



CITY OF SYRACUSE, MAYOR SHARON F. OWENS
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i>SP-25-36</i>	<i>Staff Report – March 16, 2026</i>
<i>Application Type:</i>	Special Use Permit
<i>Project Address:</i>	751 Van Rensselaer St. Geddes, (Tax Map ID: 107.-12-01.7)
<i>Summary of Proposed Action:</i>	<p>The developer, National Grid, proposes a Special Use Permit to establish " Utility, Major" land use type for an energy center, (aka Thermal Energy Network (UTEN) utility building).</p> <p>The UTEN will harness thermal energy (heat) existing in wastewater at the Onondaga County Metropolitan Syracuse Wastewater Treatment Plant to provide clean, efficient, sustainable heating and cooling to new residential and commercial buildings that are being developed in Syracuse’s Inner Harbor.</p> <p>The energy center will function for housing in-line pumps, a heat exchanger, and other relevant mechanicals.</p> <p>“Utility, Major” land use type is permitted by Special Use Permit under the regulations of the MX-4 Zone District.</p> <p>Total parcel area: 2.76 Acres / 120,225 SF Proposed project site area: 0.982 Acres/ 42,760 SF</p>
<i>Owner/Applicant</i>	COR Van Rensselaer St. Co IV (Owner) Nolan Kokkoris, Bond, Schoeneck & King, PLLC (Applicant & Representative of National Grid)
<i>Existing Zone District:</i>	Urban Core (MX-4) Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the north, south, east, and west are in the Urban Core, MX-4 Zone District.
<i>Companion Application(s)</i>	MaSPR-25-35 Major Site Plan Review to construct a thermal energy center.
<i>Scope of Work:</i>	<p>The scope of works includes:</p> <ol style="list-style-type: none"> 1) Opening a new curb cut for driveway access from Van Rensselaer St.; 2) three (3) parking spaces with 1 ADA accessible places.; 3) Building an energy center consists of transformers, generators, pipes, and other pertinent apparatus.; 4) Constructing a cylinder (diameter of 55 feet, height of 50 feet) thermal storage tank with volume of 750,000 Galon.; 5) Installing impasse II & III rai fence screening the storage tank.
<i>Facts on Project:</i>	<p><u>Existing Conditions</u></p> <ul style="list-style-type: none"> - The land has been vacant for the past 25 years with only grass and trees. <p><u>Nonconformities</u></p> <ul style="list-style-type: none"> - No nonconformities in this vacant parcel. <p><u>Proposed Operation & Future Plan</u></p> <ul style="list-style-type: none"> - The energy center would contain facilities such as circulation pump, thermal storage tank, and heat exchangers. The facilities are designed to be operated in perpetuity with necessary repairment and replacement during regular maintenance. The project is currently under review of the New York State

Department of Public Service Commission.

- According to the applicant, the building would either be demolished or sold to the property owner when the UTEN system is no longer in operation and the lease terminates

Dimensional Standards

- The existing lot meets all Dimensional standards of the MX-4 Zone District.
- The existing total lot coverage (energy center + storage tank + parking surface+ other non-natural surfaces is 57 %, which does not exceed the maximum allowable 95% for “Utility, Major”.
- The developer National Grid will only lease 0.98 acres of land for the proposed use, while the remaining parcel area (1.78 Acres/ 77546.8 SF) is compliant with MX-4 lot Dimensional standards for future commercial or mixed-use development.

Use Specific Standards

- The introduction of hotel land use type will turn the current apartment building of pure multi-dwelling units to a mixed-use building. Therefore, the existing 20 residential units is subject to comply with Mixed Income set Aside due to this redevelopment. Pursuant to Syracuse Zoning Ordinance, the applicant shall provide 10% (2 units) as affordable dwelling units certified by the Department of Neighborhood and Business Development.

Local Land Use and Residential Compatibility

- The site is Urban Core (MX-4), where the Utilities and Infrastructure category, including “Utility, Major” land use type, is permitted by Special Use Permit. The project site is not adjacent to any residential zones or lots used by single or two dwellings; thus, the additional requirement of residential compatibility is applicable.

Off-Street Parking and Loading

- The proposal is for 3 parking spaces, mainly for the maintenance staff.

Landscaping, Buffering, and Screening

- Screening (stronghold rail fence) will be provided around the generators and thermal storage tank. Green space setback will maintain 15 feet at the rear, and 19 feet for the side.

Site, Building Design, and Exterior Lighting

- N/A ;

Signage

- Any proposed signage requires separate building permits subject to review by the Zoning Administration, Central Permit Office, and Preservation Planner if applicable.

Historic Preservation

- This property is not on the City’s Historic Properties list and is not required by the Landmark Preservation Board.

	<p><u>Additional Standards, Building Placement, and Transparency</u></p> <ul style="list-style-type: none"> - N/A; Sections are not applicable to utility buildings. <p><u>Potential Wetland & Arachnological Site</u></p> <ul style="list-style-type: none"> - Although the submitted Short Environmental Assessment Form automatically check Yes on question 13 a regards potential proximity to wetland, there are no informational wetlands indicated on the project site according to the New York State Department of Environmental Conservation (NYSDEC) Environmental Resource Mapper. (see attachment) - The applicant reached out to the State Historic Preservation Office (SHPO) for confirmation whether the proposed project impacts any archaeological resource. Based on the SHPO confirmation letter, no historic properties, including archaeological and/ or historic resources, will be affected by the project. (See attachment)
<p><i>Approval Criteria</i></p>	<p><u>Special Use Permit Plan Approval Criteria</u></p> <p>Consistency with the Intent of the Zoning Ordinance & Comprehensive Plan and Other City Policies</p> <p>The proposed energy center complies with the dimensional, design, and development of the MX-4 District. The project also supports the intent of the MX-4 District by providing infrastructure that serves the surrounding residential and commercial development. With the introduction of the UTEN system, the City’s sustainability goals will be met in the inner harbor area with clean, efficient heating and cooling while decreasing carbon emissions.</p> <p>Compliance with applicable Standards of the Zoning Ordinance and other municipal departments’ standards</p> <p>The proposed land use demonstrates compliance with relevant dimensional, design, and development standards for designing the project site with the most strategic approach in landscaping and parking. All involved municipal departments have reviewed the project and site design and provided no adverse comments. The applicant will comply with the vehicle circulation adjustments required by the Department of Public Works.</p> <p>Compatibility with the Surrounding Area</p> <p>The proposed land use and building are considered compatible with the surrounding area, which primarily consists of vacant lands and commercial buildings. The site is not adjacent to residential neighborhoods, and the project is expected to provide positive impacts and benefits by introducing a sustainable energy alternative for the surrounding community.</p> <p>Compatible with the development of the general neighborhood and existing land uses</p> <p>The proposed use is compatible with the existing neighborhood setting and is not</p>

	<p>going to impede future development in the inner harbor area. According to the applicant, National Grid, potential environmental impacts will be minimized through erosion and sediment control measures and coordination with NYSDEC for guidance.</p> <p>Impacts on pedestrian and vehicular traffic The proposed 3 off-street parking spaces will be opened to National Grid employees only, so not public traffic flow is expected to be generated. The submitted site layout demonstrates a driveway close to the structure and standard 26-foot curb cuts which provide accessibility for emergency vehicles.</p> <p>Minimization of Adverse Impact on Health, Safety, and Welfare The land use of “Utility Major” will not adversely impact the neighborhood. The energy center and UTEN are designed to provide efficient and sustainable heating and cooling services to nearby residential and commercial developments. According to the Short Environmental Assessment form, the project will not create hazards or nuisances, while the site plan demonstrates that there are no narrow alleyways, illegal parking, or dumping places.</p> <p>Impacts on development of the subject property and the use of adjacent land and buildings The proposed energy center will not hinder the development or use of adjacent properties due to its location and design. Instead, the proposed project will benefit the surrounding area by providing reliable energy infrastructure to encourage more investment in the inner harbor area.</p> <p>Adequate Supporting Service The proposed energy center is public utility that only requires minimal demand for supporting services. The expected intensity use will be low and extremely less impactful to the existing service level.</p>
<p>Staff Recommendation:</p>	<p>Staff recommend approving this project.</p>
<p>Recommend conditions if approved:</p>	<ol style="list-style-type: none"> 1. The applicant shall comply with the general conditions for approval on the Site Plan application. (See the attached sheet General Conditions for Site Plan Approval) 2. The applicant shall coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP) Flow Control Division for any infrastructure-related disturbance of land within the county easement and include County-owned infrastructure on the related plans 3. The site plan shall follow the Department of Public Works approval conditions with curb-cut to match driveway dimensions and utilize NYSDOT type 3 opening, 3' max wing curb. Any deviation must be formally requested and turning overlay supplied for departmental review though necessary site and building permit. 4. Any land use type other than “Utility, Major” on this parcel shall require a resubdivision to place the individual land uses on separate parcels
<p>Zoning Procedural History:</p>	<p>- N/A; The subject property has been a vacant parcel</p>

Summary of Zoning History:	The property has been vacant land for decades and has never undergone any development.
Code Enforcement History:	No code enforcement record is available
Zoning Violations:	The proposed lot has no zoning violations.
Summary of Changes:	This is not a continued application.
Property Characteristics:	<u>Existing property characteristics</u> The subject property at 751 Van Rensselaer St. is an irregularly shaped parcel with a lot size of 2.76 Acres / 120,225 SF. The property has two street frontages with 359 FT of N frontage along Van Rensselaer St. To the west frontage with 432 along North Geddes St.; To the south, the property line borders 1042 N Geddes St for 247 FT. To the east, the property line borders 715 Van Rensselaer St. for 450 FT; The parcel is currently vacant.
SEQR Determination:	Pursuant to the 6 NYCRR §617.2(al), the proposal is an Unlisted Action.
Onondaga County Planning Board Referral:	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board on 2/18/2026 with modification comments: <ol style="list-style-type: none"> 1. The applicant shall coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP) Flow Control Division for any infrastructure related disturbance of land within the county easement and include County-owned infrastructure on the related plans 2. The City and applicant are encouraged to consider the addition of screening, landscaping and streetscaping elements to the extent practicable, so as to ensure compatibility with neighboring parcels and expectations for lands within the MX-4 Zone District. (This could be added as an approval condition upon the Planning Commission’s discussion with the applicant)

Application Submittals:

The application submitted the following in support of the proposed project:

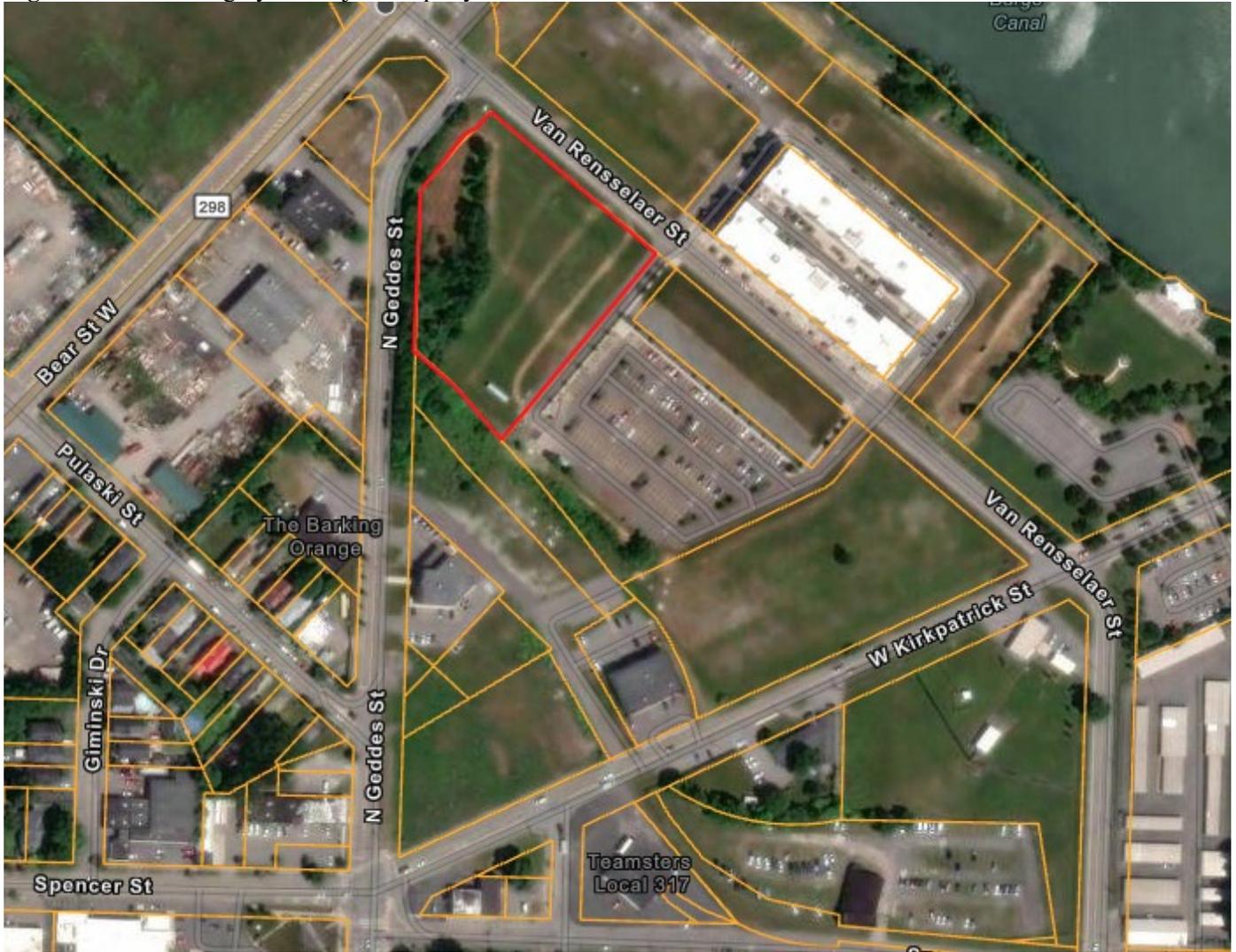
- Major Site Plan Review Special Use Permit Application
- Short Environmental Assessment Form Part 1
- Existing Condition Plan- Energy Center (National Grid UTEN Pilot) ; Prepared by Nationalgrid; Date: 6/16/2025; Drawing number; Scale: As shown
- Civil Site Layout Plan- Energy Center (National Grid UTEN Pilot) ; Prepared by Nationalgrid; Date: 6/16/2025; Drawing number: EC-C-200 ; Scale: As shown
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- Erosion and Sediment Control Plan- Energy Center (National Grid UTEN Pilot ; Prepared by Nationalgrid; Date: 6/16/2025; Drawing number: EC-C-202 ; Scale: As shown
- Site Details- Energy Center (National Grid UTEN Pilot ; Prepared by Nationalgrid; Date: 6/16/2025; Drawing number: EC-C-205-209 ; Scale: As shown

Attachments:

Special Use Permit Application
 OCPB Comments

SEAF supplementary Material
 Comments from City Departments

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>



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<u>MaSPR-25-35</u>	<u>Staff Report – March 16, 2026</u>
Application Type:	Major Site Plan Review
Project Address:	751 Van Rensselaer St. Geddes, (Tax Map ID: 107.-12-01.7)
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Existing Zone District:	Urban Core (MX-4) Zone District
Surrounding Zone Districts:	The neighboring properties to the north, south, east, and west are in the Urban Core, MX-4 Zone District.
Companion Application(s)	SP-25-36 Establish a “Major, Utility” land use type.
Scope of Work:	<p>The scope of works includes:</p> <ol style="list-style-type: none"> 1) Opening a new curb cut for driveway access from Van Rensselaer St.; 2) three (3) parking spaces with 1 ADA accessible places.; 3) Building an energy center consists of transformers, generators, pipes, and other pertinent apparatus.; 4) Constructing a cylinder (diameter of 55 feet, height of 50 feet) thermal storage tank with volume of 750,000 Galon.; 5) Installing impasse II & III rai fence screening the storage tank.
Facts on Project:	<p><u>Existing Conditions</u></p> <ul style="list-style-type: none"> - The land has been vacant for the past 25 years with only grass and trees. <p><u>Nonconformities</u></p> <ul style="list-style-type: none"> - No nonconformities in this vacant parcel. <p><u>Proposed Operation & Future Plan</u></p> <ul style="list-style-type: none"> - The energy center would contain facilities such as circulation pump, thermal storage tank, and heat exchangers. The facilities are designed to be operated in perpetuity with necessary repairment and replacement during regular maintenance. The project is currently under review of the New York State

Department of Public Service Commission.

- According to the applicant, the building would either be demolished or sold to the property owner when the UTEN system is no longer in operation and the lease terminates

Dimensional Standards

- The existing lot meets all Dimensional standards of the MX-4 Zone District.
- The existing total lot coverage (energy center + storage tank + parking surface+ other non-natural surfaces is 57 %, which does not exceed the maximum allowable 95% for “Utility, Major”.
- The developer National Grid will only lease 0.98 acres of land for the proposed use, while the remaining parcel area (1.78 Acres/ 77546.8 SF) is compliant with MX-4 lot Dimensional standards for future commercial or mixed-use development.

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- Any proposed signage requires separate building permits subject to review by the Zoning Administration, Central Permit Office, and Preservation Planner if applicable.

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<p><i>Approval Criteria</i></p>	<p><u>Major Site Plan Approval Criteria</u></p> <p>Consistency with the General Purpose and Intent of the Ordinance: The proposed energy center aligns with the MX-4 District’s intent to encourage various commercial and residential uses by upgrading the lakefront area with sufficient energy capacity to accommodate potential larger-scale commercial and residential use. The development</p> <p>Consistency with Dimensional & Design Development Standard of Zoning Ordinance: The project meets all applicable dimensional standards for the MX-4 District. Lot coverage is substantially low, as 57%, and the required building story is met for the energy center and other utility facilities.</p> <p>Consistency with the Comprehensive Plan and Other Adopted City Policies and Plans: The proposed building is consistent with the Comprehensive Plan and adopted City policies by supporting reinvestment in vacant properties, providing public utility for future development.</p>
<p>Staff Recommendation:</p>	<p>Staff recommend approving this project.</p>

<p><i>Recommend conditions if approved:</i></p>	<ol style="list-style-type: none"> 1. The applicant shall comply with the general conditions for approval on the Site Plan application. (See the attached sheet General Conditions for Site Plan Approval) 2. The applicant shall coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP) Flow Control Division for any infrastructure related disturbance of land within the county easement and include County-owned infrastructure on the related plans 3. The site plan shall follow the Department of Public Works approval conditions with curb-cut to match driveway dimensions and utilize NYSDOT type 3 opening, 3' max wing curb. Any deviation must be formally requested and turning overlay supplied for departmental review though necessary site and building permit. 4. Any land use type other than “Utility, Major” on this parcel shall require a resubdivision to place the individual land uses on separate parcels
<p><i>Zoning Procedural History:</i></p>	<p>- N/A; The subject property has been a vacant parcel</p>
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<p><i>Zoning Violations:</i></p>	<p>The proposed lot has no zoning violations.</p>
<p><i>Summary of Changes:</i></p>	<p>This is not a continued application.</p>
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<p><i>SEQR Determination:</i></p>	<p>Pursuant to the 6 NYCRR §617.2(al), the proposal is an Unlisted Action.</p>
<p><i>Onondaga County Planning Board Referral:</i></p>	<p>Pursuant to GML §239-1, m and n, the proposal was reviewed by the Onondaga County Planning Board on 2/18/2026 with modification comments:</p> <ol style="list-style-type: none"> 1. The applicant shall coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP) Flow Control Division for any infrastructure related disturbance of land within the county easement and include County-owned infrastructure on the related plans 2. The City and applicant are encouraged to consider the addition of screening, landscaping and streetscaping elements to the extent practicable, so as to ensure compatibility with neighboring parcels and expectations for lands within the MX-4 Zone District. (This could be added as an approval condition upon the Planning Commission’s discussion with the applicant)

MaSPR-25-35

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review Application
- Short Environmental Assessment Form Part 1
- Existing Condition Plan- Energy Center (National Grid UTEN Pilot) ; Prepared by Nationalgrid; Date: 6/16/2025; Drawing number; Scale: As shown
- Civil Site Layout Plan- Energy Center (National Grid UTEN Pilot) ; Prepared by Nationalgrid; Date: 6/16/2025; Drawing number: EC-C-200 ; Scale: As shown
- Grading and Drainage Plan- Energy Center (National Grid UTEN Pilot); Prepared by Nationalgrid; Date: 6/16/2025; Drawing number: EC-C-201 ; Scale: As shown
- Erosion and Sediment Control Plan- Energy Center (National Grid UTEN Pilot ; Prepared by Nationalgrid; Date: 6/16/2025; Drawing number: EC-C-202 ; Scale: As shown
- Site Details- Energy Center (National Grid UTEN Pilot ; Prepared by Nationalgrid; Date: 6/16/2025; Drawing number: EC-C-205-209 ; Scale: As shown

Attachments:

Major Site Plan Review Application
OCPB Comments

SEAF supplementary Material
Comments from City Departments

General Conditions for
Site Plan Review, Special Use Permit
and Project Plan Review Approval

1. The subject premises shall be used, operated and maintained in a neat and orderly condition at all times; all outside storage of junk, bottles, cartons, boxes, debris and the like shall be restricted to appropriately screened enclosures not visible to the general public.
2. All necessary permits relating to this proposal shall be obtained by the applicant or its agents within twelve (12) months of the date of approval of this resolution by the City of Syracuse and all conditions of the approval shall be met within eighteen (18) months of the date of approval of this resolution by the City of Syracuse, or this approval will be considered null and void; administrative extensions to this requirement for up to one year may be obtained from the Zoning Administrator at any time within the first twelve (12) months, after which, any and all extensions require approval from the City Planning Commission;
3. All Development Standards of Syracuse Zoning Ordinance shall be adhered to.
4. No signage was approved as part of this application; proposed signage must be submitted to the City of Syracuse Office of Zoning Administration for review and approval.
5. Approval of project does not relieve the applicant from compliance with any other regulatory or licensing provisions applicable thereto by the properly constituted Federal, State, County or City authorities to include, but not limited to the City of Syracuse Departments of Engineering and Public Works, and the Division of Code Enforcement.
6. Prior to work commencing, all required permits must be obtained from the Central Permitting Office in the Division of Code Enforcement located at One Park Place, 1st Floor, at 300 South State Street, New York.



Office of Zoning Administration

CITY OF SYRACUSE, MAYOR BEN WALSH

Jacob R. Dishaw
Zoning Administrator

Zhitong Wu
Director of Zoning

Meira Hertzberg
Land Use & Zoning
Attorney

Haohui Pan
Zoning Planner II

Amber Dillon
Zoning Planner II

Noah Garcia
Zoning Planner II

Nolan Kokkories
Bond, Schoeneck & King, PLLC
2/2/2026

Re: Application Completeness for City Planning Commission

Dear Nolan Kokkories,

On 02/2/2026, Nate Pan determined the proposed project SP-25-36 & MaSPR-25-35 to be complete.

All landowners and applicants shall appear in person at the hearing, or by a properly authorized representative or agent. An authorized agent who is thoroughly familiar with all aspects of the appeal and who is able to testify as to all issues may appear if he or she holds a properly signed and executed document showing that they have authority to proceed on behalf of the landowner or applicant. Proof of signed and executed document must be submitted to Nate Pan at least six (6) business days before the public hearing and must be notarized. Failure to have representation appear before the City Planning Commission two consecutive meetings will result in your project proposal to be denied. Any updates to deliverables (such as site plan, changes in proposed work etc.) must be submitted to Nate Pan at least six (6) business days before the date of the hearing.

If the proposed project is held open for another public hearing and/or meeting to resolve any outstanding concerns, updated plans or any other requested documents shall be submitted to Zoning Administration staff NO FEWER than six (6) days prior to the hearing. Failure to submit by this deadline shall cause the item to be removed from the next meeting agenda.

GROWTH. DIVERSITY. OPPORTUNITY FOR ALL.

Office of Zoning Administration 300 South State Street, Suite 700 Syracuse, NY 13202

Office 315 448 8640 zoning@syr.gov www.syr.gov

ON THIS SITE AT 751 VAN RENSSELAER ST.
SPECIAL USE PERMIT AND MAJOR SITE
PLAN REVIEW APPLICATION TO ESTABLISH
A 'UTILITY, MAJOR' LAND USE TYPE AND
BUILD AN ENERGY CENTER TO PROVIDE
ENERGY TO SUPPORT THE RESIDENTIAL
AND COMMERCIAL BUILDINGS IN
IN SYRACUSE'S INNER HARBOR.
THIS MATTER WILL BE DISCUSSED AT
A CITY PLANNING COMMISSION MEETING
ON MARCH 16, 2026, AT 6:00 P.M.
IN THE COMMON COUNCIL CHAMBERS,
CITY HALL, SYRACUSE, NEW YORK.

3/6/2026 12:58 PM



For Office Use Only	
Zone District:	_____
Application Number:	_____ - _____ - _____
Date:	_____

Office of Zoning Administration
 300 S State St, Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syr.gov.net

Site Plan Review Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name: Niagara Mohawk Power Corp. d/b/a National Grid- Utility Thermal Energy Network Energy Center	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 751 Van Rensselaer St	
Tax Map ID#: 107.-12-01.7	Lot size (sq. ft.): 154,855
Current use of property: Vacant	Proposed: Utility, major
Current number of dwelling units (if applicable):	Proposed:
Current number of affordable dwelling units (if applicable):	Proposed:
Current onsite parking (if applicable):	Proposed:
Zone District (base and any overlay) of property: MX-4	
Companion zoning applications (if applicable, list any related zoning applications):	
<h2>Special Permit - Major Utility</h2>	
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor	
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes	
Detailed description of the project (required): National Grid is proposing to construct a Utility Thermal Energy Network (UTEN) in compliance with the Utility Thermal Energy Network and Jobs Act and under direction from the NYS Public Service Commission. The Syracuse UTEN is a type of district thermal system that is proposed to harness thermal energy (heat) existing in wastewater at the Onondaga County Metropolitan Syracuse Wastewater Treatment Plant to provide clean, efficient, sustainable heating and cooling to new residential and commercial buildings that are being developed in Syracuse's Inner Harbor. As a component of the system, a utility building ("The Energy Center") is required to be constructed along the loop to house in-line pumps, heat exchangers, and other mechanicals. The attached site plan outlines the proposed building layout for the 751 Van Rensselaer St site.	

Special Use Permit Application



For Office Use Only

Zoning District: _____

Application Number: SP- _____ - _____

Date: _____

Office of Zoning Administration
 One Park Place, 300 S State St,
 Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syrgov.net

Special Use Permit Application

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General Project Information

Business/project name: National Grid Utility Thermal Energy Network Energy Center		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 751 Van Rensselaer St		
Lot numbers: 107.-12-01.7	Block number:	Lot size (sq. ft.) 154,855
Current use of property: Vacant	Proposed: Utility, major	
Current number of dwelling units (if applicable):	Proposed:	
Current hours of operation (if applicable):	Proposed:	
Current onsite parking (if applicable):	Proposed:	
Zoning (base and any overlay) of property: <b style="font-size: 1.2em;">MX-4		
Companion zoning applications (if applicable, list any related zoning applications): Site plan, area variance		
Has the owner obtained a certificate of use: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
All existing and proposed signs (sign plan may be required. Attach additional pages if necessary):		
Size:	Type:	Location:
Size:	Type:	Location:
Nature and extent of Special Use requested (attach additional pages if necessary): Requesting special permit for major utility use in MX-4 zone in connection with proposed Utility Thermal Energy Network (UTEN) utility building. The Syracuse UTEN is a type of district thermal system that is proposed to harness thermal energy (heat) existing in wastewater at the Onondaga County Metropolitan Syracuse Wastewater Treatment Plant to provide clean, efficient, sustainable heating and cooling to new residential and commercial buildings that are being developed in Syracuse's Inner Harbor. As a component of the system, a utility building ("The Energy Center") is required to be constructed along the loop to house in-line pumps, heat exchangers, and other mechanicals.		



Site Plan Review Application

Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

Print owner's name: COR Van Rensselaer St Co IV

Signature: [Handwritten Signature]

Date: NOV 12, 2025

Mailing address: 640 Towne Drive, Fayetteville, NY 13066

Phone: 315-569-6534

Email: [Redacted]

Print authorized agent's name: Bond, Schoeneck & King, PLLC

Date:

Signature: [Handwritten Signature]

Mailing address: One Lincoln Center, Syracuse, NY 13202

Phone: 315-218-8279

Email: [Redacted]

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- APPLICATION - filled out completely, dated, and signed by property owner as instructed
STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR) - Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
PHOTOGRAPHS (COLOR) of the PROJECT SITE - keyed to a property survey or site plan
PHOTOGRAPHS (COLOR) of the STREETScape - including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
APPLICATION FEE - \$0

Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, separate site plan review applications must be submitted for each project site. Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation.

- AS BUILT PROPERTY SURVEY(S) of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
SITE PLAN(S) illustrating site alterations and post project conditions that are/will be different from the as built property survey including:

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

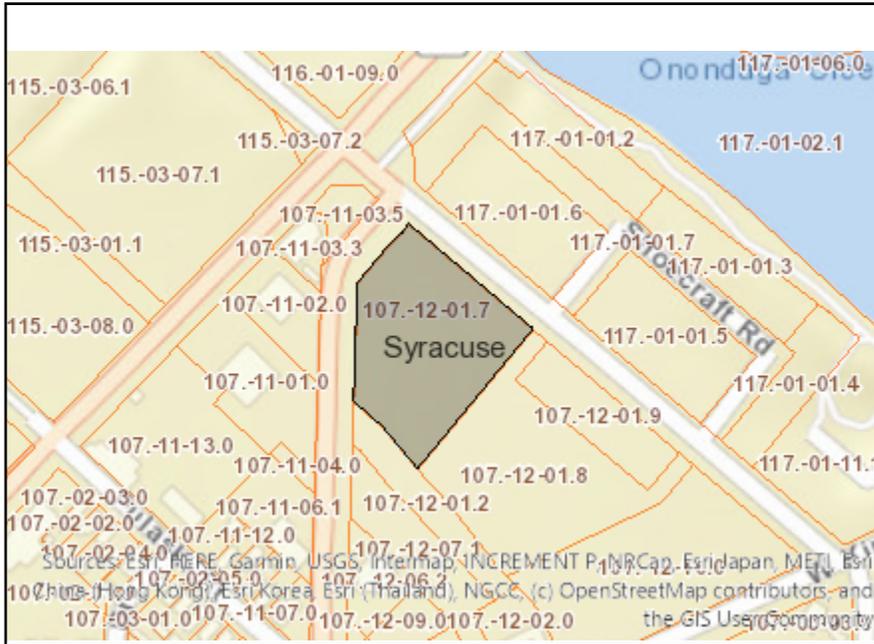
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Niagara Mohawk Power Corporation d/b/a National Grid			
Name of Action or Project: National Grid Utility Thermal Energy Network Energy Center			
Project Location (describe, and attach a location map): 751 Van Rensselaer Street (Tax Map Parcel 107.-12-01.7)			
Brief Description of Proposed Action: National Grid is proposing to construct a Utility Thermal Energy Network (UTEN) in compliance with the Utility Thermal Energy Network and Jobs Act and under direction from the NYS Public Service Commission. The Syracuse UTEN is a type of district thermal system that is proposed to harness thermal energy (heat) existing in wastewater at the Onondaga County Metropolitan Syracuse Wastewater Treatment Plant to provide clean, efficient, sustainable heating and cooling to new residential and commercial buildings that are being developed in Syracuse's Inner Harbor. As a component of the system, a utility building ("The Energy Center") is required to be constructed along the loop to house in-line pumps, heat exchangers, and other mechanicals.			
Name of Applicant or Sponsor: Niagara Mohawk Power Corporation d/b/a National Grid		[REDACTED]	
Address: 300 Erie Boulevard West		[REDACTED]	
City/PO: Syracuse	State: NY	Zip Code: 13202	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Syracuse Common Council - Special Use Permit; NYS DPS- UTEN Pilot Approval		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 2.76 acres	
b. Total acreage to be physically disturbed?		_____ 0.982 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 2.76 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
_____ Construction will have a stormwater pollution prevention plan (SWPPP) for management of construction stormwater; project will feature post-construction stormwater management elements to manage stormwater on-site.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____ Nearest remediation site is McKesson EnviroSystems Superfund site located at 800/801 Van Rensselaer Street; does not adjoin project site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Nathan Butera, National Grid</u> Date: <u>7/10/2025</u>		
Signature: <u><i>Nathan Butera</i></u> Title: <u>Manager</u>		



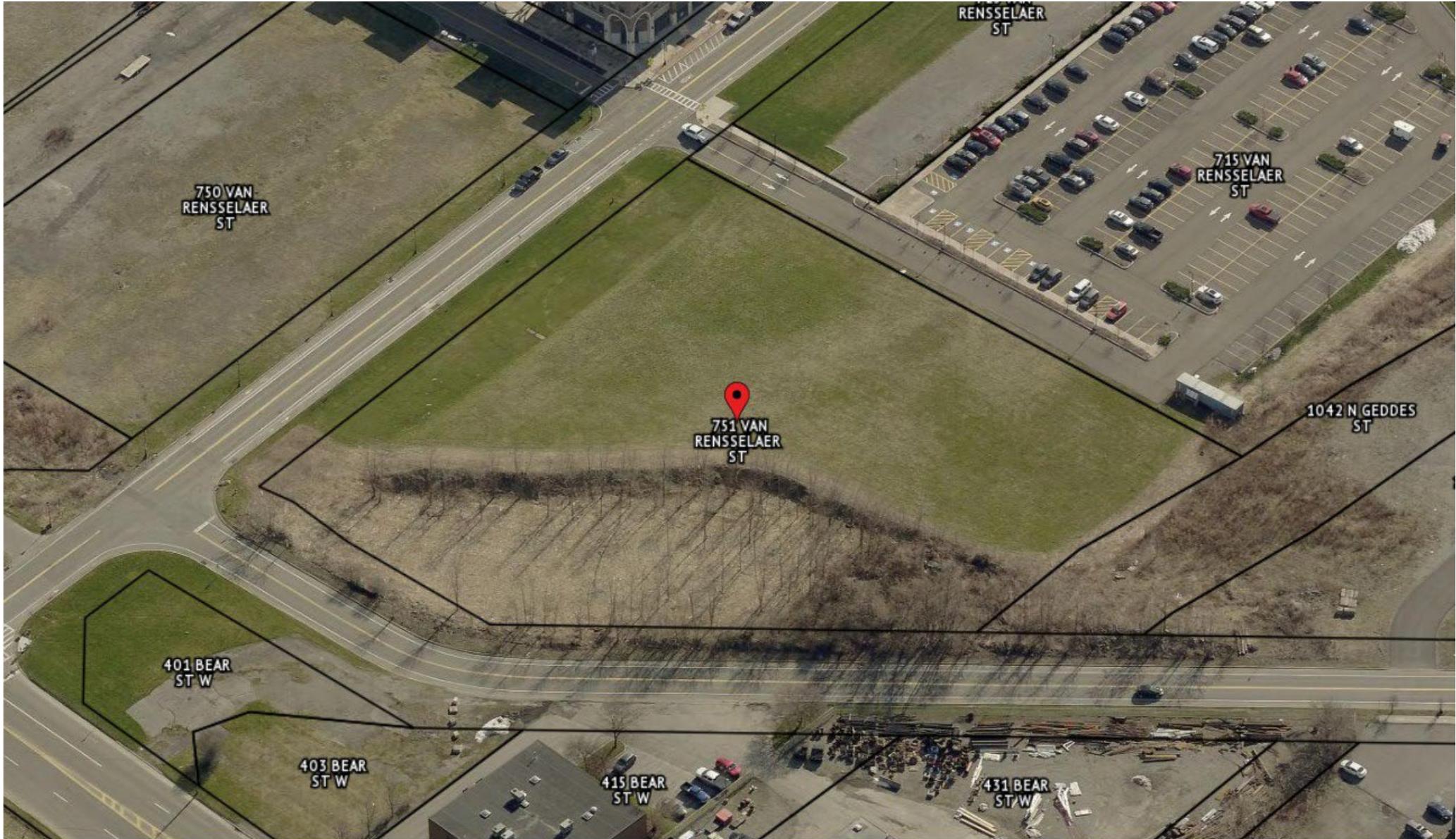
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



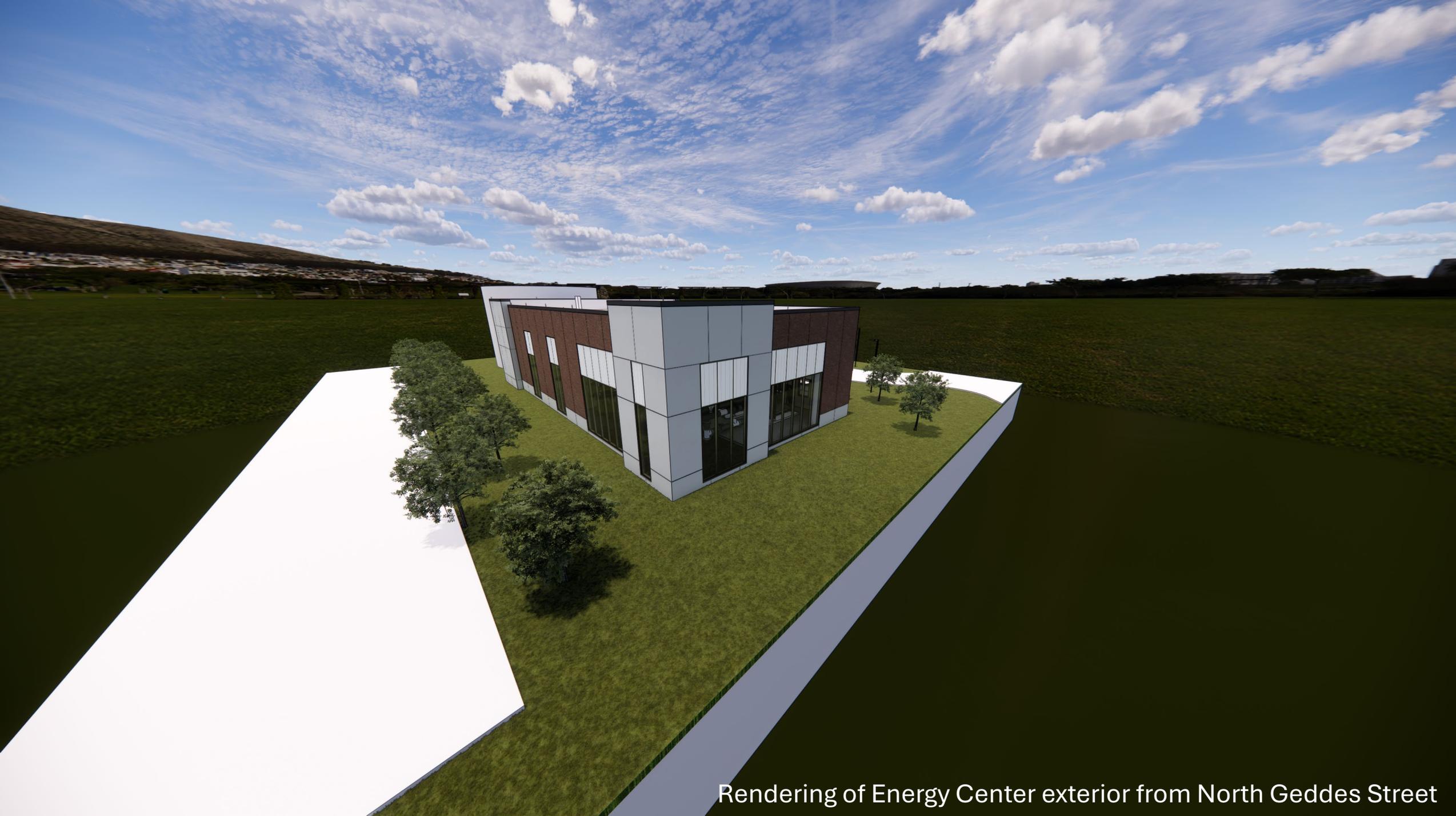
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



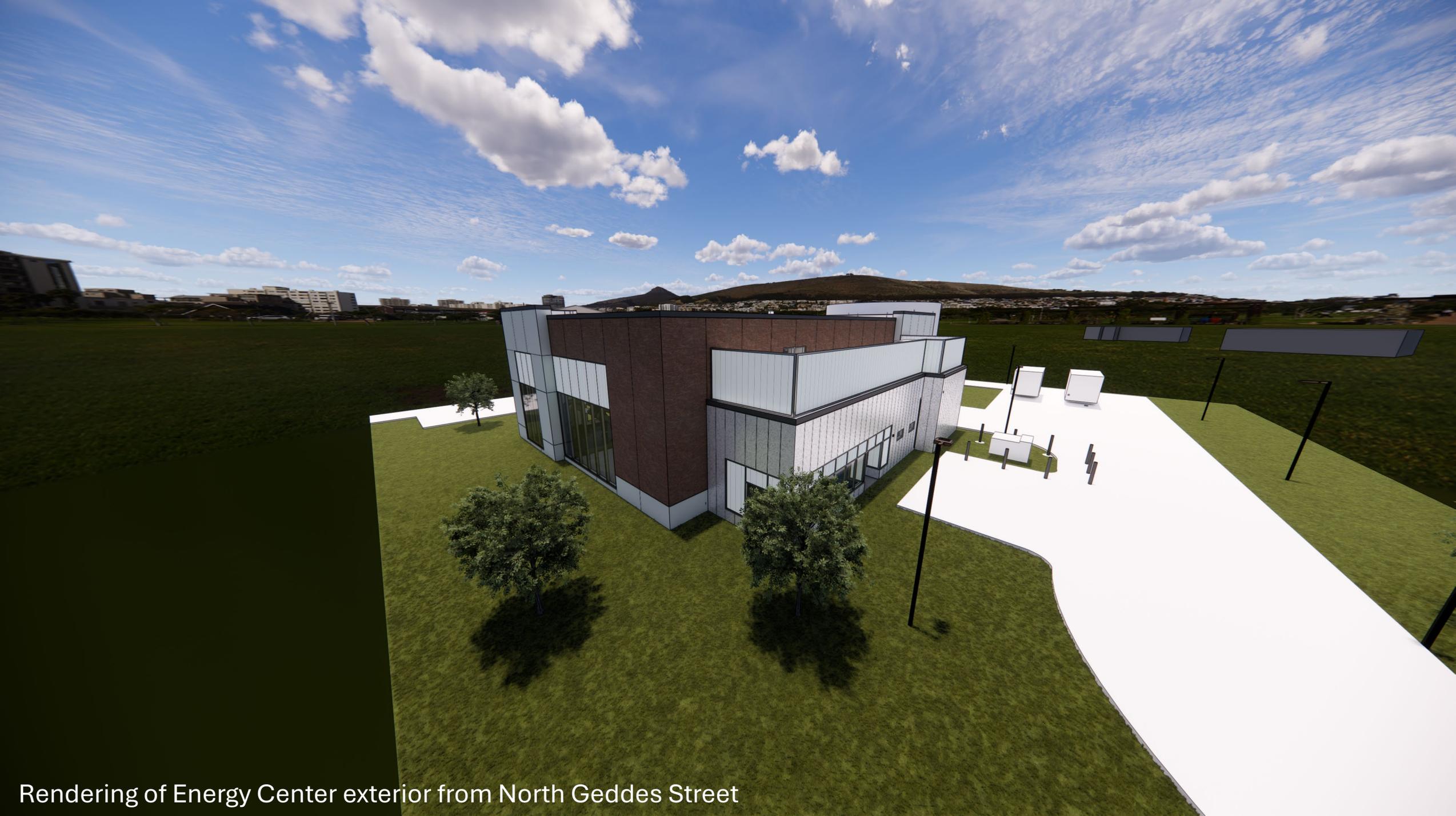
Street view from North Geddes St. (9/9/25)



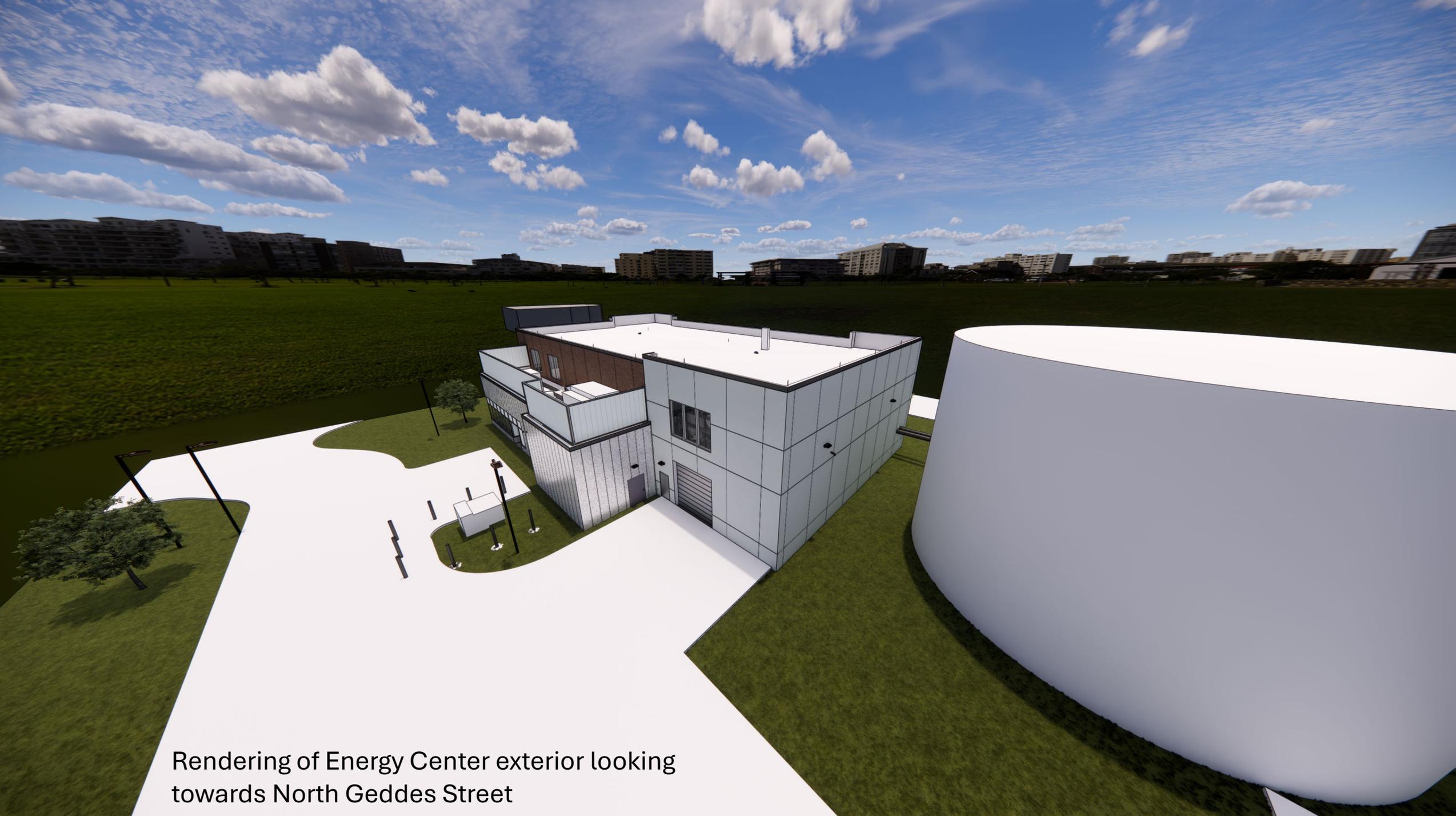
Oblique aerial view of intersection of Van Rensselaer and North Geddes St. (2024)



Rendering of Energy Center exterior from North Geddes Street

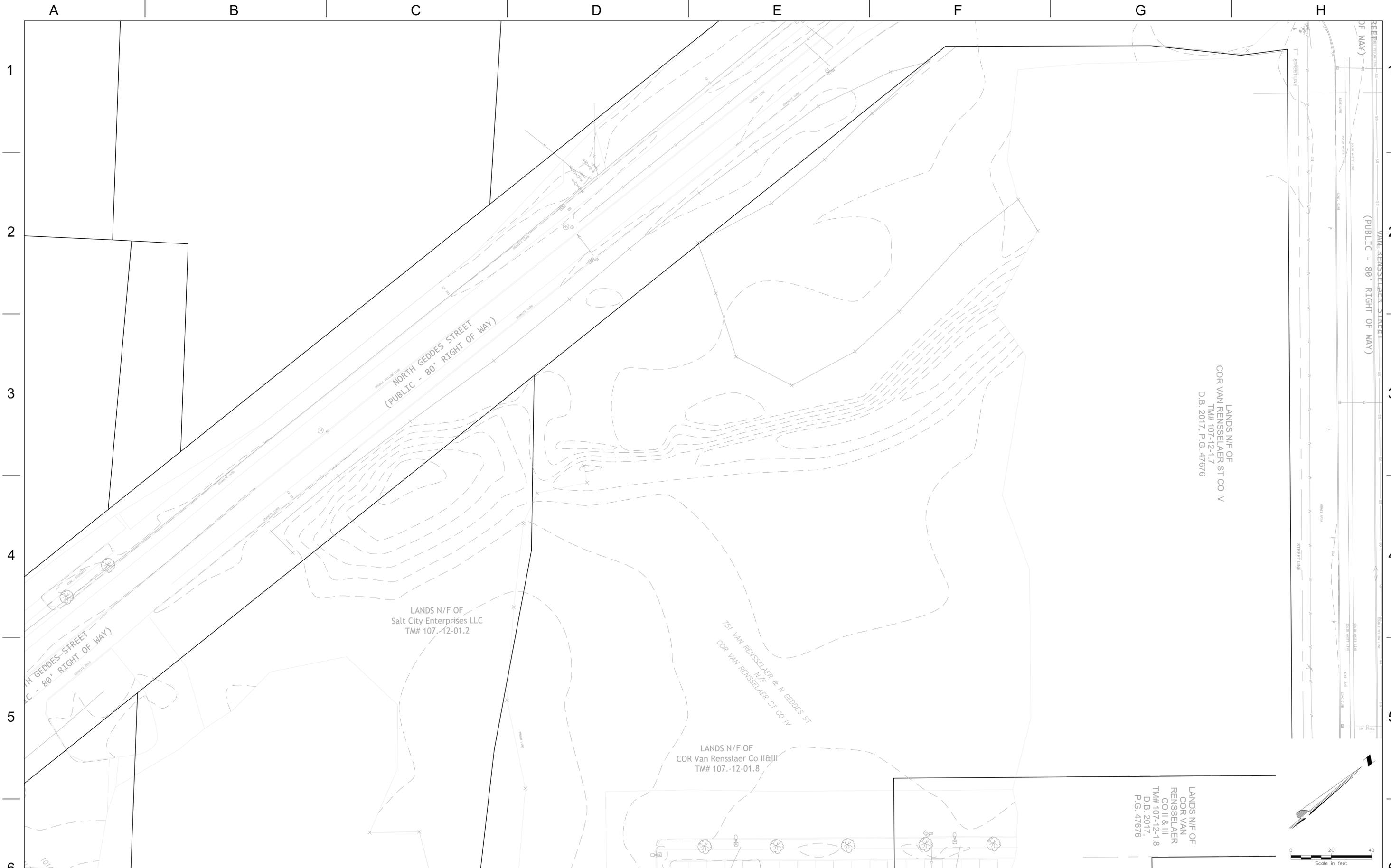


Rendering of Energy Center exterior from North Geddes Street



Rendering of Energy Center exterior looking towards North Geddes Street

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111 Winners Circle, P.O. Box 5269
 Albany, NY 12205-0269
 518.453.4500 www.chasolutions.com

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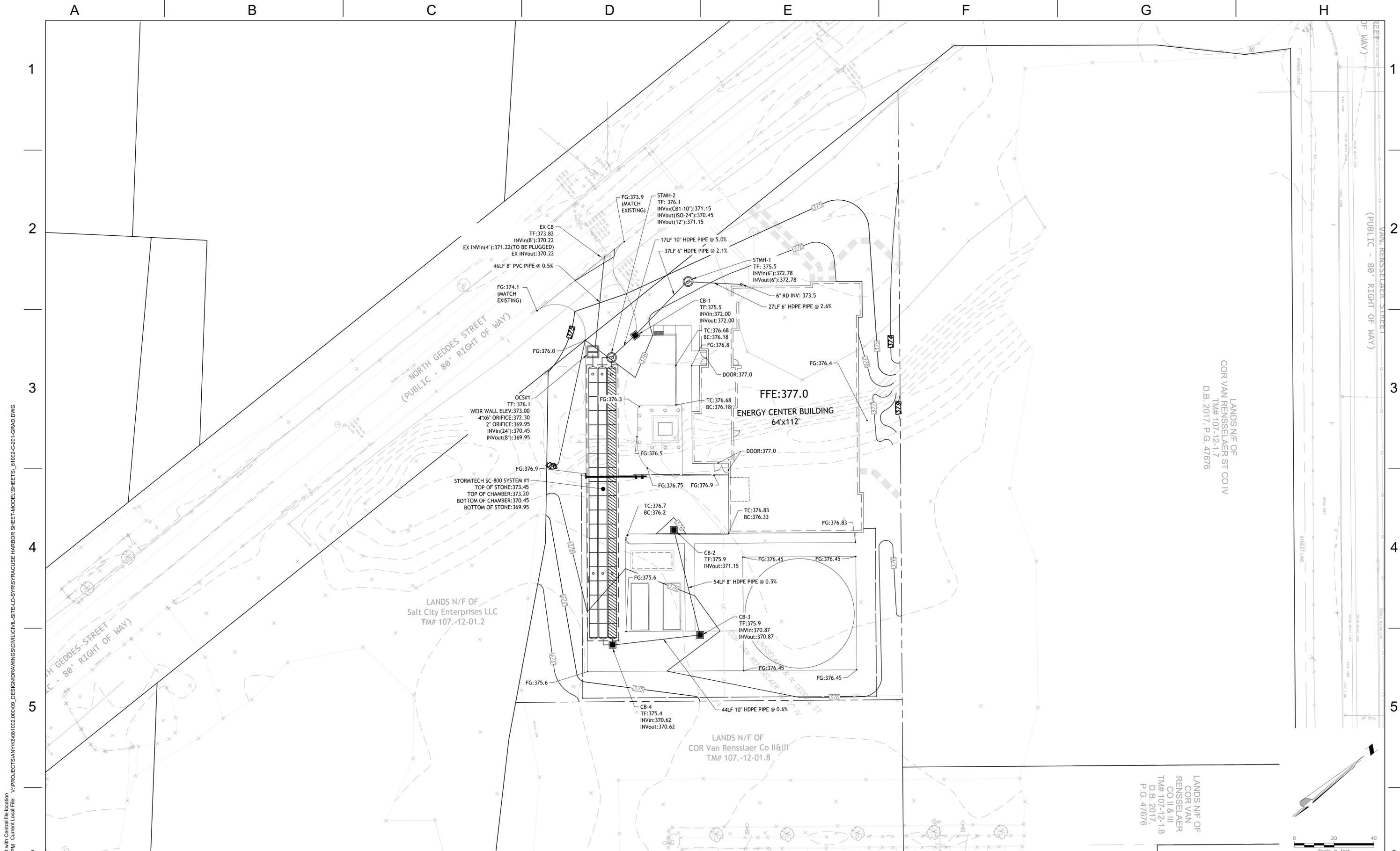
NO.	DATE	DESCRIPTION OF ISSUE OR REVISION	DR.	CK.	APP.	NO.	DATE	DESCRIPTION OF ISSUE OR REVISION	DR.	CK.	APP.
A	6/16/2025	100% REVIEW SET	CKZ	BH							

DES.	CKZ	APPROVED
DR.	CKZ	APPROVED
CK.	AMV	APPROVED
		APPROVED

PREPARED BY

ACCOUNT NUMBER

ENERGY CENTER	ORIGINAL ISSUE DATE	06/16/2025
EXISTING CONDITIONS PLAN	FILE INDEX	081002
NATIONAL GRID UTEN PILOT - SYRACUSE	DRAWING NUMBER	EC-C-200A
	SHEET NUMBER	



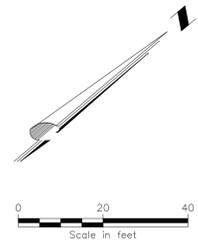
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LANDS N/F OF
 COR VAN RENSSELAER ST CO IV
 TM# 107.-12-1.7
 D.B. 2017, P.G. 47676

LANDS N/F OF
 Salt City Enterprises LLC
 TM# 107.-12-01.2

LANDS N/F OF
 COR Van Rensselaer Co II&III
 TM# 107.-12-01.8

LANDS N/F OF
 COR VAN
 RENSSELAER
 CO II & III
 TM# 107-12-1.8
 D.B. 2017,
 P.G. 47676



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DES.	APPROVED	CKZ
DR.	APPROVED	CKZ
CK.	APPROVED	AMV
APP.	APPROVED	

PREPARED BY

ENERGY CENTER
 GRADING AND DRAINAGE PLAN
 NATIONAL GRID UTEN PILOT - SYRACUSE

ORIGINAL ISSUE DATE	06/16/2025
FILE INDEX	081002
DRAWING NUMBER	EC-C-201
SHEET NUMBER	

EROSION & SEDIMENT CONTROL SPECIFICATION

ONE WEEK PRIOR TO BEGINNING EARTHWORK OPERATIONS, A PRE-CONSTRUCTION MEETING WILL BE HELD TO DISCUSS THE EROSION AND SEDIMENT CONTROL PLAN, AND TO FINALIZE THE PAPER WORK FOR THE STORM WATER POLLUTION PREVENTION PLAN AS SPECIFIED IN THE NYSDEC STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITIES (GP-0-25-001).

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED PRIOR TO BEGINNING ANY LAND DISTURBANCE ACTIVITIES. THE DEVICES PROVIDING PROTECTION TO A GIVEN AREA SHALL NOT BE REMOVED UNTIL THE LANDS IN THAT AREA ARE STABILIZED.

NO DISTURBED AREA SHALL REMAIN EXPOSED FOR MORE THAN 7 CALENDAR DAYS, EXCEPT FOR PORTIONS OF THE SITE IN WHICH WORK WILL BE CONTINUOUS BEYOND 7 DAYS (I.E., BUILDING).

CONSTRUCTION SEQUENCE:

GENERAL NOTES:

- FILTER SOCK/SILT FENCE MUST BE INSTALLED AT THE TOE OF SLOPES WITH BUFFER AREAS PER BLUE BOOK GUIDELINES.
- BACKFILL SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL TRENCHES DURING UTILITY CONSTRUCTION.
- PROTECT ALL EXISTING STORM SEWER FACILITIES, ADJACENT ROADWAYS AND SURROUNDING PROPERTIES FROM SEDIMENT TRANSPORT.
- CONCRETE/SLURRY FROM CONCRETE TRUCKS MUST BE CONTAINED IN A CONCRETE WASHOUT.

GENERAL SEQUENCE:

- INSTALL FILTER SOCK OR SILT FENCE AS SHOWN. ADDITIONAL SOCK/FENCE MAY BE INSTALLED AS NECESSARY.
- REMOVE TREES WITHIN LIMITS OF DISTURBANCE.
- ROUGH GRADE SITE PER DESIGN.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN. LIMIT ALL VEHICULAR TRAFFIC TO THIS ENTRANCE ONLY.
- PROVIDE FILTER SOCK OR SILT FENCE AROUND PERIMETER OF ANY STAGED/STOCKPILED TOP SOIL AND/OR TEMPORARY STAGED PILE OR FILL.
- INSTALL UTILITIES AND STORM SYSTEM. INSTALL INLET PROTECTION. USE FILTER BAG INLET PROTECTION FOR EXISTING CBS ALONG NORTH GEDDES STREET. USE DROP INLET OR FILTER SOCK INLET PROTECTION FOR PROPOSED CBS. TRENCHES SHALL BE BACKFILLED/COMPACTED AND STABILIZED IMMEDIATELY AFTER BACKFILL OPERATION.
- CONSTRUCT BUILDING.
- ALL GRADED AREAS ARE TO BE SEEDED AND MULCHED FOR VEGETATIVE COVER IMMEDIATELY UPON COMPLETION OF EARTHWORK OPERATION.
- CONSTRUCT DRIVEWAYS AND PARKING AREAS.
- CONSTRUCT SIDEWALKS.
- COMPLETE FINAL GRADING AND INSTALL PERMANENT SEEDING AND MULCH.
- WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND GROUND IS STABILIZED, REMOVE EROSION CONTROL MEASURES AND RESEED ANY DISTURBED AREAS CREATED BY THEIR REMOVAL.

INSPECTION PROCEDURES & MAINTENANCE:

- DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE TEMPORARY EROSION CONTROL FACILITIES. ALSO, AREAS THAT HAVE BEEN SEEDED WILL BE INSPECTED REGULARLY AFTER SEED GERMINATION TO ENSURE COMPLETE COVERAGE OF EXPOSED AREAS.
- INSPECTIONS OF ALL DEVICES SHALL BE COMPLETED WEEKLY. REPAIRS SHOULD BE COMPLETED IMMEDIATELY UPON DISCOVERY OF DEFICIENCIES.
- THE OWNER WILL DESIGNATE A QUALIFIED PERSON(S) TO PERFORM THE FOLLOWING INSPECTIONS:
 - STABILIZATION MEASURES: DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION WILL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. AFTER A PORTION OF THE SITE IS FINALLY STABILIZED, INSPECTIONS WILL BE CONDUCTED AT LEAST ONCE EVERY MONTH THROUGHOUT THE LIFE OF THE PROJECT.
 - STRUCTURAL CONTROLS: ALL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN WILL BE INSPECTED REGULARLY FOR PROPER POSITIONING, ANCHORING, AND EFFECTIVENESS IN TRAPPING SEDIMENTS. SEDIMENT WILL BE REMOVED FROM THE UPSTREAM OR UP-SLOPE SIDE OF THE FILTER FABRIC.
 - DISCHARGE POINTS: DISCHARGE POINTS OR LOCATIONS WILL BE INSPECTED TO DETERMINE WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT AMOUNTS OF POLLUTANTS FROM ENTERING RECEIVING WATERS.
 - CONSTRUCTION ENTRANCES: LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE WILL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
- ALL SEEDED AREAS SHALL BE MAINTAINED AS FOLLOWS:
 - IDENTIFY SEEDED AREAS WITH STAKES, STRING AND BRIGHTLY COLORED FLAGGING. PROTECT SEEDED AREAS UNTIL VEGETATION HAS BEEN ESTABLISHED.
 - IMMEDIATELY RESEED AREAS WHICH DO NOT ESTABLISH VEGETATION.

PERMANENT EROSION CONTROL MEASURES NOTES

PERMANENT STABILIZATION NOTES: DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

TOPSOIL SHALL HAVE AT LEAST TWO (2) PERCENT BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN SIX (6) PERCENT MUCK SOIL. MUCK SOIL SHALL NOT BE CONSIDERED TOPSOIL. TOPSOIL SHALL NOT HAVE LESS THAN 20 PERCENT FINE TEXTURES MATERIAL (PASSING THE No. 200 SIEVE) AND NOT MORE THAN 15 PERCENT CLAY. TOPSOIL SHALL BE FREE OF STONES OVER 1.5 INCHES IN DIAMETER, TRASH, NOXIOUS WEEDS SUCH AS NUT SEDGE AND QUACKGRASS, AND WILL HAVE LESS THAN 10 PERCENT GRAVEL BY VOLUME. REFER TO THE NYSSDM FOR INFORMATION ON TOPSOIL APPLICATION AND GRADING.

THE PERMANENT SEED MIX SHALL BE AS FOLLOWS:

SPECIES	RATE PER ACRE (LBS.)	RATE PER 1,000 SQ.FT. (LBS.)
KENTUCKY BLUEGRASS	115	2.6
PERENNIAL RYE	35	0.8
FINE FESCUE	25	0.6

FERTILIZER SHALL BE COMMERCIAL FERTILIZER (5-0-5) INORGANIC, OR ORGANIC, CONTAINING NOT LESS THAN FIVE (5) PERCENT NITROGEN, AND FIVE (5) PERCENT WATER SOLUBLE POTASH.

PROVIDE AND INSTALL A MULCH ADEQUATE TO PROTECT THE SEEDING DURING ITS GROWING PERIOD. REFER TO THE NYSSDM TO DETERMINE THE APPROPRIATE MULCHING TECHNIQUES FOR THE PARTICULAR SITE CONDITIONS.

LEGEND

- FILTER SOCK OR SILT FENCE
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- CHECK DAM



LANDS N/F OF
COR VAN RENSSELAER ST CO IV
TM# 107.-12-1.7
D.B. 2017, P.G. 47676

LANDS N/F OF
COR VAN
RENSSELAER
CO II & III
TM# 107.-12-1.8
D.B. 2017,
P.G. 47676

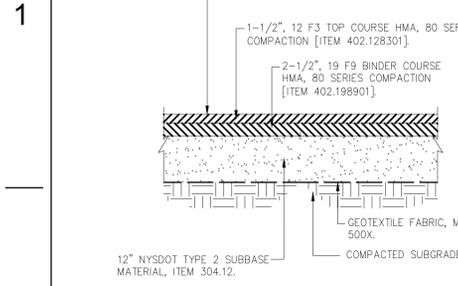
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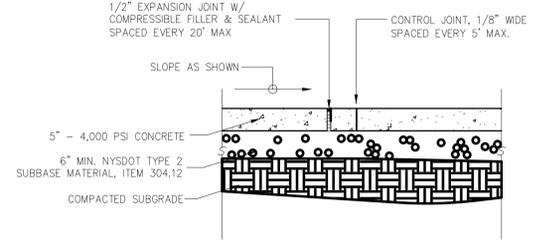
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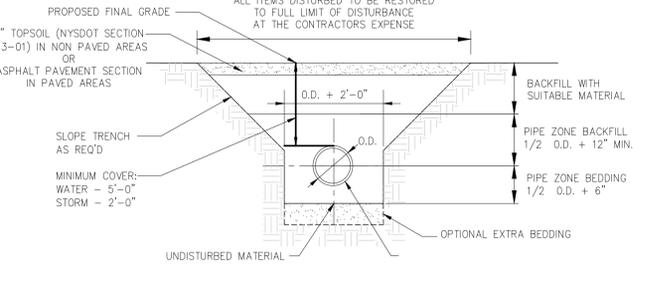
A	B	C	D	E	F	G	H
NO.	DATE	DESCRIPTION OF ISSUE OR REVISION	DR.	CK.	APP.	NO.	DATE
A	6/16/2025	100% REVIEW SET	CKZ	BH	APP.	NO.	DATE
					CKZ DES. APPROVED	PREPARED BY	
					CKZ DR. APPROVED	ENERGY CENTER	
					AMV CK. APPROVED	EROSION AND SEDIMENT CONTROL PLAN	
					AMV CK. APPROVED	NATIONAL GRID UTEN PILOT - SYRACUSE	
					AMV CK. APPROVED	ORIGINAL ISSUE DATE	
					ACCOUNT NUMBER		06/16/2025
					nationalgrid		FILE INDEX
					081002		DRAWING NUMBER
					EC-C-202		SHEET NUMBER



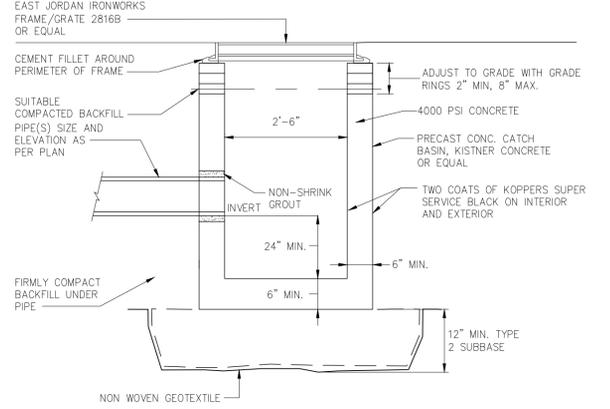
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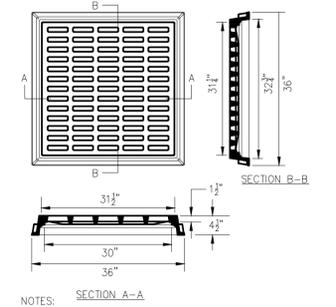
2 CONCRETE SIDEWALK (SITE)
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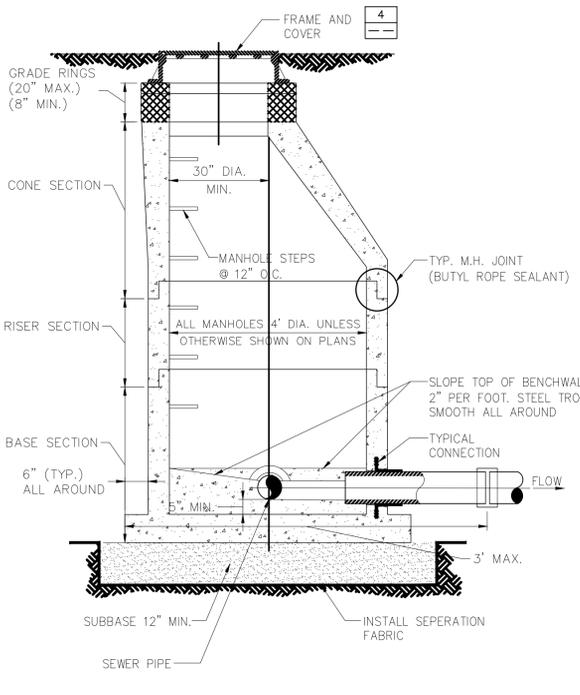
3 TYPICAL STORM, SANITARY, WATER TRENCH DETAIL
SCALE: N.T.S.



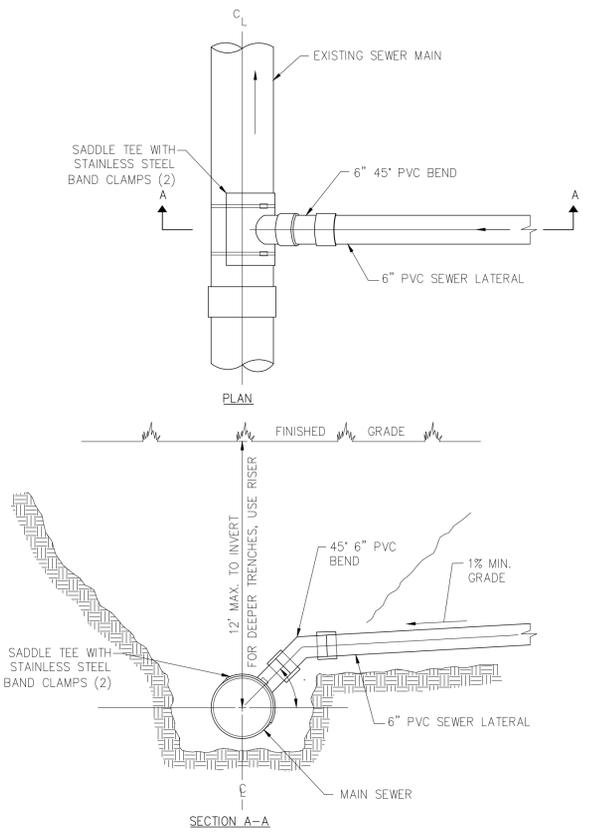
4 PRECAST CONCRETE CATCH BASIN DETAIL
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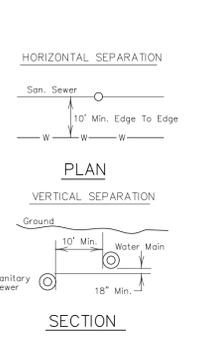
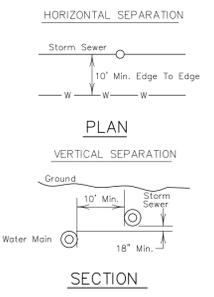
NOTES:
1. MATERIAL SHALL BE GRAY CAST IRON CONFORMING TO ASTM A48 (LATEST REVISION) CLASS 30B.
2. UNITS DESIGNED HEAVY DUTY FOR AASHTO H20-44 WHEEL LOADS.



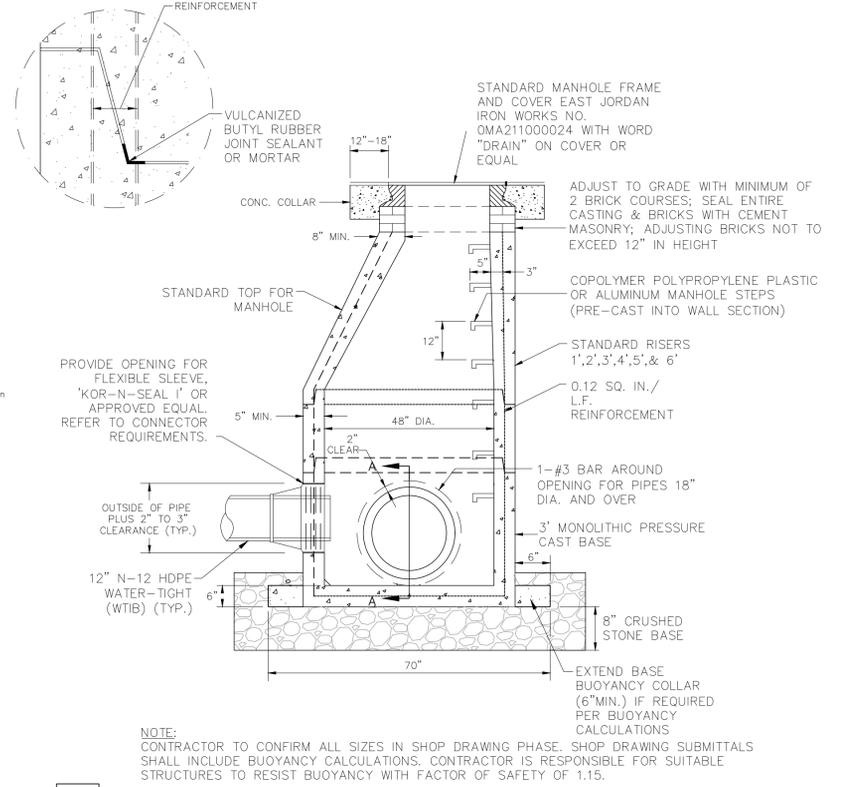
5 PRECAST CONCRETE MANHOLE DETAIL
SCALE: N.T.S.



6 SEWER SERVICE SADDLE CONNECTIONS
SCALE: N.T.S.



7 UTILITY SEPERATION
SCALE: N.T.S.



8 STANDARD PRECAST DRAIN MANHOLE
SCALE: NO SCALE

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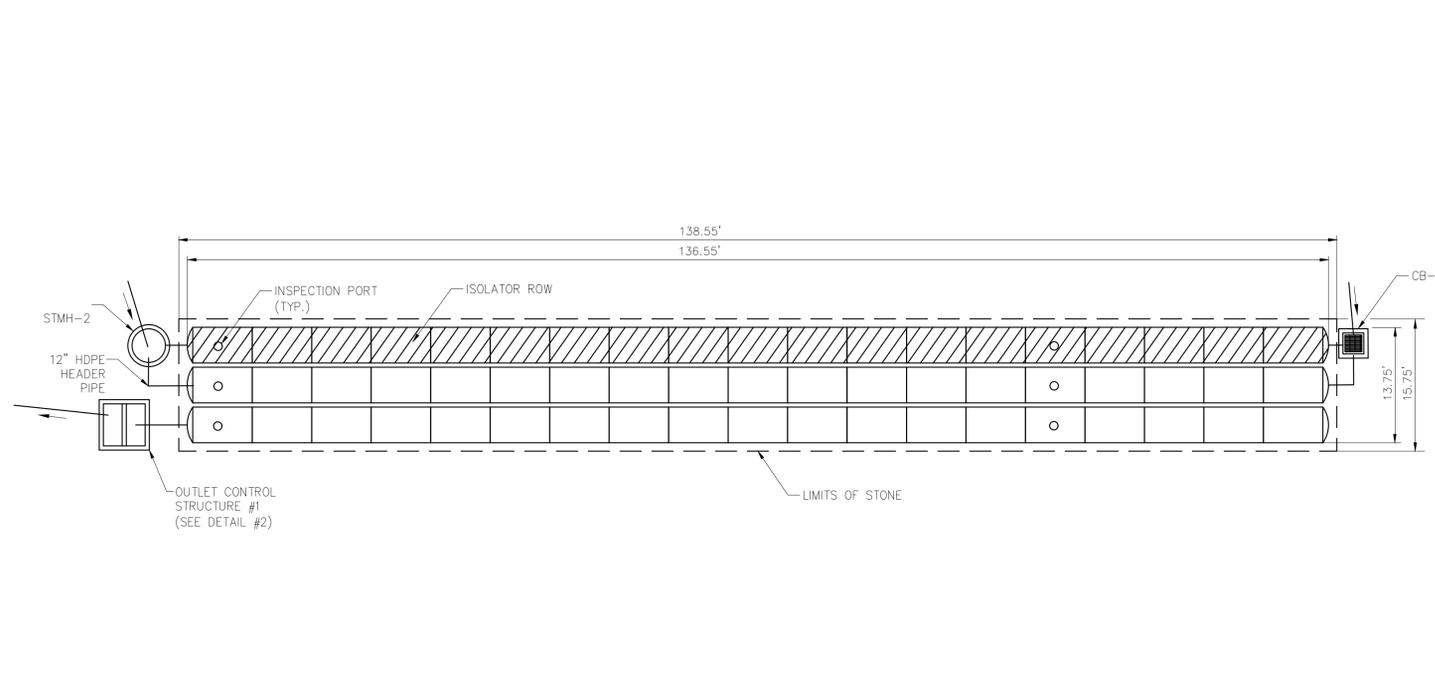
NO.	DATE	DESCRIPTION OF ISSUE OR REVISION	DR.	CK.	APP.	NO.	DATE	DESCRIPTION OF ISSUE OR REVISION	DR.	CK.	APP.
A	6/16/2025	100% REVIEW SET	CKZ	BH							

CKZ	DES.	APPROVED
CKZ	DR.	APPROVED
AMV	CK.	APPROVED
	APP.	APPROVED

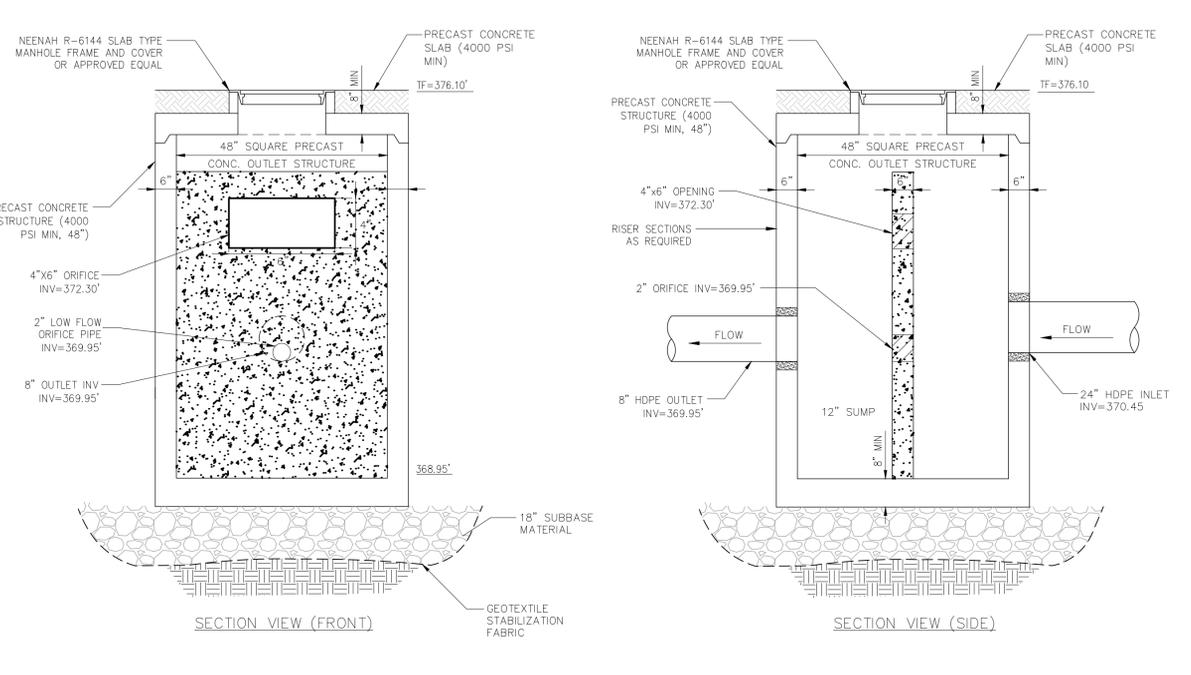
PREPARED BY

ACCOUNT NUMBER

ENERGY CENTER	ORIGINAL ISSUE DATE	06/16/2025
SITE DETAILS	FILE INDEX	081002
NATIONAL GRID UTEN PILOT - SYRACUSE	DRAWING NUMBER	EC-C-205
	SHEET NUMBER	



1 UNDERGROUND CHAMBER SYSTEM #1
SCALE: N.T.S.

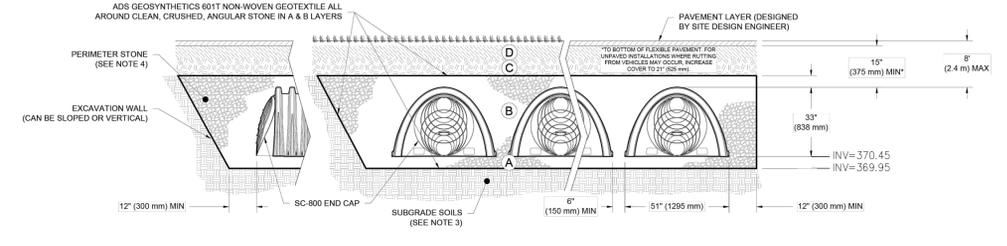


2 OUTLET CONTROL STRUCTURE #1
SCALE: N.T.S.

ACCEPTABLE FILL MATERIALS: STORMTECH SC-800 CHAMBER SYSTEMS

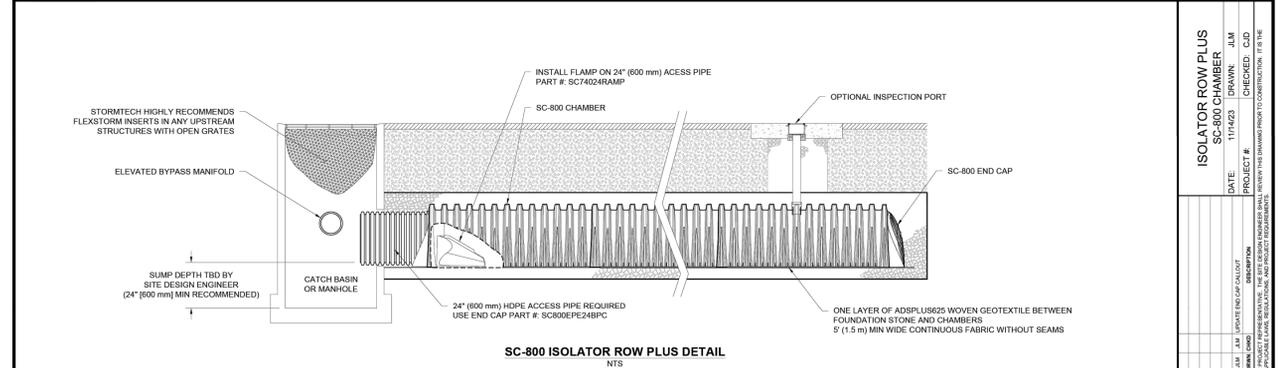
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('A' LAYER) TO 15" (375 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145* A-1, A-2, A-3 OR AASHTO M43* 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 88, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL COVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43* 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43* 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL."



NOTES:
 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS."
 2. SC-800 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
 4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 • TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 • TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 • TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 750 LBS/FT² (AND 3) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C). CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

3 STORMTECH SC-800 CHAMBER SYSTEM SECTION DETAIL
SCALE: N.T.S.



INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
 A. INSPECTION PORTS (IF PRESENT)
 A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 A.3. USING A FLASHLIGHT AND STADIUM ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 B. ALL ISOLATOR PLUS ROWS
 B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE.
 B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
 A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM

NOTES
 1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
 2. CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

NOTE: INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

4 STORMTECH SC-800 ISOLATOR ROW PLUS DETAIL
SCALE: N.T.S.

STANDARD CROSS SECTION
 SC-800 CHAMBER
 STORMTECH
 DATE: 09/17/2025 DRAWN: SMW
 CHECKED: JLM
 DRAWING #: 77-1820

StormTech
 Chamber System
 4640 TRULIEMAN BLVD
 HILLIARD, OH 43026
 1-800-821-6710 | WWW.STORMTECH.COM

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 HILLIARD, OH 43026
 1-800-821-6710 | WWW.ADS.COM

1 SHEET OF 1

ISOLATOR ROW PLUS
 SC-800 CHAMBER
 STORMTECH
 DATE: 11/14/23 DRAWN: JLM
 CHECKED: CJD
 PROJECT #: 111423

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 Chamber System
 4640 TRULIEMAN BLVD
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1 SHEET OF 1

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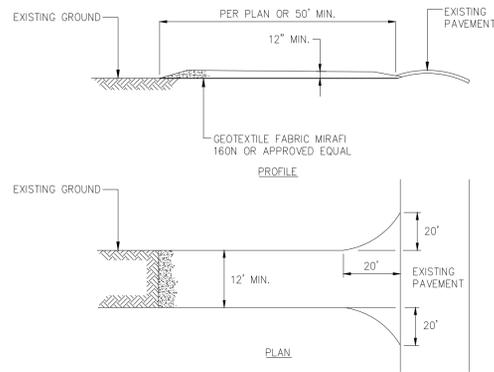
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NO.	DATE	DESCRIPTION OF ISSUE OR REVISION	DR.	CK.	APP.	NO.	DATE	DESCRIPTION OF ISSUE OR REVISION	DR.	CK.	APP.
A	6/16/2025	100% REVIEW SET	CKZ	BH							

PREPARED BY: **nationalgrid**

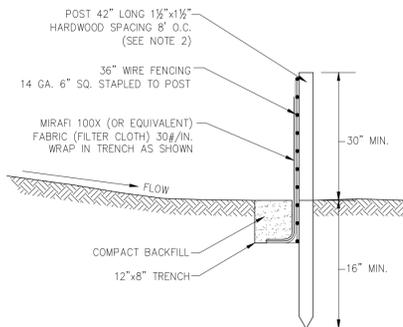
ACCOUNT NUMBER: ENERGY CENTER
 SITE DETAILS
 NATIONAL GRID UTEN PILOT - SYRACUSE

ORIGINAL ISSUE DATE: 06/16/2025
 FILE INDEX: 081002
 DRAWING NUMBER: **EC-C-206**
 SHEET NUMBER:



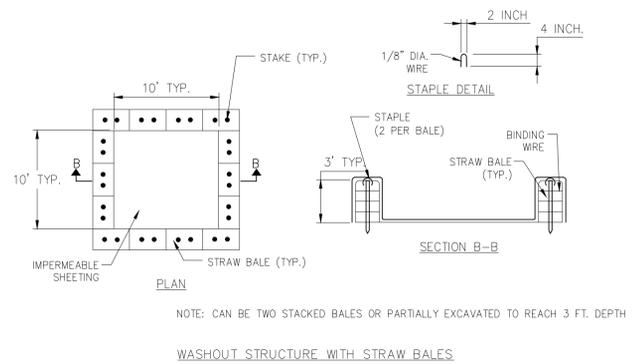
- NOTES:**
1. STONE SIZE—USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. THICKNESS—NOT LESS THAN 12".
 3. WOVEN GEOTEXTILE FABRIC WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 4. EXISTING ROAD SIDE DRAINAGE SHALL BE MAINTAINED.
 5. MAINTENANCE—THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT OR STONE SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1 STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S.



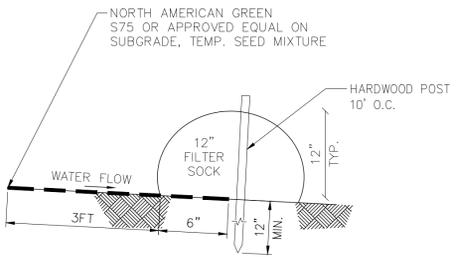
- NOTES:**
1. TIE FABRIC TO WIRE FENCE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 2. IF EXTRA STRENGTH FABRIC (GREATER THAN 50#/INCH) IS USED, WIRE CAN BE DELETED IF POST SPACING IS REDUCED TO 6' O.C.
 3. AT THE ENDS OF THE FENCING THE FIRST 20' SHALL BE TURNED UP THE SLOPE 2'.
 4. POSTS SHOULD BE INCLINED TOWARD THE DIRECTION FLOW CAME FROM.
 5. OVERLAP FABRIC A MINIMUM OF 6" AND FOLDED AT JOINTS. ATTACH FILTER FABRIS TO STAKES ALLOWING EXTENSION INTO TRENCH AS SHOWN; SECURE TO STAKES AS NOTED.
 6. THE MAXIMUM AREA OF RUNOFF PER 100LF. OF FENCE SHALL NOT EXCEED 0.25 ACRES.
 7. MAINTENANCE SHALL BE PERFORMED AS NECESSARY. THE FENCING SHALL BE CHECKED AFTER EVERY STORM TO ENSURE THEIR PROPER FUNCTIONING.
 8. WHEN FENCE IS NO LONGER NEEDED, THE ACCUMULATED SILT, THE POSTS AND FABRIC SHALL BE REMOVED AND TRENCH BACK FILLED WITH TOPSOIL AND SEEDED.
 9. FENCING SHOULD BE PLACED AS SHOWN ON THE DRAWING OR IF NOT SHOWN, 10' BEYOND THE TOE OF THE SLOPE.
 10. EXCAVATE TRENCH AS PER DETAIL AND SET POSTS AT 10' O.C.
 11. BACKFILL WITH COMPACTED, EXCAVATED SOIL FROM TRENCH.

2 SILT FENCE
SCALE: N.T.S.

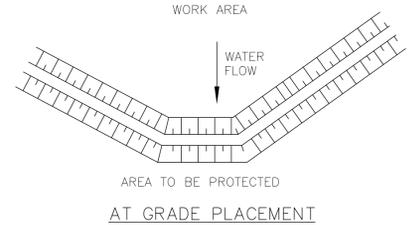


- CONSTRUCTION SPECIFICATIONS:**
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 30 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS BUFFERS, AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
 2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
 3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEET, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 4. PROVIDE SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
 5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGE (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

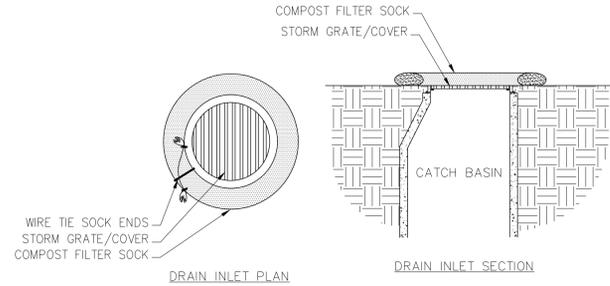
3 CONCRETE WASHOUT
SCALE: N.T.S.



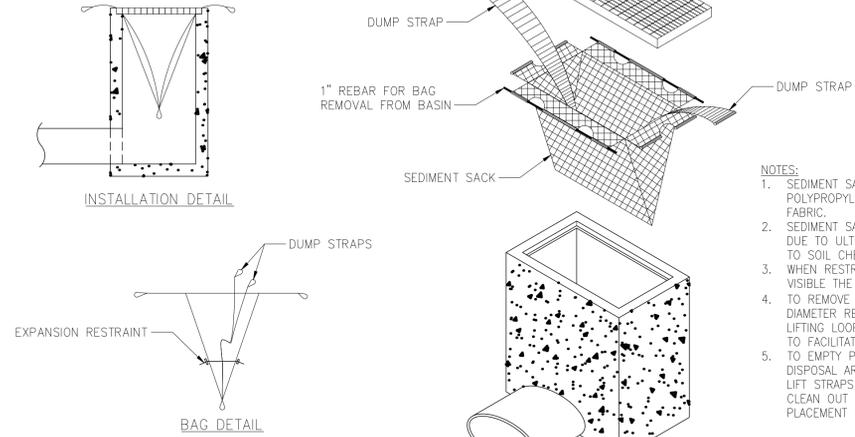
- NOTES:**
1. ALL MATERIAL TO MEET MANUFACTURER SPECIFICATIONS.
 2. ALL FILTER SOCKS SHALL BE 12" DIAMETER.
 3. INSTALL PERPENDICULAR TO FLOW.
 4. THE CONTRACTOR SHALL MAINTAIN SOCK IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
 5. DAMAGED SOCKS SHALL BE REPAIRED IN THE MANNER REQUIRED BY THE MANUFACTURER OR REPLACED WITHIN 24 HOURS OF INSPECTION NOTIFICATION.
 6. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE SOCK WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE SOCK, OR AS DIRECTED BY THE REPRESENTATIVE.
 7. UPON STABILIZATION OF THE AREA CONTRIBUTORY TO THE SOCK, STAKES SHALL BE REMOVED. THE INTERNAL COMPOST MATERIAL WITHIN THE SOCK SHALL BE DISPERSED ON SITE.



5 COMPOST FILTER SOCK DETAIL
SCALE: N.T.S.

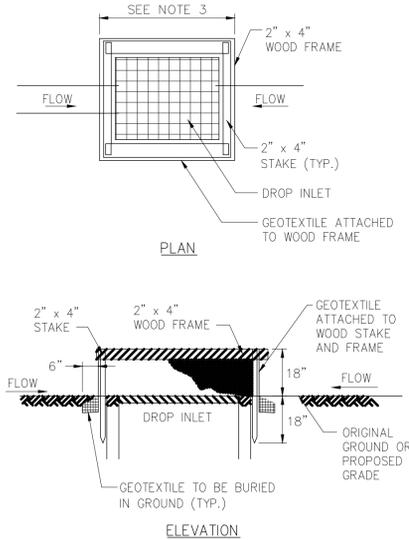


4 COMPOST FILTER SOCK INLET PROTECTION
SCALE: N.T.S.



- NOTES:**
1. SEDIMENT SACK IS TO BE MADE WITH A POLYPROPYLENE WOVEN MONOFILAMENT FABRIC.
 2. SEDIMENT SACK SHALL RESIST DEGRADATION DUE TO ULTRAVIOLET LIGHT, BE RESISTANT TO SOIL CHEMICALS, MILDEW AND INSECTS.
 3. WHEN RESTRAINT CORD IS NO LONGER VISIBLE THE SACK SHOULD BE EMPTIED.
 4. TO REMOVE USE (2) PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE LIFTING.
 5. TO EMPTY PLACE UNIT IN APPROVED DISPOSAL AREA, PLACE REBAR THROUGH THE LIFT STRAPS ON THE BOTTOM AND LIFT. CLEAN OUT AND RINSE SACK PRIOR TO PLACEMENT BACK IN THE BASIN.

6 FILTER BAG INLET PROTECTION
SCALE: N.T.S.



- NOTES:**
1. GEOTEXTILE SHALL BE CUT FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NECESSARY THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 2. STAKE MATERIAL WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
 3. SPACE STAKES EVENLY AROUND INLET WITH A MAXIMUM SPACING OF 3 FEET DRIVE STAKES 18" MINIMUM INTO GROUND. WIRE MESH MAY BE REQUIRED BEHIND GEOTEXTILE TO PROVIDE SUPPORT.
 4. GEOTEXTILE SHALL BE EMBEDDED 12" BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO STAKES AND FRAME.
 5. GEOTEXTILE FABRIC SHALL HAVE EOS OF 40-85.
 6. A 2"x 4" WOOD FRAME SHALL BE FORMED AROUND THE CREST OF FABRIC FOR OVERFLOW STABILITY.
 7. INLET PROTECTION TO REMAIN IN-PLACE UNTIL AREA IS STABILIZED.

7 FILTER FABRIC DROP INLET PROTECTION
SCALE: N.T.S.

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IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION AND A BRIEF DESCRIPTION OF THE ALTERATION.

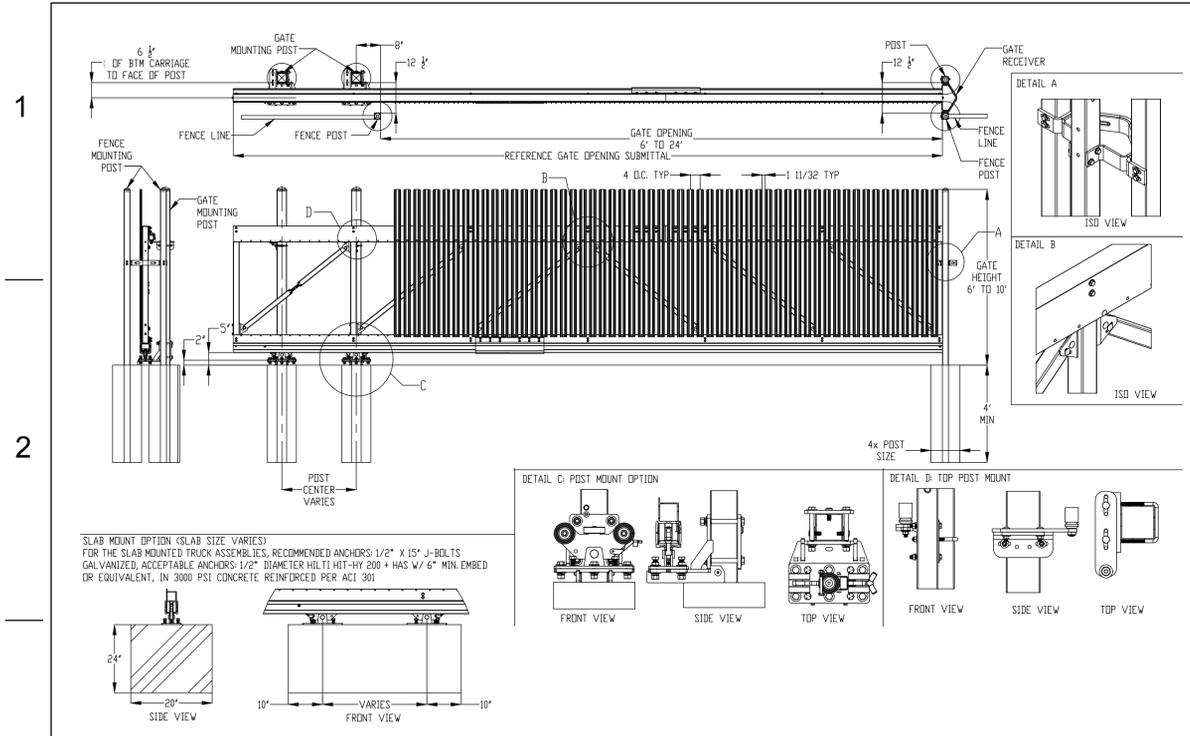


NO.	DATE	DESCRIPTION OF ISSUE OR REVISION	DR.	CK.	APP.	NO.	DATE	DESCRIPTION OF ISSUE OR REVISION	DR.	CK.	APP.
A	6/16/2025	100% REVIEW SET	CKZ	BH							

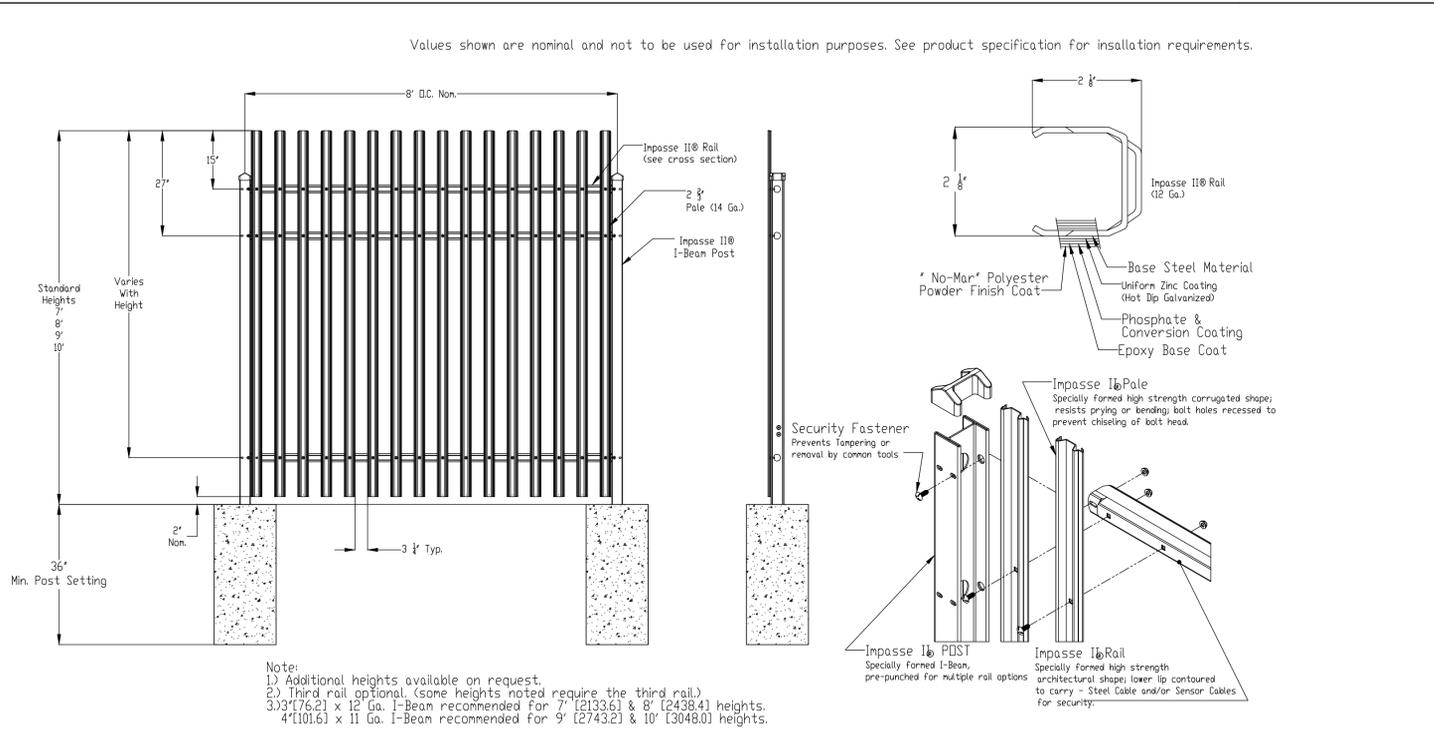
CKZ	DES.	APPROVED
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		APPROVED

PREPARED BY
nationalgrid
ACCOUNT NUMBER

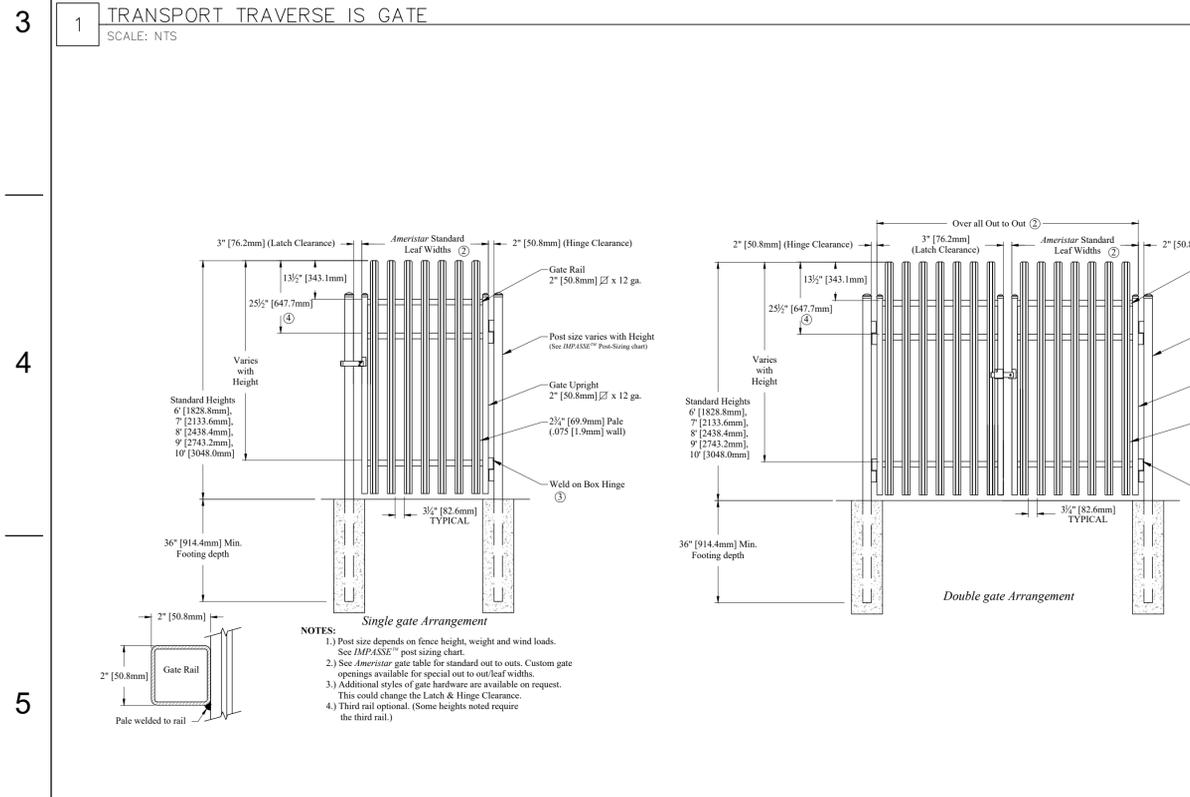
ENERGY CENTER	ORIGINAL ISSUE DATE	06/16/2025
SITE DETAILS	FILE INDEX	081002
NATIONAL GRID UTEN PILOT - SYRACUSE	DRAWING NUMBER	EC-C-207
	SHEET NUMBER	



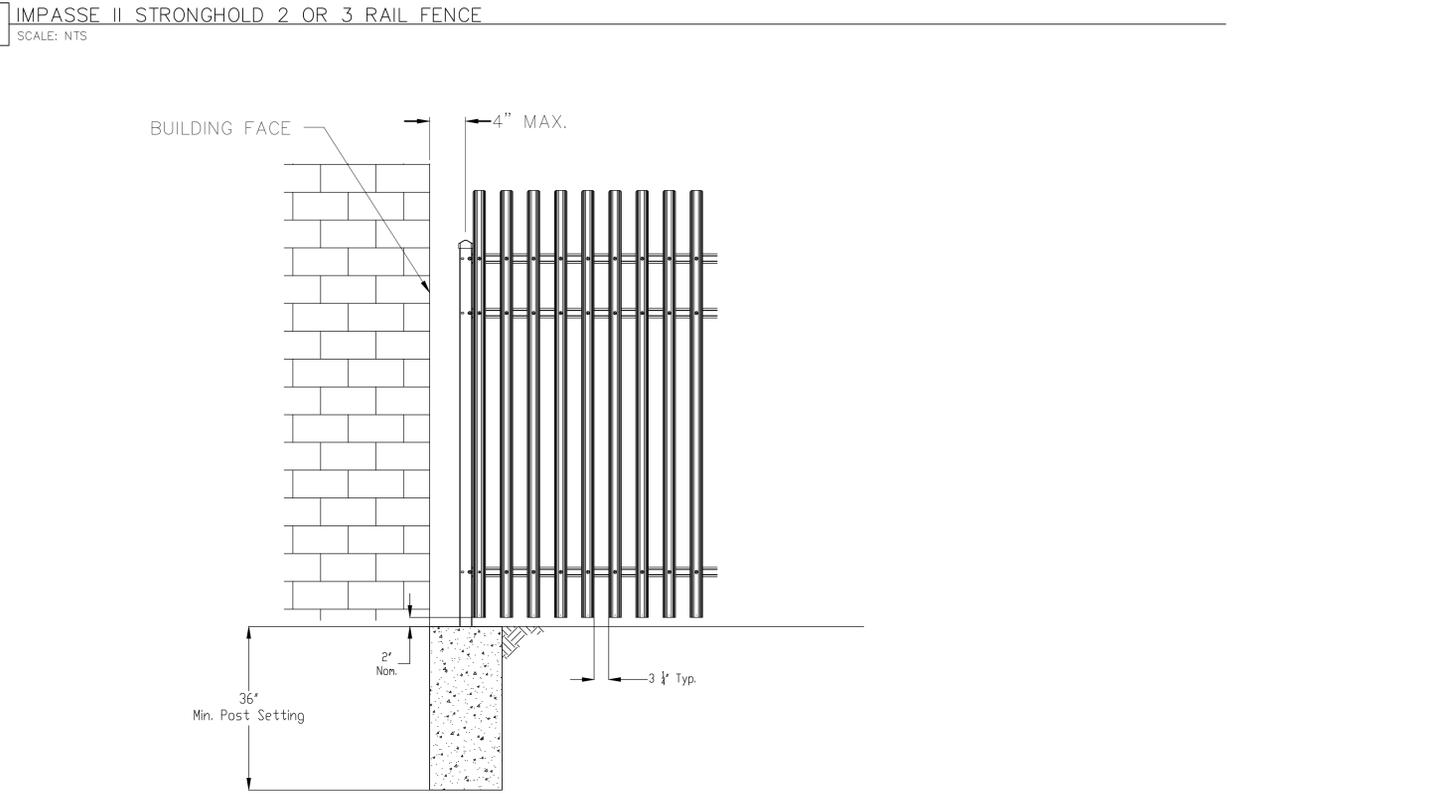
1 TRANSPORT TRAVERSE IS GATE
SCALE: NTS



2 IMPASSE II STRONGHOLD 2 OR 3 RAIL FENCE
SCALE: NTS

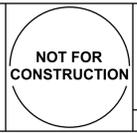


3 IMPASSE II STRONGHOLD 2 OR 3 RAIL SINGLE & DOUBLE GATE
SCALE: NTS



4 IMPASSE II STRONGHOLD 2 OR 3 RAIL FENCE TERMINATION ADJACENT TO BUILDING
SCALE: NTS

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A	6/16/2025	100% REVIEW SET	CKZ	BH							

DES.	APPROVED	PREPARED BY
DR.	APPROVED	nationalgrid
CK.	APPROVED	

ACCOUNT NUMBER	ENERGY CENTER	ORIGINAL ISSUE DATE	06/16/2025
	SITE DETAILS	FILE INDEX	081002
	NATIONAL GRID UTEN PILOT - SYRACUSE	DRAWING NUMBER	EC-C-208
		SHEET NUMBER	

Pan, Haohui

From:
Sent: Monday, March 2, 2026 3:38 PM
To: Pan, Haohui
Cc: Wu, Zhitong
Subject: [EXTERNAL] RE: [EXTERNAL] [EXTERNAL] 751 Van Rensselaer St. - National Grid Energy Center
Attachments: 3.2.26 Updated City of Syracuse Site Plan Special Use Permit Transmittal Letter - UTEN(22587535.2).pdf; Exhibit 8 - UTEN SHPO No Effect Letter_20241119.pdf

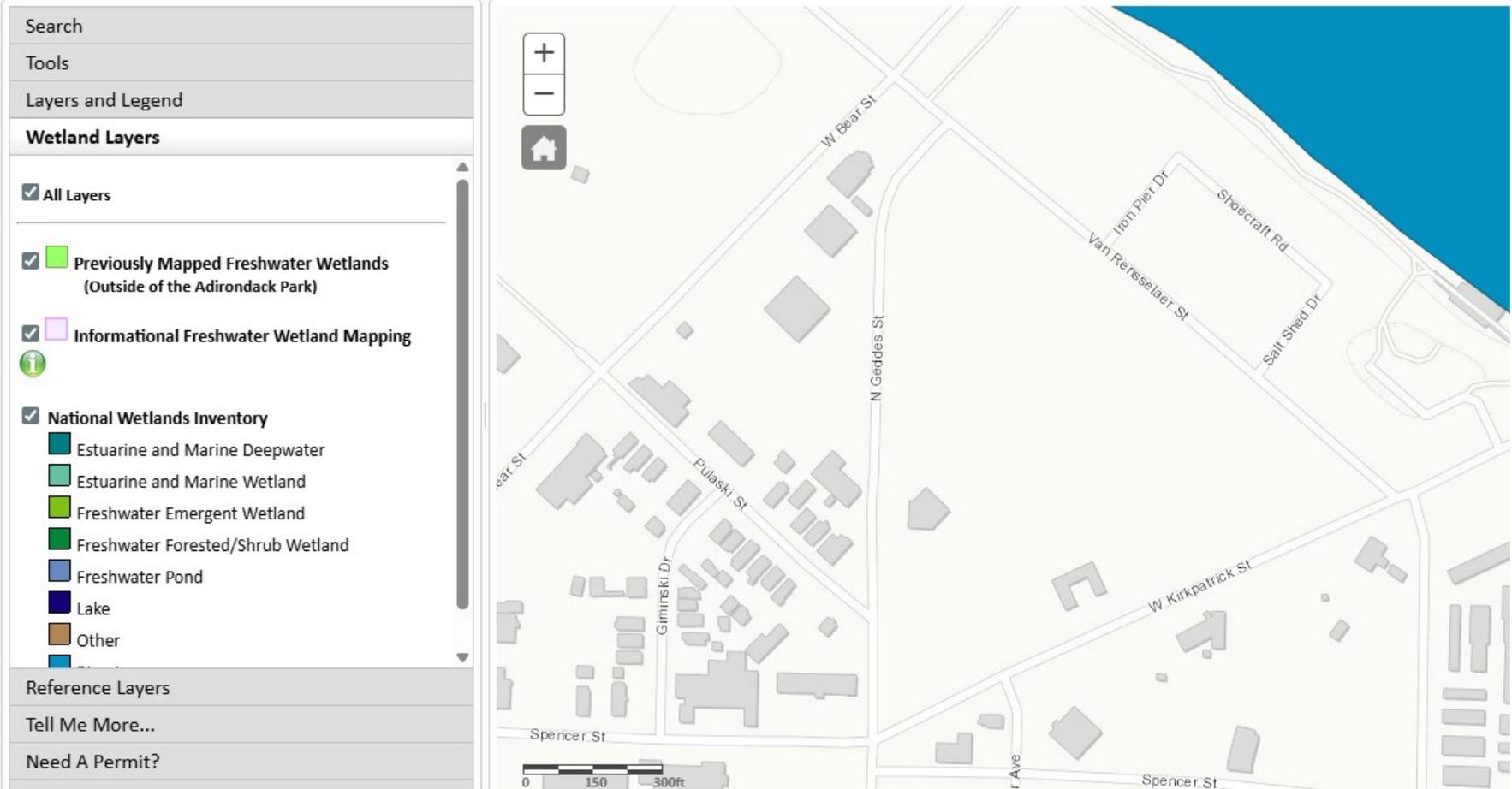
Hi Nate,

I uploaded an updated letter with the new SUP criteria and a SHPO no effect letter for the project. Copies are attached here as well.

Please see the below responses in red to your previous questions:

1. How long the proposed energy center facility is expected to last? Does the facility act more like a substation which last forever and will be upgraded continuously, or does it act more like a Battery Energy Storage System which only last for 20 years and will be decommissioned eventually?
The Energy Center houses heat exchangers and circulation pumps, which can be repaired and upgraded as needed, as well as the Thermal Storage Tank. These facilities are all designed to be operated in perpetuity with ongoing upgrades and maintenance similar to National Grid's gas & electric systems. However, since this is a Pilot Project, ongoing operation is subject to PSC approval.
2. Does National Grid have a decommission plan for this facility?
The Energy Center is proposed to be constructed on leased land. In the event where the system is no longer in operation and the lease terminates, the building would either be demolished or sold to the property owner.
3. Please provide response whether the project site is located within or adjacent to any archeological & historic site, wetland. If you have any confirmation letters from SHPO and DEC, please upload them to Camino " Other documents" section.
Please see the attached "No Effect" letter from SHPO. There are no informational wetlands indicated on the project site according to the NYSDEC Environmental Resource Mapper. Please see below. We do not have a confirmation letter from NYSDEC.

Environmental Resource Mapper



Nolan Kokkoris
[315.218.8279](tel:315.218.8279) Direct

From: Pan, Haohui <hpan@syr.gov>
Sent: Friday, February 27, 2026 2:34 PM

To:

Cc: Wu, Zhitong <zwu@syr.gov>

Subject: RE: [EXTERNAL] RE: [EXTERNAL] RE: 751 Van Rensselaer St. - National Grid Energy Center

NOLAN T. KOKKORIS, ESQ.

March 2, 2026

VIA ELECTRONIC MAIL

Syracuse Office of Zoning Administration
One Park Place
300 South State Street, Suite 700
Syracuse, NY 13202

Re: *Application for Major Site Plan Review and Special Use Permit
Niagara Mohawk Power Corporation d/b/a National Grid as Applicant
751 Van Rensselaer St. Utility Thermal Energy Network Energy Center*

To Whom it May Concern:

We represent Niagara Mohawk Power Corporation d/b/a National Grid ("National Grid" or the "Applicant") in connection with the proposed construction of a Thermal Energy Network (UTEN) Energy Center at 751 Van Rensselaer Street (Tax Parcel ID 107.-12-01.7) (the "Premises"). This letter encloses National Grid's application materials, including:

Exhibit 1 – Site Plan Application Form;

Exhibit 2 – Special Use Permit Application Form;

Exhibit 3 – Photographs of the project site, streetscape, and exterior building elevations;

Exhibit 4 – As built property survey;

Exhibit 5 – Site Plan;

Exhibit 6 – Part 1 of the Environmental Assessment Form (EAF);

Exhibit 7 – Executed Owner Authorization;

Exhibit 8 – New York State Historic Preservation Office ("SHPO") No Impact Letter dated November 19, 2024.

Background and Context

National Grid proposes to construct a UTEN within the City of Syracuse to harness the thermal energy (heat) which is naturally occurring at the Onondaga County Metropolitan Syracuse Wastewater Treatment Plant, and use it to provide clean, efficient, sustainable heating and cooling to new residential and commercial buildings that are being developed in Syracuse's Inner Harbor. National Grid's proposed UTEN Energy Center ("Energy Center") will consist of a utility building connected to a thermal energy network consisting of pipe loops between multiple buildings and energy sources carrying water at ambient temperature and will house in-line pumps, heat exchangers, and other mechanicals. This project is proposed in compliance with the Utility Thermal Energy Network and Jobs Act and under direction from the NYS Public Service Commission.

Site Plan Review

We understand that the City has classified the proposed Energy Center as a "Major Utility" use under the City of Syracuse Zoning Ordinance ("Zoning Ordinance"). Major Utility uses include "generating plants, substations, transmission and distribution facilities, switching buildings, and related facilities used or to be used to provide oil, sanitary sewer, electric, gas, sewer, or water service, as well as refuse collection, water reservoirs, flood control or drainage facilities, water or wastewater treatment plants, transportation or communications utilities, and similar facilities whether of public agencies or private or public service providers." The UTEN will connect to and utilize the Onondaga County Metropolitan Syracuse Wastewater Treatment Plant's existing wastewater system. The Energy Center is merely a supporting facility designed to house in-line pumps, heat exchangers, and other mechanicals that will connect to existing wastewater infrastructure through new underground water and sewer lines.

Because the Energy Center and its attached storage structure together exceed 10,000 square feet, major site plan review is required. The proposed site plan meets all approval criteria set forth in the Zoning Ordinance.

Special Use Permit

A special use permit is required for Major Utility uses in the MX-4 district. As set forth below, National Grid's proposed Energy Center meets all of the special use permit criteria contained in Section 5.4 of the Zoning Ordinance.

A. Shall be consistent with all applicable regulations and the purpose of this Ordinance, the subject property's zone district, the Comprehensive Plan, and other City plans and policies.

The Energy Center is consistent with all applicable regulations and will meet all dimensional, design, and development standards set forth in the Zoning Ordinance. There are no minimum front, side, or rear yard setbacks for the MX-4 District, nor are there minimum lot width or area requirements. Likewise, there is no maximum height restriction for principal structures. National Grid proposes impervious lot coverage of 57%, whereas the Zoning Ordinance permits coverage of up to 95% in the MX-4 District. While no off-street parking is required for Major Utility uses, the proposed site plan includes three off-street parking spaces. The Energy Center will not abut any residential uses. The minimum building story requirement in the MX-4 district applies to residential buildings and is not applicable to National Grid's proposed Major Utility use.

The purposes of the MX-4 zoning district include providing for pedestrian-friendly, transit-supportive areas of higher-density residential development and a well-integrated mix of nonresidential uses, promoting an active streetscape and larger-scale commercial and retail uses, and encouraging creation of areas that provide for the needs of nearby residents and serve as destinations for the City at-large. The proposed UTEN and Energy Center will advance these purposes by providing clean, efficient, sustainable heating and cooling to both residential and commercial development in the surrounding area. The Energy Center has been thoughtfully designed to promote an active streetscape and will compliment the aesthetic character of adjacent and nearby uses.

The UTEN is not only consistent with the City's Comprehensive Plan, but also advances the City's sustainability goals. Included among the sustainability goals set forth in Chapter 2 of the Syracuse Comprehensive Plan 2040 are goals to "reduce the volume and impact of energy consumption in the City of Syracuse" and to "reduce Syracuse's carbon footprint through municipal and community conservation measures." (See Syracuse Comprehensive Plan 2040 at p. 30). National Grid's proposed UTEN will provide clean and sustainable heating and cooling to surrounding residential and commercial properties and reduce the City's carbon footprint. The location of the proposed Energy Center will encourage further development in the Inner Harbor—another major goal articulated in the City's Comprehensive Plan.

B. Shall comply with all applicable standards of the Ordinance and to the standards of any other municipal department that have jurisdiction of the use type or its appurtenant facilities

As mentioned above, the Energy Center will comply with all of the applicable standards of the Ordinance and any other municipal department regulations that may have jurisdiction over this type of use. National Grid's proposal is consistent with the Town's MX-4 zoning district purposes and the sustainability goals outlined in the Comprehensive Plan.

C. Shall be compatible with the surrounding area by conforming to the character of the adjacent streets and neighborhood in terms of appearance and design, and if applicable, to the residential compatibility and distance requirements of this Ordinance.

National Grid's proposed Energy Center will be compatible with the surrounding area by conforming to the character of the adjacent streets and neighborhood in terms of appearance and design. In both design and function, the Energy Center is intended to benefit other uses in the surrounding area by providing clean, efficient, sustainable heating and cooling to both residential and commercial development. Additionally, the Energy Center is not adjacent to any residential communities, and therefore, will only result in positive impacts to residents by granting a sustainable energy alternative.

D. Shall be compatible with and not impede the development or redevelopment of the general neighborhood or adversely affect existing land uses within close proximity to the subject site and shall not have an adverse impact upon the character or integrity of any other land use within the immediate neighborhood or have an adverse impact on any properties with a unique cultural, historical, geographical, and architectural quality.

The Energy Center is compatible with the surrounding neighborhood and will not impede the development or redevelopment of the general neighborhood or adversely affect existing land uses in close proximity to the Premises. The UTEN and Energy Center are permitted in the MX-4 zoning district. The impacts of the Energy Center on surrounding areas are expected to be overwhelmingly positive. Negative impacts have been minimized to the maximum extent possible. National Grid will implement erosion and sediment control procedures during construction to prevent stormwater discharges of pollutants. National Grid is also working closely with the New York State Department of Environmental Conservation to ensure that any adverse environmental impacts from the UTEN are adequately minimized. There will be no impacts on historic properties or archaeological and/or historic resources. A no impact letter from SHPO dated November 19, 2024 has been submitted with National Grid's application.

E. Shall not be detrimental to the orderly flow of pedestrian and vehicular traffic, on- and off-site, by designing traffic controls that protect the safety of the general public and the occupants, employees, attendants, and other persons for whose benefit the use is intended.

As provided above, although no off-street parking is required for Major Utility uses, National Grid is proposing three off-street parking spaces on the site. The Energy Center will not be open to the public and will not generate significant vehicle traffic. A 26' wide driveway is proposed for ingress and egress to the site and will provide adequate access for emergency vehicles.

F. Shall minimize impacts to the health, safety, and welfare of the inhabitants of the surrounding area and the City, shall not create hazards or nuisances, nor create narrow alleyways that could pose fire hazards or encourage illegal parking and dumping;

As previously discussed, National Grid’s proposed Energy Center is intended to benefit the surrounding community and the health, safety and welfare of its inhabitants. The UTEN and Energy Center’s purpose is to provide clean, efficient, sustainable heating and cooling to both residential and commercial users. As demonstrated in the site plans, the Energy Center will not create hazards, nuisances nor narrow alleyways that could pose fire hazards or encourage illegal parking and dumping.

G. Shall not hinder or discourage the property development and use of adjacent land and buildings or impair the value thereof due to the location, nature, and height of the buildings, walls, fences and landscaping within the subject site.

The Energy Center will not hinder or discourage property development and the use of adjacent properties due to its location, nature, height and landscaping. As noted above, the proposed location of the Energy Center will serve as a catalyst for additional growth within the Inner Harbor—one of the primary development objectives outlined in the City’s Comprehensive Plan. By integrating the UTEN into this district, the City will unlock new opportunities for both residential and commercial expansion. Reliable, modern energy infrastructure will reduce development barriers, attract private investment, and support higher-density, mixed-use projects that align with long-term planning goals.

H. Shall provide adequate supporting services such as, fire and police protection, public and private utilities, and all supporting governmental services necessary and appropriate to the proposed use.

The proposed Energy Center will be a low intensity use and is not anticipated to produce a significant demand for supporting services. Existing supporting services will be adequate to support the Energy Center.

Schedule

Because the UTEN project is proceeding under direction from the NYS Public Service Commission in compliance with the Utility Thermal Energy Network and Jobs Act, multiple stages of Public Service Commission review will be required. As such, the project schedule may change during the Public Service Commission review. As of the date of this submittal, National Grid’s anticipated construction start date is April 2027.

Syracuse Office of Zoning Administration
March 2, 2026
Page 6

Conclusion

On behalf of National Grid, we appreciate the City's consideration of the enclosed major site plan and special use permit applications. Please do not hesitate to let us know if any additional information is needed. Should any questions arise during the City's review, please feel free to contact me.

Sincerely,

BOND, SCHOENECK & KING, PLLC



Nolan T. Kokkoris

Enclosures

cc (w/exhibits):

Will Hackett

Jessica A. Leis, Esq.



**New York State
Parks, Recreation and
Historic Preservation**

KATHY HOCHUL
Governor

RANDY SIMONS
Commissioner Pro Tempore

November 19, 2024

Jimmy Ireland
Fisher Associates
180 Charlotte Street
Rochester, NY 14607

Re: USACE
National Grid Utility Thermal Energy Network (UTEN) Pilot Project (Project)
City of Syracuse, Onondaga County , NY
24PR10085

Dear Jimmy Ireland:

Thank you for requesting the comments of the State Historic Preservation Office (SHPO). We have reviewed the project in accordance with Section 106 of the National Historic Preservation Act of 1966. These comments are those of the SHPO and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project.

Based upon this review, it is the opinion of the New York SHPO that no historic properties, including archaeological and/or historic resources, will be affected by this undertaking.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above. If you have any questions, please contact Erin Czernecki at the following email address:

Erin.Czernecki@parks.ny.gov

Sincerely,

R. Daniel Mackay

Deputy State Historic Preservation Officer
Division for Historic Preservation



Onondaga County Planning Board

J. Ryan McMahon, II
COUNTY EXECUTIVE

**RESOLUTION OF THE
ONONDAGA COUNTY PLANNING BOARD**
Meeting Date: 2/18/2026
OCPB Case # Z-26-38

WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m, and n, has considered and reviewed the referral for a SPECIAL PERMIT from the City of Syracuse Zoning Administration at the request of COR Van Rensselaer St. Co., IV for the property located at 751 Van Rensselaer Street; and

WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Bear Street (Route 298), a state highway, and the Inner Harbor Barge Canal, part of the NYS Barge Canal System; and

WHEREAS, the applicant is requesting a special permit to establish a "Utility, Major" land use on a 1-acre portion of a 2.76-acre parcel in an Urban Core Mixed Use (MX-4) zoning district to allow the construction of an energy center to harness thermal energy existing in wastewater flowing to Onondaga County's Metropolitan Syracuse Wastewater Treatment Plant; and

WHEREAS, the proposed action is further summarized in the attached staff report and may be subject to additional county, state, and/or federal regulations, which may be cited in the staff report; the municipality and applicant are advised to contact the appropriate agencies to ensure these regulations are met, as applicable, prior to or as a condition of municipal approval of the project; this is not an exhaustive list of permit requirements by agencies, but is intended to represent some of the most common regulations; and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board recommends the following MODIFICATION(S) to the proposed action prior to local board approval of the proposed action:

The applicant must coordinate with the Onondaga County Department of Water Environment Protection (WEP) regarding any permitting or other reviews/ authorizations for any wastewater related activities as part of this project. The City must ensure all WEP conditions are met as part of the local approval process.

The Board also offers the following comment:

The City and applicant are encouraged to consider the addition of screening, landscaping and streetscaping elements to the extent practicable, so as to ensure compatibility with neighboring

For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

parcels and expectations for lands within the MX-4 zoning district.

A handwritten signature in black ink, appearing to read 'M. E. Voss', with a long horizontal stroke extending to the right.

Martin E. Voss, Chairman
Onondaga County Planning Board

For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

335 Montgomery Street, Syracuse, NY 13202 Phone: 315.435.2611
Email: countyplanning@ongov.net · Website: ongov.net/planning/ocpb.html

ONONDAGA COUNTY PLANNING BOARD STAFF REPORT FEBRUARY 18 2026 Z-26-38

Case Number: Z-26-38
RelatedCases: Z-26-37
Referring Board: City of Syracuse Zoning Administration
Type of Action: SPECIAL PERMIT

Keyword: Utility Thermal Energy Network (UT)
Applicant: COR Van Rensselaer St. Co., IV
Location: at 751 Van Rensselaer Street
Tax Map ID: 107.-12-01.7

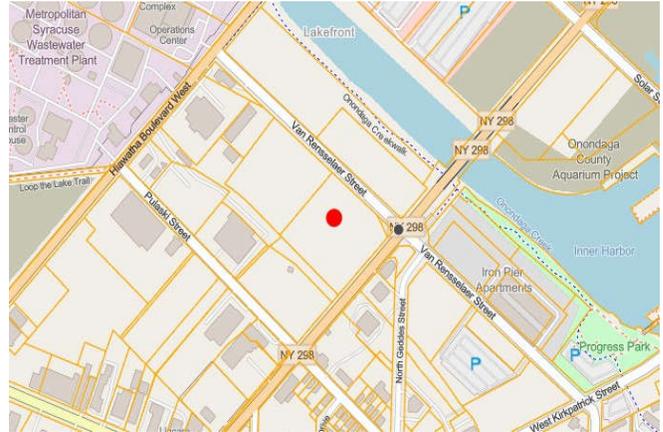
RECOMMENDATION: **Modification**

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Bear Street (Route 298), a state highway, and the Inner Harbor Barge Canal, part of the NYS Barge Canal System

SUMMARY:

Establish a district-scale thermal energy facility in Syracuse Lakefront area



For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

PROPOSAL: the applicant is requesting a special permit to establish a "Utility, Major" land use on a 1-acre portion of a 2.76-acre parcel in an Urban Core Mixed Use (MX-4) zoning district to allow the construction of an energy center to harness thermal energy existing in wastewater flowing to Onondaga County's Metropolitan Syracuse Wastewater Treatment Plant

STAFF REVIEW:

Concurrent Reviews: Site Plan referral (Z-26-37) to construct an energy center to harness thermal energy.

Past Board Reviews: There are multiple previous referrals regarding different configurations of the land in the area, but none specific to this land parcel.

S-18-8: Subdividing three parcels into four new lots, creating the current site.

S-15-31: Subdivide one parcel into three new lots.

Z-15-78, Z-15-130: Special permit to establish a surface parking lot

Z-12-28: Local law referral to amend the Transportation Network Plan

Location: The site is located in the City's Lakefront neighborhood, southwest of the Destiny USA mall and several county-owned parcels containing the Metropolitan Wastewater Treatment Plant and across Van Rensselaer Street from the Onondaga Creekwalk, the Inner Harbor, and the Iron Pier Apartments, a large mixed-use complex.

The site is a vacant parcel located at the southern corner of the intersection North Geddes Street. Abutting the site to the southeast is a surface parking lot serving the Iron Pier Apartment complex, slated to become a future housing site.

Project Detail: Per the Environmental Assessment Form (EAF) dated 7/10/25, "National Grid is proposing to construct a Utility Thermal Energy Network (UTEN) in compliance with the Utility Thermal Energy Network and Jobs Act and under direction from the NYS Public Service Commission. The Syracuse UTEN is a type of district thermal system that is proposed to harness thermal energy (heat) existing in wastewater at the Onondaga County Metropolitan Syracuse Wastewater Treatment Plant to provide clean, efficient, sustainable heating and cooling to new residential and commercial buildings that are being developed in Syracuse's Inner Harbor. As a component of the system, a utility building ("The Energy Center") is required to be constructed along the loop to house in-line pumps, heat exchangers, and other mechanicals."

Proposed Site Layout: Per the Civil Site Layout Plan, the Energy Center building will be constructed along the North Geddes Street frontage on a 0.982-acre leased area. The facility will include a 64'x 112' utility building (25' high) with pipe loops, pumps, heat exchangers, generators, a transformer and other mechanicals, and a fenced 750,000-gallon water tank (50' high).

Access: The building will be accessed via a 26'-wide driveway to North Geddes Street, a local road. The building will be set back 20.7' from the North Geddes Street right-of-way, and 3 parking spaces are proposed at the front of the building.

No sidewalks, street trees or other enhancements within the right-of-way or front of the site is indicated on submitted plans, as is typically expected within an MX-4 zoning district. No landscaping plans were submitted.

Stormwater: Per the EAF, 0.982 acres of the site will be disturbed by the proposed project and

For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

the proposal will “feature post-construction stormwater management elements to manage stormwater on-site”. The EAF notes there will be a Stormwater Pollution Prevent Plan (SWPPP) to manage construction stormwater. Per the Energy Center Grading and Drainage Plan dated 6/16/25, a stormwater management chamber will be installed under the southwest portion of the leased area.

ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.

Drinking Water: A new connection to City of Syracuse drinking water is proposed to serve the site.

Wastewater: A new connection to the public sewers is proposed to serve the site. The site is located in Metropolitan Wastewater Treatment Plant service area.

ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connections.html>

Historic Resources: The site is located near the New York State Barge Canal Historic District which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological site inventory (per EAF Mapper) and the project may require review by the Syracuse Landmark Preservation Board.

ADVISORY NOTE: NYS regulations require the applicant and/or municipality to contact the NYS Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review (SEQR) process.

Other: The project is within 2,000 feet of multiple sites (IDs: V00002, 734059, 734020, V00222, C734130, C734134, C734135, C734136, C734137, C734088, C734083, C734088A, C734150) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

RECOMMENDATION: Modification

Modification(s): The applicant must coordinate with the Onondaga County Department of Water Environment Protection (WEP) regarding any permitting or other reviews/authorizations for any wastewater related activities as part of this project. The City must ensure all WEP conditions are met as part of the local approval process.

The Board also offers the following comment:

The City and applicant are encouraged to consider the addition of screening, landscaping and streetscaping elements to the extent practicable, so as to ensure compatibility with neighboring parcels and expectations for lands within the MX-4 zoning district.

For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>