles per day, with a peak-hour maximum of 874 vehicles in the afternoon.

## Conclusion

The proposed re-development is forecast to generate significantly lower peak hour vehicle trips and overall volumes, as compared to the prior usage types. As such, a more detailed traffic analysis is not warranted, and traffic mitigation measures are not anticipated to be required.

Please let me know if you have any questions or require additional information.

Very truly yours,



Luke M. Morenus





## LETTER OF NO JURISDICTION – FRESHWATER WETLANDS

12/09/2025

Ben Harrell

300 S State St, Suite 600, Syracuse, NY, 13202, USA

Sent via email to: BHarrell@chasolutions.com

Re: DEC Freshwater Wetlands Jurisdictional Determination for the requested area mapped below in this letter, Onondaga County

Dear Ben Harrell,

Based on the area identified in your request, the New York State Department of Environmental Conservation (DEC) has determined that there are no DEC regulated freshwater wetlands and/or adjacent areas in the area identified in the map presented below. Therefore, in accordance with Article 24 of the Environmental Conservation Law (ECL) and 6 NYCRR Part 663, no freshwater wetlands permit is required. Pursuant to ECL section 24-0703, this letter shall remain valid for a period of five years from the date it is issued (through 12/07/2030).

Please note that this determination pertains only to state-regulated, freshwater wetlands and regulated adjacent areas. DEC also regulates protected streams, tidal wetlands, coastal erosion hazard areas, and other important environmental resources. Work affecting those areas may also require DEC permits. More information on other DEC permit programs is available online at <https://dec.ny.gov/regulatory/permits-licenses/environmental-permits>.

In addition, please note that this letter does not relieve you of the responsibility of obtaining any other necessary permits or approvals from other local, state, or federal agencies.

If you have questions regarding this determination, please email [FWWjurisdiction@dec.ny.gov](mailto:FWWjurisdiction@dec.ny.gov).





# Onondaga County Planning Board

J. Ryan McMahon, II  
COUNTY EXECUTIVE

## RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

**Meeting Date: 11/25/2025**

**OCPB Case # Z-25-349**

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m, and n, has considered and reviewed the referral for a SITE PLAN from the City of Syracuse Planning Commission at the request of Specialty Properties, LLC for the property located at 1201-1203, 1207 & 1215 West Genesee Street; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Harbor Brook, a county-owned drainage channel; and
- WHEREAS, The applicant is proposing to demolish two existing vacant buildings and construct a two-story commercial building on 0.93 acres in a Mixed-Use Transition (MX-3) zoning district; and
- WHEREAS, the proposed action is further summarized in the attached staff report and may be subject to additional county, state, and/or federal regulations, which may be cited in the staff report; the municipality and applicant are advised to contact the appropriate agencies to ensure these regulations are met, as applicable, prior to or as a condition of municipal approval of the project; this is not an exhaustive list of permit requirements by agencies, but is intended to represent some of the most common regulations; and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board recommends the following MODIFICATION(S) to the proposed action prior to local board approval of the proposed action:

The Onondaga County Department of Water Environment Protects requires the municipality to ensure that no construction of permanent structures occurs which may encroach into the county sanitary sewer easement or affect the county infrastructure. The applicant must contact the Onondaga County Department of Water Environment Protection (WEP) Flow Control Division for any infrastructure-related disturbance of land within the county easement prior to, or as a condition of, municipal approval. County-owned infrastructure must be shown on the plans prior to, or as a condition of, municipal approval.

Every municipal review provides the opportunity to improve community appearance, and the City and applicant are encouraged to add landscaping and other natural screening along the rear of the site to buffer residential properties.

For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

**Case Number:** Z-25-349  
**RelatedCases:** S-25-41  
**Referring Board:** City of Syracuse Planning Commission  
**Type of Action:** SITE PLAN

**Keyword:**  
**Applicant:** Specialty Properties, LLC  
**Location:** at 1201-1203, 1207 & 1215 West Genesee Street  
**Tax Map ID:** 108.2-06-04.0, 108.2-06-05.0, 108.2-06-06.0

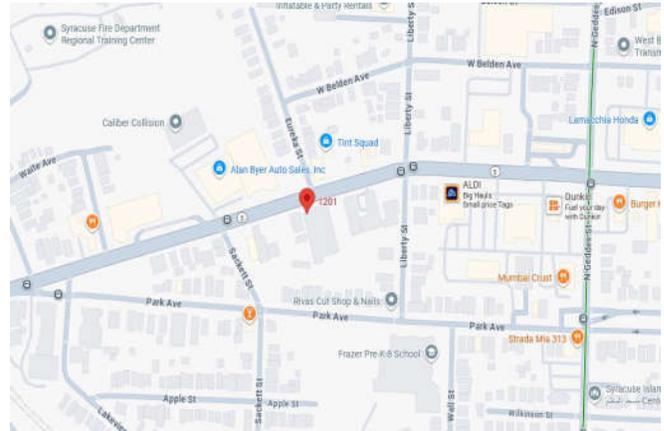
**RECOMMENDATION:** Modification

**JURISDICTION:**

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Harbor Brook, a county-owned drainage channel

**SUMMARY:**

The applicant is proposing to demolish two existing vacant buildings and construct a two-story commercial building on 0.93 acres in a Mixed-Use Transition (MX-3) zoning district



For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

335 Montgomery Street, Syracuse, NY 13202 Phone: 315.435.2611  
Email: [countyplanning@ongov.net](mailto:countyplanning@ongov.net) · Website: [ongov.net/planning/ocpb.html](http://ongov.net/planning/ocpb.html)

**STAFF REVIEW:**

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**Description:** The applicant is proposing to demolish two existing vacant buildings and construct a two-story commercial building on 0.93 acres in a Mixed-Use Transition (MX-3) zoning district

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**Concurrent Reviews:** The Board is concurrently reviewing a subdivision referral (S-25-41) to combine the site into one new lot.

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**Location:** The site is located in the commercial corridor of West Genesee Street, west of downtown Syracuse. Nearby uses include multiple auto dealerships and auto service centers, a funeral home, grocery store, and retail

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**Existing Site Layout:** The site is comprised of three parcels along West Genesee Street. The eastern parcel contains a building that covers most of the lot, the middle parcel contains a single-story building and parking lot, and per aerial imagery, the western parcel is entirely covered by asphalt.

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**Proposed Site Layout:** Per the Resubdivision Map of Lot Nos. 4 through 7, Specialty Properties Phase 2, the applicant is proposing combination of the three parcels comprising the site into New Lot 4A (0.93 acres).

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**Project Detail:** The applicant is proposing demolition of the existing buildings, removal of existing asphalt, and construction of a two-story commercial building. Per the Site Layout Plan dated 10/30/25, the proposed 6,800 sf retail building will be constructed along West Genesee Street in the northeast corner of the site and a 55-space parking lot will be constructed along the side and rear of the building. The referral materials show the building will be utilized by three tenants, but does not specify the type of businesses to be located there.

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

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**Access:** The applicant proposes construction of a new driveway to West Genesee Street, a city street.

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**Landscaping:** Per the Landscape Plan dated 10/03/25, green space and plantings will be installed along the West Genesee Street frontage, around the perimeter of the site, and in two planting islands within the parking lot. Specifically, plantings will be installed along the western boundary between the site and the adjacent commercial site. The Landscape Plan depicts a chain-link fence between the rear of the site and adjacent residential where a landscape strip will be installed, but no shrubbery or other screening is depicted in that location.

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**Stormwater:** Per the Environmental Assessment Form (EAF) dated 10/31/25, 0.9 acres of the site will be disturbed by the proposed project and “stormwater will be managed on site per City of Syracuse stormwater requirements and discharged to storm sewer”. Per the referral materials, it appears the proposal may result in an increase in permeable surfaces on site.

ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), any

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project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.

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**Drinking Water:** A new connection to City public drinking water is proposed to serve the new building.

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**Wastewater:** A new connection to the public sewers is proposed. The site is located in the Metropolitan Wastewater Plant service area. Per GIS Mapping, county-owned sewer infrastructure crosses the western parcel. The sewer line and related easement are not depicted in the referral materials.

ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connections.html>

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**Watersheds:** The site is located in an Onondaga County Drainage District for Harbor Brook, which is maintained by the Department of Water Environment Protection in this area.

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**Historic Resources:** The site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological site inventory (per EAF Mapper).

ADVISORY NOTE: NYS regulations require the applicant and/or municipality is to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review (SEQR) process.

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**Other:** The project is within 2,000 feet of multiple sites (IDs: 734067, 734074) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

#### **RECOMMENDATION: Modification**

**Modification(s):** The Onondaga County Department of Water Environment Protects requires the municipality to ensure that no construction of permanent structures occurs which may encroach into the county sanitary sewer easement or affect the county infrastructure. The applicant must contact the Onondaga County Department of Water Environment Protection (WEP) Flow Control Division for any infrastructure-related disturbance of land within the county easement prior to, or as a condition of, municipal approval. County-owned infrastructure must be shown on the plans prior to, or as a condition of, municipal approval.

**Comment(s):** Every municipal review provides the opportunity to improve community appearance, and the City and applicant are encouraged to add landscaping and other natural screening along the rear of the site to buffer residential properties.

For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

Project:	MaSPR-25-30& R-25-61
Date:	2/2/2026

**Short Environmental Assessment Form  
Part 2 - Impact Assessment**

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse Planning Commission	2/2/2026
Name of Lead Agency	Date
Steven Kulick	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

City of Syracuse

**Parcel History**

01/01/1900 - 01/26/2026

Tax Map #: 108.2-06-05.0

Owners: Specialty Properties, LLC

Zoning: MX-3

Address	Date	Transaction	Transaction Type	Status	Description
1207 Genesee St W	08/30/74	Project	Off Premise Advertising	Approved with	AS-74-175   Off-premise advertising.
1207 Genesee St W	08/18/82	Project	Off Premise Advertising	Approved with	AS-82-023   Off-premise advertising.
1207 Genesee St W	05/07/87	Project	Variance (Converted)	Approved	V-87-025   To permit an existing used car sales lot.
1207 Genesee St W	06/01/89	Project	Variance (Converted)	Approved	V-89-011   To construct an addition to a body shop of auto sales bus. (Sam's Auto Body).
1207 Genesee St W	03/15/94	Project	Screening Device Waiver	Closed	SD-93-52   GROUND SIGN IN R-O-W
1207 Genesee St W	05/11/98	Permit Application	Encroachment (Converted)	Issued	SD-98-13   ENCROACH 15 1/2' INTO THE WEST GENESEE ST R-O-W
1207 Genesee St W	05/11/98	Completed Permit	Encroachment (Converted)	Approved	SD-98-13   ENCROACH 15 1/2' INTO THE WEST GENESEE ST R-O-W   Completed #SD-98-13
1207 Genesee St W	06/14/16	Completed Complaint	Sewer Back Up	Completed	2016-16148   When it rains hard the sewer drain is backing into the parking lot adjacent to sams autobody causing several problems..... Ron 315-427-1857
1207 Genesee St W	11/06/25	Project	Major Site Plan Review	In Review	MaSPR-25-30   Major site plan to demolish two existing vacant buildings and construct a two-story commercial building. reconfigure the on-site off-street parking area and provide new landscaping.  Total area of the site: 0.93 Acres/ 40510.8 SF
1207 Genesee St W	11/13/25	Project	Resubdivision	Active	R-25-61   Combine three parcels ( 1201-03, 1207, 1215 W Genesee St) into one new lot  New lot area: 0.93 Acres/ 40510.8 SF 1201-03 W Genesee St (108.2-06-06.0); 1207 W Genesee St. ( 108.2-06-05.0); 1215 W Genesee St. ( 108.2-06-04.0)

## Parcel History

01/01/1900 - 01/26/2026

Tax Map #: 108.2-06-04.0

Owners: Specialty Properties, LLC

Zoning: MX-3

<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
1215 Genesee St W	04/04/14	Completed Complaint	Creeks Repair Cleaning	Completed	2014-06350   Catch Basin in need of repair.
1215 Genesee St W	12/22/16	Permit Application	Electric	Issued	27116   electric - transfer
1215 Genesee St W	12/29/16	Inspection	Inspector Notification	In Progress	
1215 Genesee St W	01/05/17	Completed Permit	Electric	Completed - No	27116   electric - transfer   Completed #27116
1215 Genesee St W	01/05/17	Inspection	Progress Inspection	Pass	



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Specialty Properties LLC  
From: Haohui Pan, Zoning Planner  
Date: 1/30/2026 9:24:59 AM  
Re: Major Site Plan Review MaSPR-25-30  
1207 Genesee St W, Syracuse, 13204

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
DPW - Sanitation & Sewers	Conditionally Approved	11/10/2025	Vinny Esposito	SWPPP must be submitted and approved by the City Engineer. New storm and sanitary laterals are required with approvals from WEP and the City. Old sewer laterals must be cut and capped at the curb line. All utilities must be located and protected, including Green Infrastructure throughout construction.
DPW - Transportation Planner	Conditionally Approved	11/07/2025	Neil Milcarek-Burke	No major concerns with project as proposed. Existing curb-cuts are to be abandoned and restored to full-height granite curb. Proposed curb-cut/opening is to conform to NYSDOT Type 3 design, 24' max width opening. Applicant is encouraged to split the bike parking between the rear area as shown and the front entrances along the Genesee St W frontage. Applicant should include a varied schedule of hardy perennial plant material along the front greenspace/ foundation , and other facade treatments such as architectural lighting as design allows, to provide a high quality streetscape.
Zoning Planner	Waiting on Board	01/30/2026	Haohui Pan	pending on CPC 2/2/2026
Parks - Forestry	Approved	11/14/2025	Jeff Romano	Forestry requires (3) trees to be planted on the backside of the sidewalk within the ROW. Either shade tree listed on the Plant Schedule shall suffice. Soils shall be excavated to the depth of 3' and new soils placed to promote proper soil volumes for optimum tree health.
Planning Commission	Waiting on Board	01/30/2026	Haohui Pan	pending on CPC 2/2/2026

Eng. Design & Cons. - Zoning	Conditionally Approved	01/07/2026	Mirza Malkoc	<ul style="list-style-type: none"> <li>• All construction in the R.O.W. will require a road cut permit, all construction in the R.O.W. to be per City standards and specifications.</li> <li>• Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review.</li> <li>• This is just a reminder that the new Right-Of-Way fees are in effect. Applicant shall be aware of these fees before applying for road cut permit, liability waiver permit, etc. Different fees are charged to the applicant for using the City's Right-Of-Way for road closures, sidewalk closures, closing parking spaces, staging materials in the Right-Of-Way, parking construction vehicles in the Right-Of-Way, etc.</li> <li>• Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf.</li> <li>• Stormwater Access &amp; Maintenance Agreements shall be submitted for review.</li> <li>• Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties &amp; to the City R.O.W.</li> <li>• The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan &amp; details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council Approval.</li> <li>• Onondaga County Plumbing Control shall review and approve the plans as well.</li> <li>• Applicant shall receive the sewer capacity assurance letter from Onondaga County WEP Department before applying for the building permit.</li> </ul>
Eng. Mapping - Zoning	Approved	11/20/2025	Ray Wills	Work shown should have no impact on Mapping Division assets in the area.
Fire Prevention - Zoning	Conditionally Approved	01/15/2026	George Cowburn Jr.	The Fire Department has no objection to the proposed concept or use of this site as presented. The proposed building height does not appear to trigger aerial apparatus access requirements. Eventual permitting and construction will require a full code review to determine compliance with the 2025 BCNYS.
DPW Traffic Control- Zoning	Conditionally Approved	11/12/2025	Charles Gafrancesco	11.12.25 Conditionally Approved. No concern with project. Applicant will be required to submit an MUTCD compliant work zone traffic control (WZTC) plan for approval during permit process, if the nature of this work will affect pedestrian or vehicular traffic in the public ROW. All temporary traffic control warning signs, flaggers, detours, barriers, barriers, barricades etc., shall be clearly drawn on plan in its respective location and include the sign language, and the MUTCD sign ID number. It is the applicant's responsibility to ensure WZTC plan is compliant with all MUTCD regulations, local, state, county and permitting agency laws. Unclear or non-compliant WZTC plans may delay approval. If the contractor is unfamiliar with requirements, they are instructed to reach out to the central permit office.
Landmark Preservation Board	Internal Review Complete	11/12/2025	Amber Dillon	no preservation concerns