



**CITY OF SYRACUSE, MAYOR SHARON F. OWENS**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>SP-2026-16</i></b>	<b><i>Staff Report – April 27, 2026</i></b>
<b><i>Application Type:</i></b>	Special Use Permit
<b><i>Project Address:</i></b>	3001-23 James St & N Midler Ave. (Tax Map ID: 024.-07-12.0)
<b><i>Summary of Proposed Action:</i></b>	<p>The applicant intends to occupy 2,100 sqft for developing and researching recipes for their other Zaman Coffee Shop locations, as well as to prepare batch orders and train staff. The proposed land use is considered a “Commercial Food Preparation Establishment”.</p> <p>The “Commercial Food Preparation Establishment” land use types is permitted by Special Use Permit under the regulations of the MX-2 Zone District.</p> <p>No exterior site changes are proposed.</p> <p>Total site area: 0.6 Acres / 26,099 SF</p>
<b><i>Owner/Applicant</i></b>	Eastwood Maliti's LLC (Owner) Anas Almaletti, Zaman Bakery (Applicant) Craig Polhamus (Representative)
<b><i>Existing Zone District:</i></b>	Neighborhood Center (MX-2) Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the south, east, and west are within the MX-2 Neighborhood Center zone district. The properties to the north are within the MX-2 and R2 Low Density Residential zone districts.
<b><i>Companion Application(s)</i></b>	MiSPR-2026-30   Minor Site Plan Review to establish “Commercial Food Preparation Establishment” land use type at 3001-23 James St. & N Midler Ave.
<b><i>Scope of Work:</i></b>	<p>Exterior work:</p> <ol style="list-style-type: none"> <li>(1) No exterior work is proposed.</li> </ol> <p>Interior work:</p> <ol style="list-style-type: none"> <li>(1) Building out existing tenant space to contain a commercial bakery in tenant space #3 3012 James St.</li> <li>(2) Construct a service counter for training purposes without public operations in tenant space #4 3009 James St.</li> <li>(3) Remove portions of walls to combine tenant spaces #3 and #4.</li> <li>(4) Install fire separation walls.</li> </ol>
<b><i>Facts on Project:</i></b>	<p><b><u>Existing Conditions</u></b></p> <ul style="list-style-type: none"> <li>- The existing site consists of a 1 story commercial structure, with a small portion being 2 stories, with 6 existing tenant spaces, currently occupied by <i>Cricket Wireless</i>, <i>Quality Cuts Barbershop</i>, 3 vacant tenant spaces formerly occupied by <i>Garcia SM Immigration Services</i>, and <i>Mimi’s Dream Beauty Salon</i>, and <i>Fifi’s Ice Cream</i>. To the rear of the structure a paved parking lot services the business, and to the east the portion of the asphalt lot between the <i>Fifi’s Ice Cream</i> tenant and the neighboring <i>James Street United Methodist Church</i> at 3027 James St. &amp; Rigi Ave. is utilized as on-site outdoor seating with benches, tables, wood planters, and trashcans.</li> </ul>

**Nonconformities**

- 2 nonconformities exist on the site 1) the structure is only 1 story where 2 stories is required for 50% of the building footprint, whereas only 30% of the structure meets this requirement. 2) The lot is covered by nonnatural coverage for 100% of the site, whereas only 90% is permitted.

**Dimensional Standards**

- The existing lot meets all Dimensional standards of the MX-2 Zone District.
- The existing coverage of three current individual lots is 100%, which exceeds the maximum allowable coverage of 90%.

**Use Specific Standards**

- No use specific standards exist for the “Commercial Food Preparation Establishment” land use type.

**Local Land Use and Residential Compatibility**

- The site is in the Neighborhood Center (MX-2), where the commercial use types including “Commercial Food Preparation” are permitted by Special use Permit, which diversifies the land uses along this area of James St.

**Off-Street Parking and Loading**

- One parking space is required per 1,000 sqft of space dedicated to this land use type, 2 spots are required and it is provided on site by the parking area in the rear.
- No bicycle parking is required for this project.

**Landscaping, Buffering, and Screening**

- No exterior work is proposed.

**Site, Building Design, and Exterior Lighting**

- The current front setback is in line with the surrounding area, all curbs and sidewalk areas are in good repair.

**Signage**

- Any proposed signage requires separate building permits subject to review by the Zoning Administration, Central Permit Office, and Preservation Planner if applicable.

**Historic Preservation**

- This property is not on the City’s Historic Properties list and does not require by the Landmark Preservation Board.

**Additional Standards, Building Placement, and Transparency**

- The existing structure is commercial in design and meets all transparency requirements.

**Special Use Permit Approval Criteria**

**Consistency with the Intent of the Zoning Ordinance & Comprehensive Plan and Other City Policies**

The proposed use is permitted by Special Use Permit in the zone district and will help to revive this long vacant tenant space along James St.

**Compliance with applicable Standards of the Zoning Ordinance and other municipal departments' standards**

All interior demolition has been approved by the Central Permit Office and future work is subject to their review and approval pending this land use decision.

**Compatibility with the Surrounding Area**

The surrounding street character is largely commercial in nature with small restaurants, assembly uses, retail shops, and other street facing commercial uses. This use will not be accessible to the general public, but it will reactivate a vacant tenant space and introduce vibrancy to this stretch of James St.

**Compatible with the development of the general neighborhood and existing land uses**

Neighboring and nearby land use types are largely consistent with the proposed "Commercial Food Preparation Establishment" land use type, although it will not be directly accessible to the public, any use is better than a vacant tenant space.

**Impacts on pedestrian and vehicular traffic**

The parking lot in the rear supports the use and provides all required parking. Any shipment or delivery of materials or finished products will be handled in the rear and no large trucks are proposed to be utilized.

**Minimization of Adverse Impact on Health, Safety, and Welfare**

The project proposes no exterior alterations that would create hazardous conditions or encourage them.

**Impacts on development of the subject property and the use of adjacent land and buildings**

The project proposes no exterior alterations as there will be no physical impact to the nearby properties. Deliveries may be made during the operating hours of the business, but will be limited to vans and cars, no large truck shipments will be permitted.

**Adequate Supporting Service**

Any fire or life safety alterations will require review and inspection by the City of Syracuse Code Enforcement prior to the issuance of the Certificate of Occupancy or Use.

*Staff Analysis:*

***Staff Recommendation:***

**Staff recommend approving this project.**

<p><b>Recommend conditions if approved:</b></p>	<ol style="list-style-type: none"> <li>1. The applicant shall comply with the general conditions for approval on the Special Use Permit application. (See the attached sheet General Conditions for Special Use Permit Approval)</li> <li>2. Snow storage shall be maintained on-site in the designated area in the rear of the property and shall not encroach into the public right-of-way or adjacent properties.</li> <li>3. The applicant shall coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP) Flow Control Division for any infrastructure related disturbance of land within the county easement and include County-owned infrastructure must on the related plans.</li> <li>4. A resubdivision application shall be submitted to the Zoning Administration within 1 year to combine the lots that make up the rear parking area, 3001-23 James St. &amp; N Midler Ave. and 114 N Midler Ave.</li> </ol>
<p><b>Zoning Procedural History:</b></p>	<p>V-77-98   Variance to repair damaged nonconforming structure and parking waiver  R-77-19   Resubdivision of portions of 3 lots to create new lot 1A  AS-89-30   Sign Waiver of Area and Number for <i>Kirby</i>  SP-98-49   Special Use Permit for a Restaurant  SP-11-21   Special Use Permit for <i>Fifi's Ice Cream</i>  SP-11-22   Special Use Permit for a Restaurant  SP-11-22M1   Modification of floor plan for <i>Fifi's Ice Cream</i>  SP-11-21M2   Modification of signage for <i>Fifi's Ice Cream</i>  SP-11-21M3   Modification of building plan to allow retail use for <i>Cricket Wireless</i>  SP-11-21M4   Modification of floorplans and signage for Barbershop in Tenant #5 and Retail Store in Tenant #4  SP-11-21M5   Two new tenants and new floorplans</p>
<p><b>Code Enforcement History:</b></p>	<p>See attached code enforcement history.</p>
<p><b>Zoning Violations:</b></p>	<p>The proposed lot has no zoning violations.</p>
<p><b>Summary of Changes:</b></p>	<p>This is not a continued application.</p>
<p><b>Property Characteristics:</b></p>	<p><b>Existing property characteristics</b>  The subject property at 3001-23 James St. is an irregularly shaped corner parcel with a lot size of 26,099 SF (0.6 acres). The property has two street frontages with 125 FT of western frontage along N Midler Ave and southern frontage along James St. for 192 FT. To the north the lot borders 114 N Midler Ave. and 117 Rigi Ave. for a total of 167 FT. To the east, the property line borders 3027 James St. &amp; Rigi Ave. for 160 FT. The parcel is currently occupied by a 1 story brick building with a small portion to the west being 2 stories. The rear and side of the lot are all paved for the existing tenants to utilize for parking and minor loading.</p>
<p><b>SEQR Determination:</b></p>	<p>Pursuant to the 6 NYCRR §617.5(c), the proposal is a Type II Action.</p>
<p><b>Onondaga County Planning Board Referral:</b></p>	<p>Pursuant to GML §239-1, m and n, the proposal does not require review by the Onondaga County Planning Board.</p>

**Application Submittals:** The application submitted the following in support of the proposed project:

- Special Use Permit Application
- Short Environmental Assessment Form Part 1

**SP-2026-16**

- New Tenant Space for Zoman Coffee House Bakery 3013 James Street, Syracuse, New York 13206 (Sheets C1-C3, A1); Drawn by JDS, Signed and Sealed by Craig Polhamus, Dated 1/24/2026; Scale: As shown
- Topographic Map Part of Lot Nos. 1, 2 & 3 Revised Surbeck Tract, Section No. 1 Formerly Part of Lot No. 29 – Town of Dewitt Now City of Syracuse, Onondaga County, New York.

**Attachments:**

Special Use Permit Application  
Code Enforcement History

IPS Comments from City Departments

**Context Maps:**

**Figure 1: Zone District of Subject Property**



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, Syracuse Zoning Map

**SP-2026-16**

**Figure 2: Aerial Imagery of Subject Property**



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

**General Conditions for**  
**Site Plan Review, Special Use Permit**  
**and Project Plan Review Approval**

1. The subject premises shall be used, operated and maintained in a neat and orderly condition at all times; all outside storage of junk, bottles, cartons, boxes, debris and the like shall be restricted to appropriately screened enclosures not visible to the general public.
2. All necessary permits relating to this proposal shall be obtained by the applicant or its agents within twelve (12) months of the date of approval of this resolution by the City of Syracuse and all conditions of the approval shall be met within eighteen (18) months of the date of approval of this resolution by the City of Syracuse, or this approval will be considered null and void; administrative extensions to this requirement for up to one year may be obtained from the Zoning Administrator at any time within the first twelve (12) months, after which, any and all extensions require approval from the City Planning Commission;
3. All Development Standards of Syracuse Zoning Ordinance shall be adhered to.
4. No signage was approved as part of this application; proposed signage must be submitted to the City of Syracuse Office of Zoning Administration for review and approval.
5. Approval of project does not relieve the applicant from compliance with any other regulatory or licensing provisions applicable thereto by the properly constituted Federal, State, County or City authorities to include, but not limited to the City of Syracuse Departments of Engineering and Public Works, and the Division of Code Enforcement.
6. Prior to work commencing, all required permits must be obtained from the Central Permitting Office in the Division of Code Enforcement located at One Park Place, 1<sup>st</sup> Floor, at 300 South State Street, New York.



# Office of Zoning Administration

CITY OF SYRACUSE, MAYOR SHARON F. OWENS

**Jacob R. Dishaw**  
Zoning Administrator

**Zhitong Wu**  
Director of Zoning

**Conor Rourke**  
Land Use & Zoning  
Attorney

**Haohui Pan**  
Zoning Planner II

**Noah Garcia**  
Zoning Planner II

**Rebeca Baker**  
Zoning Planner I

Anas Almaletti  
Zaman Coffee House  
3001 James St.  
Syracuse, NY 13207  
4/3/2026

C.C: Craig Polhamus  
Craig Polhamus Architecture  
114 E Genesee St.  
Fayetteville, NY 13066

Re: Application Completeness for City Planning Commission

Dear Anas Almaletti,

On 4/3/2026, Noah Garcia determined the proposed project SP-2026-16 to be complete. The proposed project does not conform with the City of Syracuse's Zoning Ordinance, as amended September 2025.

Once all reviewers from City Departments complete their review and all concerns have been addressed, the proposed project will be scheduled for the next available City Planning Commission (CPC) meeting for a public hearing. No evidence, except items specifically required by the Board or offered for a reconsideration or modification, shall be accepted after a hearing is closed for public comment or testimony.

All landowners and applicants shall appear in person at the hearing, or by a properly authorized representative or agent. An authorized agent who is thoroughly familiar with all aspects of the appeal and who is able to testify as to all issues may appear if he or she holds a properly signed and executed document showing that they have authority to proceed on behalf of the landowner or applicant. Proof of signed and executed document must be submitted to Noah Garcia at least six (6) business days before the public hearing and must be notarized. Failure to have representation appear before the City Planning Commission two consecutive meetings will result in your project proposal to be denied. Any updates to deliverables (such as site plan, changes in proposed work etc.) must be submitted to Noah Garcia at least six (6) business days before the date of the hearing.

If the proposed project is held open for another public hearing and/or meeting to resolve any outstanding concerns, updated plans or any other requested documents shall be submitted to Zoning Administration staff NO FEWER than six (6) days prior to the hearing. Failure to submit by this deadline shall cause the item to be removed from the next meeting agenda.

**GROWTH. DIVERSITY. OPPORTUNITY FOR ALL.**

Office of Zoning Administration 300 South State Street, Suite 700 Syracuse, NY 13202  
Office 315 448 8640 [zoning@syr.gov](mailto:zoning@syr.gov) [www.syr.gov](http://www.syr.gov)



3013

ON THIS SITE ONE SPECIAL USE PERMIT  
APPLICATION TO ESTABLISH A COMMERCIAL  
BAKERY KITCHEN FOR ZAHAN COFFEE HOUSE  
GOVERNED BY  
"COMMERCIAL FOOD PREPARATION ESTABLISHMENT"  
LAND USE TYPE, IS BEING PROPOSED.  
THIS MATTER WILL BE DISCUSSED AT A CITY PLANNING  
COMMISSION MEETING ON APRIL 27, 2026, AT 6:00 P.M.  
IN THE COMMON COUNCIL CHAMBERS,  
CITY HALL, SYRACUSE, NEW YORK.



# INTERNAL USE ONLY

## Questions and Answers

1 Have you already had a pre-conference meeting with the City regarding this application?

Yes

No

2 Are you the property owner?

Yes

No

3 Is signage being proposed with this application?

Yes

No

4 Does this application include proposals for new construction, additions, or change of use?

Yes

No

## Data Fields

### Special Use Permit

#### 1 Criteria 1

The proposed interior renovation to create a commercial bakery (1,243 SF) with adjacent bakery sales / restaurant (<1,000 SF, ~861 SF) advances the Ordinance's core purposes by reusing an existing building, supporting local economic activity, and concentrating commercial services where they serve neighborhood residents and passersby. The Syracuse Zoning Ordinance explicitly frames zoning as a tool to implement the City's long-range land-use objectives, guide development patterns, and ensure new uses are compatible with surrounding properties and public health and safety. How the project meets those purposes • Adaptive reuse and efficient land use — interior-only renovations preserve the building footprint and infrastructure while bringing a vacant or underused space back into productive commercial use, consistent with the Ordinance's emphasis on predictable, compact development patterns. • Neighborhood-serving commerce and economic vitality — a bakery with on-site sales provides daily goods and jobs, supporting local economic development goals embedded in zoning administration guidance. • Compatibility and minimal external impact — because work is interior renovations, the proposal minimizes changes to building massing, setbacks, and neighborhood character, addressing the Ordinance's compatibility and nonconformity provisions.

#### 2 Criteria 2

Public parcel records and the City's Official Zoning Map identify 3001 James St as located in a mixed/commercial land-use context appropriate for retail and service uses. The City's online zoning map and parcel data show this area as part of commercial/mixed-use zoning categories intended to accommodate businesses that serve nearby residents and the traveling public. How the bakery/sales use aligns with district expectations • Use type — both a commercial food preparation establishment and a small restaurant/bakery sales operation are typical neighborhood commercial uses that zoning districts along James Street are intended to support. • Scale and intensity — the combined footprint (~2,100 SF interior) is modest and consistent with local business scale expectations; interior-only work avoids increases in building height, lot coverage, or new impervious area that would trigger additional site-level impacts. The Comprehensive Plan emphasizes sustainable economic development, neighborhood commercial vitality, reuse of existing buildings, and improved quality of life through walkable, mixed-use corridors. A small bakery with retail sales directly supports those objectives by creating local jobs, increasing neighborhood retail options, and activating the street frontage. Specific plan linkages • Economic development and local business — the project creates a small business and employment opportunities consistent with the Plan's economic goals. • Land use and neighborhood vitality — locating a food retailer on James Street supports the Plan's call for neighborhood-serving uses along commercial corridors and for development that enhances pedestrian activity. • Sustainability and efficient infrastructure use — interior renovation of an existing building aligns with the Plan's preference for reuse over new construction to conserve resources and infrastructure capacity. To meet the Ordinance's standards and typical Special Permit criteria, the proposal will: • Maintain building exterior and site compatibility — no exterior expansions or changes to setbacks, height, or lot coverage are proposed; any minor exterior work (signage, entrances) will follow sign and façade rules. • Address public health and safety — the bakery will comply with New York State and City health department requirements for commercial food preparation, ventilation, grease management, and waste handling. • Manage parking, deliveries, and circulation — the modest size and neighborhood location reduce peak parking demand; the project will document existing parking availability, delivery loading plans, and refuse handling to demonstrate no adverse traffic or safety impacts. • Meet building, fire, and accessibility codes — interior renovations will be designed to meet building code, fire safety, and ADA access requirements; any required permits (building, plumbing, mechanical) will be obtained.

#### 3 Criteria 3

The proposed interior renovation at 3001 James St to establish a commercial bakery (1,243 SF) with adjacent bakery sales/restaurant (~861 SF) is compatible with the adjacent streets and neighborhood because it: (1) locates a neighborhood-serving commercial use along an established commercial corridor, (2) preserves the existing building form and street wall through interior-only work, and (3) uses operational controls (hours, deliveries, ventilation, trash) to avoid adverse impacts on nearby residences. These outcomes align with the City's zoning goals to support neighborhood commerce, adaptive reuse, and context-sensitive development. Appearance and design: how the project conforms to adjacent streets and neighborhood • Preserves existing building massing and setbacks — no exterior expansion is proposed, so the project maintains the existing façade line, roofline, and relationship to the sidewalk that define the street character. This approach supports the ReZone emphasis on preserving neighborhood character and encouraging context-sensitive design. • Street activation and pedestrian scale — placing bakery sales at the storefront level activates the sidewalk with windows, entrances, and pedestrian activity consistent with mixed-use corridor expectations in the Official Zoning Map and ReZone objectives. • Signage, lighting, and façade treatments — proposed signage and exterior lighting will follow the Zoning Ordinance's sign and lighting standards so scale, materials, and illumination match neighboring commercial properties and avoid glare into residences. • Materials and design details — where minor exterior work is needed (door, awning, window repair), select materials and colors that reflect adjacent storefronts and historic patterns to maintain visual continuity and pedestrian comfort. Residential compatibility and distance requirements • Use permissibility and scale — the Zoning Ordinance's allowed-uses framework lists commercial food preparation establishments and restaurants ≤1,000 SF as recognized commercial uses in mixed-use and many commercial districts, indicating these uses are intended along corridors that interface with residential areas. The proposed bakery sales area is under the 1,000 SF threshold noted in the ordinance. • Distance and buffering expectations — where the ordinance or district standards require separation or buffering between commercial operations and residential uses, the project will meet those

## INTERNAL USE ONLY

requirements by maintaining interior operations, locating mechanical equipment away from shared property lines, and providing screening for any outdoor equipment or refuse areas. The City's zoning update emphasizes protecting neighborhood character and compatibility. • Noise, odor, and hours — to satisfy residential compatibility standards, the bakery will implement: ventilation and odor control (commercial hood and filtration), restricted delivery windows to avoid early-morning/late-night disturbance, and noise-mitigation for mechanical equipment. These operational measures address typical special permit concerns about impacts on nearby homes.

### 4 Criteria 4

This project is compatible with nearby development because it reuses an existing building, preserves the existing street wall and building form, and introduces a low-intensity, neighborhood-serving commercial use that activates the corridor without increasing building mass, lot coverage, or traffic-generating intensity. Operational controls (hours, deliveries, ventilation, refuse) will prevent spillover impacts to adjacent properties and support continued reinvestment in the block rather than displacement or destabilization. The proposal supports, not impedes, neighborhood redevelopment • Encourages incremental reinvestment — interior-only renovation brings vacant or underused space back into productive use, which signals market confidence and often stimulates complementary storefront improvements on the same block. • Maintains predictable scale and form — no exterior expansion preserves the existing rhythm of façades, setbacks, and rooflines that guide future compatible redevelopment. • Strengthens pedestrian activity — a storefront bakery increases foot traffic and "eyes on the street," which improves safety and makes the corridor more attractive for other small businesses and housing reinvestment. • Avoids infrastructure strain — the modest size and daytime-oriented operations limit new demands on parking, utilities, and public services compared with larger commercial or industrial uses.

### 5 Criteria 5

This project will not be detrimental to pedestrian or vehicular flow when implemented with modest, site-appropriate traffic controls and operational rules. The proposal relies on existing curb access and the building's storefront orientation to support pedestrian activity while using documented parking, loading, delivery, and emergency-access strategies to avoid conflicts with on- and off-site circulation. The project's approach is consistent with the Syracuse Zoning Ordinance's goals for predictable access, safety, and adequate off-street parking/loading.

### 6 Criteria 6

The interior renovation for a commercial bakery (1,243 SF) with adjacent bakery sales (≈861 SF) is designed to protect public health, safety, and welfare by meeting code requirements and by applying operational controls that prevent nuisances and hazards. All food-service areas will be built to New York State and City health code standards, with dedicated handwashing facilities, approved finishes, and documented sanitation procedures. Mechanical systems (ventilation, grease control) will be sized and installed to prevent odor, grease, and particulate discharge to neighboring properties. Fire and life-safety systems will be upgraded as required by the Building and Fire Codes to maintain safe egress, fire separation, and alarm/suppression readiness for occupants and first responders.

### 7 Criteria 7

The project is interior-only and does not change building height, massing, or lot coverage, so it will not block light, views, or access that neighboring properties rely on for future redevelopment. By reactivating an existing storefront with a low-intensity, neighborhood-serving use, the bakery supports incremental investment on the block rather than introducing a use that would discourage reinvestment or reduce marketability. The modest scale and daytime orientation of the business minimize noise, traffic, and late-night activity that commonly depress nearby residential or commercial values.

### 8 Criteria 8

This project will be supported by routine municipal and private services and by site-level measures that ensure public safety, health, and uninterrupted service delivery. The project relies on existing infrastructure and standard permitting/inspection processes to confirm capacity and code compliance, and it includes operational commitments (maintenance, vendor rules, emergency contacts) that minimize risk to occupants and neighbors.

## General Project Information

### 1 Current Land Use(s)

### 2 Nature and Extent of Special Use Requested

Interior renovations to existing tenant spaces as depicted on Plans. Intent is to have Commercial Bakery (Commercial food preparation establishment) of approximately 1,243 Sf with adjacent Bakery Sales (Restaurant less than 1,000SF) of approximately 861 SF. The project is for developing /researching recipes, training and staff development, and preparing batch orders for our coffee shops. The service counter is for training purposes only; the establishment will not be open to the public. We are creating a mockup café to help train our staff on proper flow to servicing for training purposes only and not to serve as a café/restaurant that would be open to the public. From the description, the closest one to our use is Commercial Food Preparation Establishment.

### 3 Has the owner obtained a certificate of use?

Yes

### 4 Proposed Number of Dwelling Units (if applicable)

0.0

### 5 Current Number of Dwelling Units (if applicable)

0.0

### 6 Proposed Zoning Primary Land Use Type (Refer to Syracuse Zoning Ordinance)

Mixed Use Development

**INTERNAL USE ONLY**

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**7 Companion Zoning Applications (if applicable, list any related zoning applications)**

minor site plan review

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**8 Proposed Onsite Parking**

same

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**9 Current Onsite Parking**

25

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**10 Proposed Hours of Operation**

varies

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**11 Current Hours of Operation**

varies

---

**12 Current Number of Dwelling Units**

---

**13 Proposed Number of Dwelling Units**

---

**14 Proposed Use of the Property**

Bakery

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**15 Current Use of the Property**

Mixed Use

---

**16 Lot Size (sq ft)**

26229

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**17 Business/Project Name**

Zaman Coffee House Bakery



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov

### Owner/Owner's Agent Certification

By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.

**Print owner's name:** Eastwood Maliti's LLC

Signature: *ANAS ALMALETTI* Date: 04/13/2026

Mailing address: 3001 James Street, Syracuse, NY 13206

Phone: Email:

**Print applicant's name:** ANAS ALMALETTI

Signature: *ANAS ALMALETTI* Date: 04/13/2026

Mailing address:

Phone: Email: [REDACTED]

**Print authorized representative's name (if applicable):**  
craig Polhamus

Signature: *Craig Polhamus* Date: 04/13/2026

Mailing address: 114 E. Genesee St., Fayetteville, NY 13066

Phone: Email:

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. Faxed or photocopied signatures will not be accepted.

PLEASE NOTE:

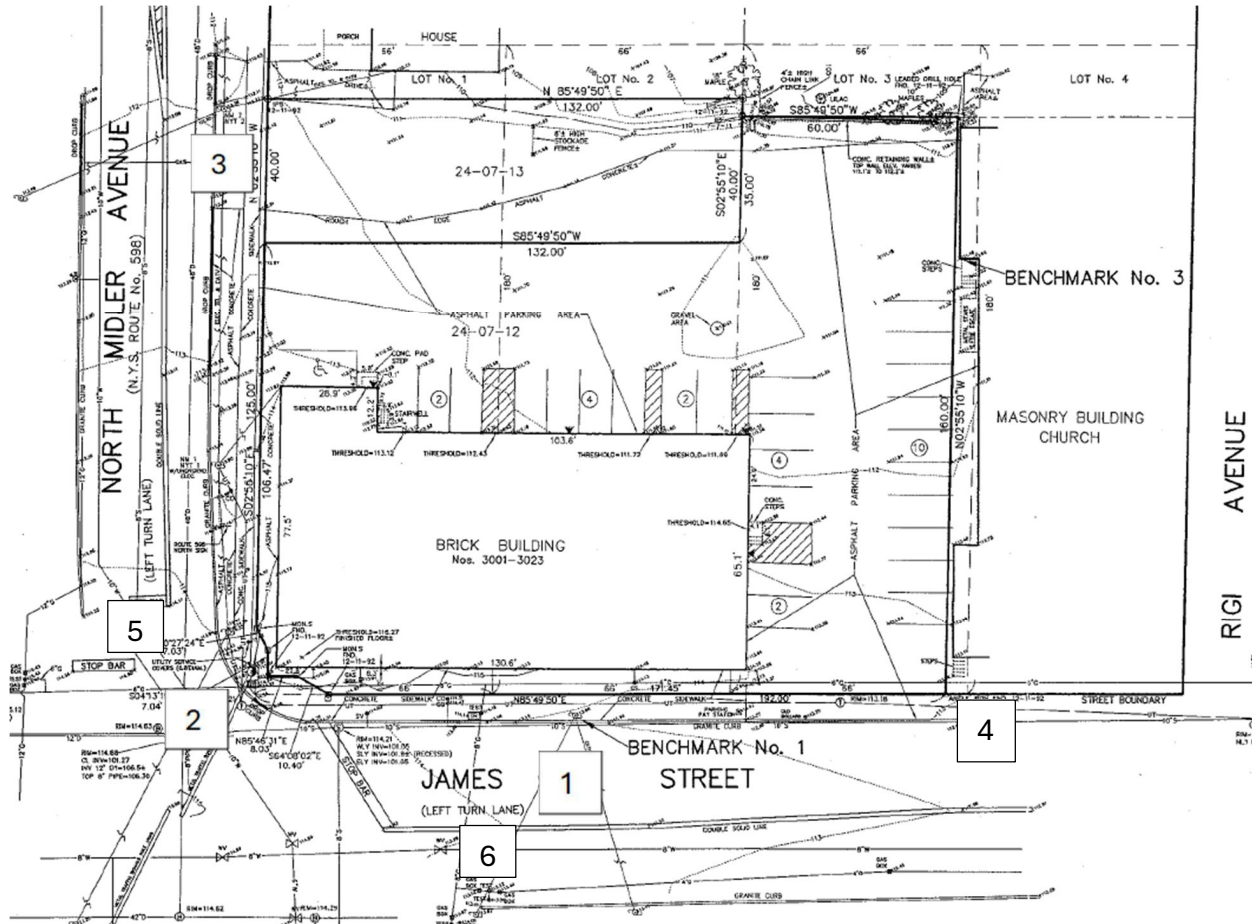
- **If the property owner is a corporation, the person who signed on behalf of the corporation shall print his/her name as well and provide the Articles of Organization.**
- **If a property owner designates an authorized agent as a legal representative to provide signature(s) on required submittals on his/her behalf, or apply for the application on his/her behalf, or to present the project at the City Planning Commission on his/her behalf, please provide the executed power of attorney form(s) for each representative.**
- **Incomplete forms or missing supplementary documentation are unacceptable and will result in the application being deemed incomplete. Incomplete applications will not be reviewed by the Office of Zoning Administration until all required materials are submitted.**



Project: Zaman Coffee House Bakery

Date: March 7, 2026

### Photographs of the Project Site:



### Partial Site Survey



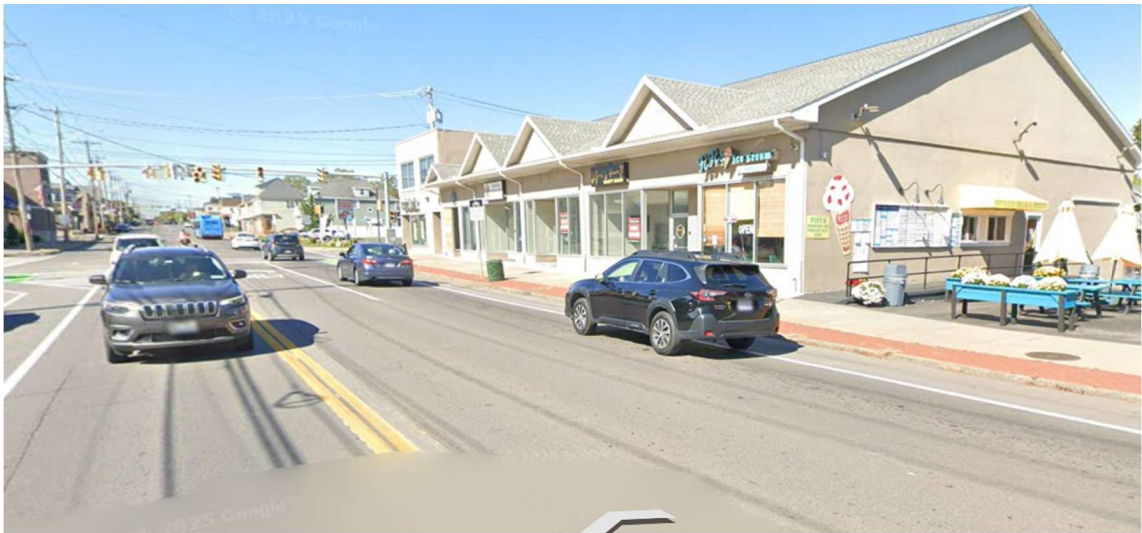
1. Front (South) Fascade of Building



**2. West Corner of Building**



**3. Rear (North) Facade of Building**



**4. East Corner of Building**



**5. View of Building to West of Site**



**6. View looking south across the street from Site**

New Tenant Space for:  
**Zoman Coffee House Bakery**  
 3013 James Street  
 Syracuse, New York 13206

**PROJECT # 25400**

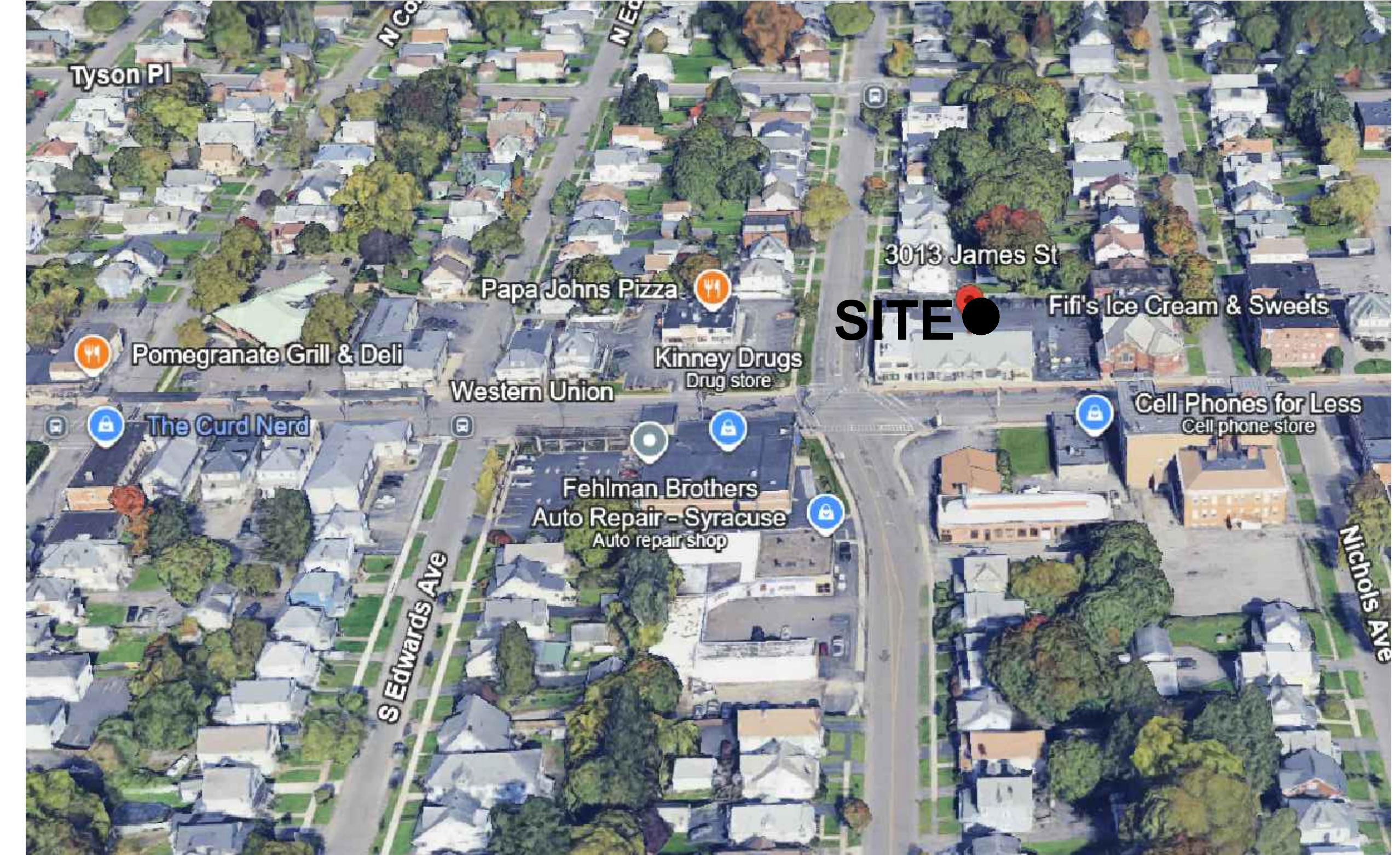
**DATE: 12-22-2025**

**LIST OF DRAWINGS**

- C1 COVER SHEET / PROJECT LOCATION MAP/ EXISTING STREET PERSPECTIVE / DRAWING LIST**
- C2 GENERAL NOTES - SHEET ONE**
- C3 BUILDING DATA AND CODE ANALYSIS**
- A1 EXISTING / DEMO. & NEW WORK PLANS**



**EXISTING STREET VIEW**



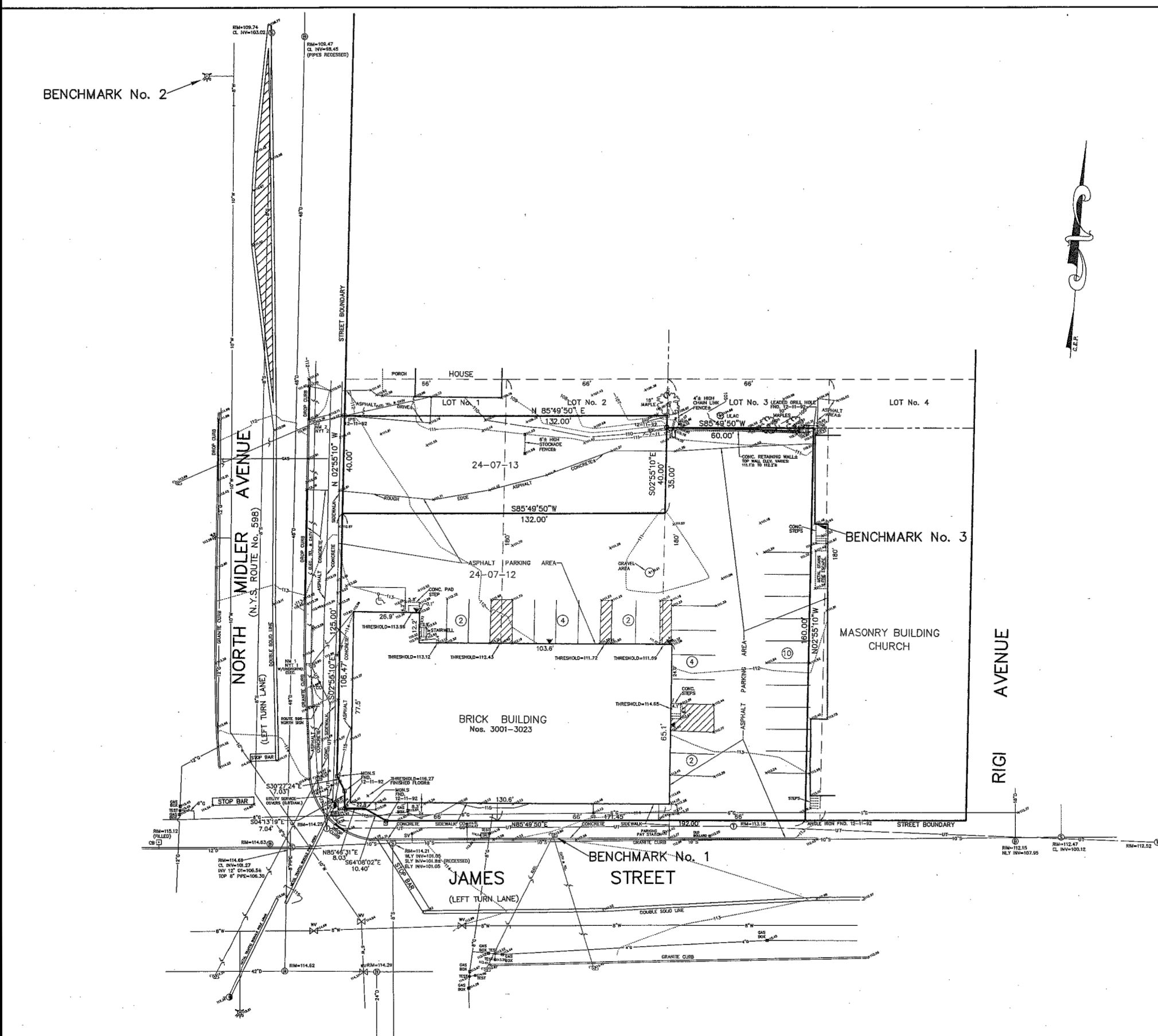
**ENLARGED PROJECT LOCATION PLAN**

**ARCHITECT**

**CRAIG POLHAMUS ARCHITECT**  
 114 E. GENESEE ST.  
 FAYETTEVILLE, NEW YORK 13066  
 315.952.4227  
 www.crpohamus.com

**OWNER**

**EASTWOOD MALITI'S LLC**  
 3001 JAMES STREET  
 SYRACUSE, NEW YORK 13206



**BENCHMARKS:**  
 BENCHMARK NO. 1 - MAGNETIC NAIL SET IN THE NORTH SIDE OF UTILITY POLE ON THE NORTH SIDE OF JAMES STREET 100' EAST OF THE INTERSECTION OF JAMES STREET WITH NORTH MEER ROAD. ELEV. = 115.54'  
 BENCHMARK NO. 2 - TOP CORNER AT POINT OF ARROW ON HYDRANT ON WEST SIDE OF NORTH MEER AVENUE IN FRONT OF HOUSE NO. 134. ELEV. = 115.62'  
 BENCHMARK NO. 3 - NORTHWEST CORNER OF TOP OF THE CONCRETE PAD OF CONCRETE DRIVE AT FACE OF WALL, ALONG THE WESTERN WALL OF DRIVE ON THE EAST OF THE SITE. ELEV. = 115.62'

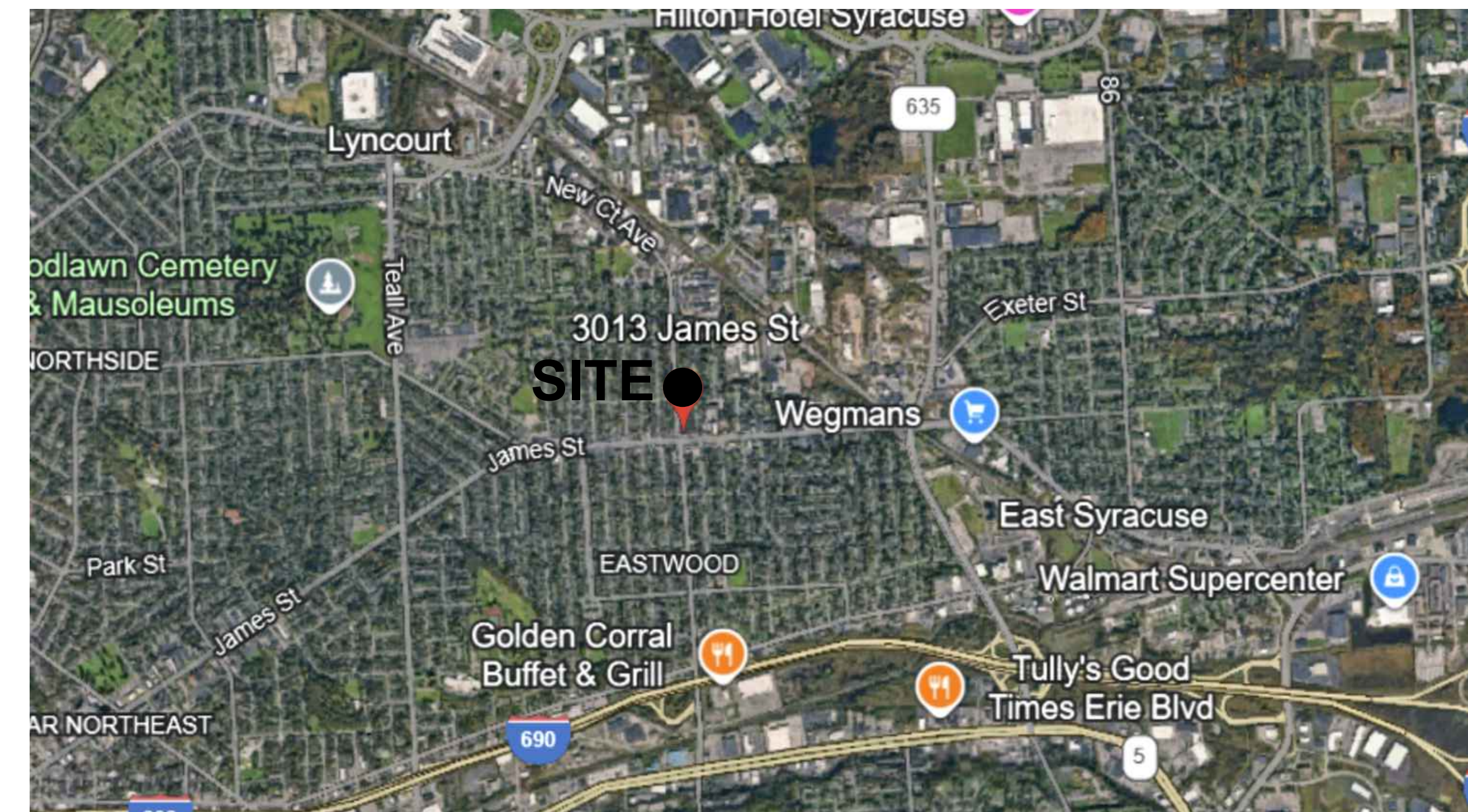
**NOTES:**  
 Dimensions referred to City of Syracuse edition (last).  
 Location of underground utilities taken by field measurement where practicable.  
 Depth of underground utilities, such as gas, water, electric, etc. cannot be obtained from record drawings. If depth is necessary then client must provide periodic test pits in areas of concern as we may obtain necessary elevations.  
 See Parcel Numbers: 24-07-12 & 24-07-13  
 Subject to any statement of facts on accurate and up to date abstract.  
 All data will show interpretation of existing ground conditions and are considered appropriate only.  
 Elevations of granite curb obtained at bottom face of curb; curb raised 4.0/2.2' to top of curb.

**LEGEND:**  
 - - - - - indicates existing grade  
 - - - - - indicates utility pole, anchor & overhead lines  
 - - - - - indicates water main, water valve, water service & hydrant  
 - - - - - indicates metal traffic signal pole  
 - - - - - indicates traffic signal masthead  
 - - - - - indicates alarm sewer, catch basin & manhole  
 - - - - - indicates sanitary sewer, sewer vent, clean out & manhole  
 - - - - - indicates underground telephone line, masthead & box  
 - - - - - indicates gas main, gas service  
 - - - - - indicates exterior wall light (on building face)  
 - - - - - indicates monument (found (with date)  
 - - - - - indicates iron pipe set or iron pipe found (with date)  
 - - - - - indicates number of parking spaces  
 - - - - - indicates tax parcel number

TRACT MAP: REVENUE SURVEY TRACT, SECTION No. 1  
 BY: G. E. HOGGINS, C.E.  
 DATE FILED: NOVEMBER 22, 1918  
 MAP NO. 1633

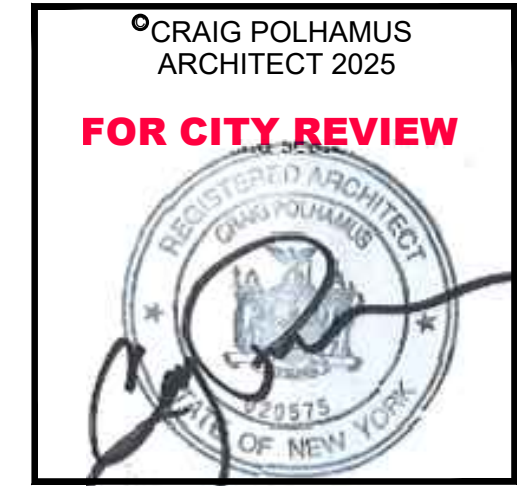
TOPOGRAPHIC MAP  
 PART OF LOT Nos. 1, 2 & 3  
 REVENUE  
 SURBECK TRACT  
 SECTION No. 1  
 PART OF LOT No. 25 - TOWN OF DEWITT  
 CITY OF SYRACUSE  
 ONONDAGA COUNTY, NEW YORK

DATE: JULY 7, 2011  
 SHEET NO. 22 OF 22



**PROJECT LOCATION MAP**

**Codes and Standards**  
 2020 Building Code of New York State (BCNYS) -- as adopted.  
 2020 Existing Building Code of New York State (Existing BCNYS) -- as applicable.  
 2020 Fire Code of New York State (FCNYS) -- as adopted.  
 Referenced standards (NFPA, ICC, ANSJ) as applicable for fire protection, alarm, and egress.



THE ARCHITECT CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME OR UNDER MY SUPERVISION IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE, FIRE CODE AND PROPERTY MAINTENANCE CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, ALL DATED 2016, AND APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS TO THE BEST OF MY KNOWLEDGE AND BELIEF. THESE CONSTRUCTION DOCUMENTS ARE IN CONFORMANCE THEREWITH.

REGISTERED ARCHITECT  
 020575  
 NY REG. NO. DATE

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

REVISIONS	
1 PER CITY COMMENTS	1/24/2026

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	-A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. -THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. -BREAKS OR JOINTS IN THE BARRIER SHALL BE SEALED.	-AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	-THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. -ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	-THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	-THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. -THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. -KNEE WALLS SHALL BE SEALED.	-CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF 1-3 PER INCH MINIMUM. -EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS, AND DOORS	-THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	-RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	-RIM JOISTS SHALL BE INSULATED
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	-THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	-FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING, AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	-EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	-WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWL SPACE WALLS.
SHAFTS, PENETRATIONS	-DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		-BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	-AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	-RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRY WALL.	-RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND THE IC RATED.
PLUMBING AND WIRING		-BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING TO EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	-THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	-EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	-THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE SEALED.	
HVAC REGISTER BOOTHS	-HVAC REGISTER BOOTHS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	-WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	

GENERAL SAFETY NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL REQUIRED BARRIERS, BARRICADES, SHORING, BRACING, TEMPORARY ENCLOSURES, ETC. TO PROTECT WORKMAN AND MEMBERS OF THE GENERAL PUBLIC FROM HARM, AND TO PROTECT THIS BUILDING AND ADJACENT PROPERTIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS WITH REGARD TO THE ELEVATED HEIGHTS ASSOCIATED WITH THIS PROJECT AND ALL HEAVY REMOVALS REQUIRED AT ELEVATED AND NON-ELEVATED HEIGHTS TO PROTECT PROPERTY AND PERSONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH AND SAFETY OF WORKERS AT THE CONSTRUCTION SITE. O.S.H.A. REGULATIONS SHALL BE IN EFFECT AND FOLLOWED.
4. REMOVE ALL CONSTRUCTION AND DEMOLITION DEBRIS FROM JOB SITE DAILY. MAKE JOB PREMISES CLEAN AT COMPLETION OF PROJECT.
5. ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY AND WITHOUT SPECIAL KNOWLEDGE OR EFFORT.

ENGINEERING CONSULTANTS:

1. ENGINEERS / CONSULTANTS SHALL COORDINATE THEIR DESIGN WITH THE ARCHITECTURAL CONTRACT DOCUMENTS. THEY SHALL BE RESPONSIBLE FOR THE DESIGN LAYOUT, DOCUMENTATION & STAMPING OF THEIR CONTRACT DOCUMENTS. THE ENGINEERS SHALL BE LICENSED TO PRACTICE IN THE STATE OF NEW YORK AND CARRY CURRENT PROFESSIONAL ENGINERS & ENGINEERS INSURANCE. THE DOCUMENTS SHALL COMPLY WITH APPLICABLE CODES TO THEIR RESPECTIVE TRADES (E.G. STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER, FIRE ALARM, ETC.).
2. M.E.P. CONSULTANTS SHALL COORDINATE THEIR RESPECTIVE SYSTEMS WITH THE OTHER TRADES TO MINIMIZE CONFLICTS WITH THE HVAC, PLUMBING, ELECTRICAL, AND SPRINKLERS.

OWNER / ARCHITECT CONTRACT LIABILITY:

1. CONTRACT, TERMS OF THE OWNER ARCHITECT AIA B-141 AGREEMENT SHALL APPLY TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS.
2. THE OWNER REALIZES THAT THE DESIGN/CONSTRUCTION PROCESS IS FLUID AND CHANGE CAN BE INITIATED BY THE OWNER, TENANT, CONSULTANTS, CONTRACTOR, SUB-CONTRACTORS, SUPPLIERS, ARCHITECT, ETC. THE DESIGN TEAM WILL ATTEMPT TO IDENTIFY AND COORDINATE ALL CHANGE ORDERS, ALTERATIONS, CLARIFICATIONS, REVISIONS, SUBSTITUTIONS, ETC. THE DESIGN TEAM RECOMMENDS THE OWNER CARRY A DESIGN CONTINGENCY IN THE CONSTRUCTION BUDGET TO COVER AN ERROR OR OMISSION BY THE DESIGN TEAM.
3. TO THE FULLEST EXTENT PERMITTED BY LAW, AND NOT WITHSTANDING ANY OTHER PROVISION OF THE AGREEMENT, THE TOTAL LIABILITY, IN THE AGGREGATE, OF THE CONSULTANT AND THE CONSULTANTS' OFFICERS, DIRECTORS, PARTNERS, EMPLOYEES AND SUB CONSULTANTS, AND ANY OF THEM, TO THE CLIENT AND ANYONE CLAIMING BY AND THROUGH THE CLIENT, FOR ANY AND ALL CLAIMS, LOSSES, COSTS OR DAMAGES, INCLUDING ATTORNEY'S FEES AND COSTS AND EXPERT-WITNESS FEES AND COSTS OF ANY NATURE WHATSOEVER OR CLAIMS EXPENSES RESULTING FROM OR IN ANY MANNER RELATED TO THE PROJECT OR THE AGREEMENT FROM ANY CAUSE OR CAUSES SHALL NOT EXCEED THE TOTAL COMPENSATION RECEIVED BY THE CONSULTANT UNDER THIS AGREEMENT, OR THE TOTAL AMOUNT OF \$100,000.00, WHICHEVER IS LESS. IT IS INTENDED THAT THIS LIMITATION APPLY TO ANY AND ALL LIABILITY OR CAUSE OF ACTION HOWEVER ALLEGED OR ARISING, UNLESS OTHERWISE PROHIBITED BY LAW.

CONSTRUCTION ADMINISTRATION:

1. SHOP DRAWINGS: SUB CONTRACTORS/ FABRICATORS MUST SEND SHOP DRAWINGS TO THE ARCHITECT FOR DISPERSION TO RESPECTIVE CONSULTANTS.
2. SHOP DRAWINGS SHOULD INCLUDE BUT NOT BE LIMITED TO: FRAMING, MSG. STEEL, FABRICATIONS, WINDOWS, STORE FRONTS, LIGHTING, DOOR HARDWARE & ETC.
3. STEEL SHOP DRAWINGS REVIEW SHALL BE SENT TO THE LICENSED STRUCTURAL ENGINEER AND THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

GENERAL WOOD FRAMING NOTES:

- ACCURATELY CUT, FIT AND FASTEN MEMBERS TO PROVIDE PLUMB, LEVEL, TRUE AND RIGID WORK.
- NAILING NOT INDICATED ON DRAWINGS SHALL BE IN ACCORDANCE WITH "RECOMMENDED NAILING SCHEDULE" CONTAINED IN NFPA, MANUAL FOR HOUSE FRAMING.
- COMPLY WITH APPLICATIONS RECOMMENDATIONS CONTAINED IN NFPA, DESIGN/CONSTRUCTION GUIDE - RESIDENTIAL AND COMMERCIAL FOR PLYWOOD PRODUCTS INDICATED.
- FOR BOLTED CONNECTIONS, DRILL HOLES 1/16" LARGER IN DIAMETER THAN THE BOLTS BEING USED. PROVIDE WASHERS UNDER BOLT HEADS AND NUTS IN CONTACT WITH WOOD.
- PROVIDE SINGLE BOTTOM PLATE AND DOUBLE TOP PLATES FOR LOAD BEARING WALLS, 2" THICK BY THE WIDTH OF THE STUDS UNLESS NOTED OTHERWISE. STAGGER TOP PLATE SPLICES, SPLICE ONLY AT STUD LOCATIONS.
- ANCHOR SILL PLATE OF EXTERIOR STUD WALLS TO FOUNDATION WALL WITH 1/2" DIAMETER ANCHOR BOLTS LOCATED A MAXIMUM OF 12" FROM EACH END AND 6 FEET MAXIMUM ON CENTERS (MINIMUM OF TWO ANCHOR BOLTS IN EACH SILL PLATE). EMBED ANCHOR BOLTS A MINIMUM OF 12" IN CONCRETE.
- INSTALL WOOD BLOCKING IN A CONTINUOUS HORIZONTAL ROW AT MID-HEIGHT OF THE FIRST LEVEL STUD BEARING WALLS.
- RAFTERS AND FLOOR JOISTS SHALL BE SUPPORTED Laterally AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING EXCEPT WHERE THE ENDS ARE ANCHORED TO A HEADER, BAND OR RIM JOIST, OR TO AN ADJOINING STUD.
- BRIDGING, FULL DEPTH SOLID BLOCKING, AND CROSS BRACING SHALL BE INSTALLED IN FLOOR JOISTS AT INTERVALS NOT EXCEEDING 8 FEET.
- DO NOT NOTCH JOISTS IN THE MIDDLE THIRD OF THE SPAN, LIMIT NOTCHES TO THE TOP FACE OF THE JOIST AND TO A MAXIMUM 1/6 OF THE DEPTH OF THE MEMBER (UNLESS ACCEPTANCE OF ARCHITECT/ENGINEER IS OBTAINED). NO OVERCUTS WILL BE PERMITTED.
- DO NOT BORE HOLES CLOSER THAN 2" FROM THE TOP OR BOTTOM OF JOISTS. LIMIT DIAMETER OF HOLES TO 1/3 OF THE DEPTH OF THE MEMBER. REVIEW BORE HOLE LOCATIONS WITH THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- PRESSURE TREAT ALL WOOD EXPOSED TO WEATHER OR IN CONTACT WITH SOIL, WATER, MASONRY, STEEL OR CONCRETE, AND ALL WOOD FRAMING MEMBERS DIRECTLY ABOVE SOIL WHEN THE BOTTOM ELEVATION IS 8" (OR LESS) ABOVE THE SOIL.
- INSTALL ROOF SHEATHING WITH FACE GRAIN ACROSS SUPPORTS, USING PANELS CONTINUOUS OVER TWO OR MORE SPANS WITH END JOINTS BETWEEN PANELS STAGGERED AND LOCATED OVER CENTER OF SUPPORTS.
- NAIL SHEATHING 6" ON CENTER ALONG PANEL ENDS AND 12" ON CENTER AT INTERMEDIATE SUPPORTS USING 10d COMMON NAILS. SEE DRAWINGS FOR ADDITIONAL NAILING REQUIREMENTS AT ROOF DIAPHRAGM BOUNDARIES.
- CONSTRUCT HEADERS WITH CONTINUOUS PLYWOOD FILLERS OR SPACER BLOCKS AS REQUIRED TO MATCH WALL WIDTH. LOCATED SPACER BLOCKS AT EACH END AND AT MID-SPAN OF HEADER.
- CONSTRUCT HEADERS FROM LUMBER WITHOUT END-SPLITS, CHECKS OR SHAKES.
- GLUE-NAIL EACH PLY OF MULTIPLE PIECE BEAMS TOGETHER WITH THREE ROWS OF 16d NAILS AT 12" ON CENTER (STAGGERED). LOCATE ROWS OF NAILING 2" FROM TOP AND BOTTOM FACES AND AT MID-DEPTH OF BEAM.
- IN ADDITION TO NAILING SPECIFIED ABOVE, BOLT THREE PLY BEAMS WITH 1/2" DIAMETER BOLTS AT 24" ON CENTER STAGGER BOLTS ALONG TOP AND BOTTOM FACES AT 1/3 BEAM DEPTH.
- PROVIDE BUILT-UP STUD COLUMNS AT ALL BEAM BEARING LOCATIONS IN STUD WALLS UNLESS NOTED OTHERWISE. CONSTRUCT BUILT-UP STUD COLUMNS THE SAME WIDTH AS THE BEAM (OR LARGER IF SO NOTED) AND PROVIDE A MINIMUM BEAM BEARING LENGTH OF 3.5'. THE LAMINATING OF BUILT-UP STUD COLUMNS SHALL MEET, OR EXCEED, THE PROVISIONS OF THE 2005 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, SECTION 15.3.3.1.
- ANY FLOOR SYSTEM BUILT OF 2x6'S (OR SMALLER), ALL SIZES OF MANUFACTURED I-JOISTS, ALL SIZES OF COLD-FORMED STEEL FRAMING, OR ANY OTHER MATERIAL CONSIDERED MORE SUSCEPTIBLE TO COLLAPSE IN A FIRE, SHALL BE PROTECTED FROM FIRE BY THE INSTALLATION OF 1/2" GYPSUM BOARD, 5/8" WOOD STRUCTURAL PANEL OR OTHER APPROVED MATERIAL TO THE UNDERSIDE OF THE FLOOR SYSTEM. SEE RCNYS 302.13 FOR ADDITIONAL DETAILS AND EXEMPTIONS.

GENERAL ENERGY CODE NOTES:

- COMPLY WITH THE 2020 NYS RESIDENTIAL BUILDING CODE OF NEW YORK STATE, AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- ALL EXTERIOR INSULATION MUST HAVE A RIGID, OPAQUE, WEATHER-RESISTANT PROTECTIVE COVERING THAT COVERS THE EXPOSED (ABOVE-GRADE) INSULATION AND EXTENDS AT LEAST 6" BELOW GRADE.
- SLAB INSULATION SHALL EXTEND DOWN FROM THE TOP OF THE SLAB TO AT LEAST 48" OR DOWN TO AT LEAST THE BOTTOM OF THE SLAB THEN HORIZONTALLY FOR A MINIMUM DISTANCE OF 48".
- JOISTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED, CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED. THIS INCLUDES, BUT IS NOT LIMITED TO, WINDOWS, DOORS, HVAC DUCTWORK, PLUMBING PIPE, ELECTRICAL PENETRATIONS, ETC.
- RECESSED LIGHTS MUST BE TYPE IC RATED AND INSTALLED WITH NO PENETRATIONS, OR INSTALLED INSIDE AN APPROPRIATE AIR-TIGHT ASSEMBLY WITH A 1/2" CLEARANCE FROM COMBUSTIBLE MATERIALS AND 3" CLEARANCE FROM INSULATION. ALL IC-RATED RECESSED LIGHTING FIXTURES SHALL BE SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE LESS THAN 2.0 CFM LEAKAGE @ 75 Pa.
- AN APPROVED VAPOR RETARDER (MAXIMUM PERM RATING OF 1.0) IS REQUIRED ON THE "WARM-IN-WINTER" SIDE OF ALL NON-VENTED FRAMED CEILING, WALLS, AND FLOORS. TYPICAL METHODS USED ARE: KRAFT-FACED INSULATION, POLYETHYLENE SHEETING, AND VAPOR RETARDER PRIMERS/PAINTS.
- ALL MATERIALS AND EQUIPMENT MUST BE IDENTIFIED SO THAT COMPLIANCE WITH BOTH ENERGY AND BUILDING CODES CAN BE DETERMINED.
- MANUFACTURER MANUALS FOR ALL INSTALLED HEATING/COOLING EQUIPMENT AND SERVICE WATER HEATING EQUIPMENT MUST BE PROVIDED.
- INSULATION R-VALUES, GLAZING U-VALUES, AND HEATING EQUIPMENT EFFICIENCY MUST BE CLEARLY MARKED ON THE BUILDING PLANS OR SPECIFICATIONS.
- SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3 INCHES IN DIAMETER AND GREATER AND R-6 WHERE LESS THAN 3 INCHES IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-6 WHERE 3 INCHES IN DIAMETER OR GREATER AND R-4.2 WHERE LESS THAN 3 INCHES IN DIAMETER/DUCTS, OR PORTIONS THEREOF, LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE ARE EXCEPT.
- ALL DUCTWORK JOINTS, SEAMS, AND CONNECTIONS MUST BE SECURELY FASTENED WITH WELDS, GASKETS, MASTICS (ADHESIVES), MASTIC-PLUS-EMBEDDED FABRIC, LIQUID SEALANTS OR TAPES, TAPES AND MASTICS USED TO SEAL FIBROUS GLASS DUCTWORK SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 181A AND SHALL BE MARKED "181A-P" FOR PRESSURE-SENSITIVE TAPE, "181A-M" FOR MASTIC OR TAPE, DUCT TAPE IS NOT PERMITTED. EXCEPTIONS: (1) SPRAY POLYURETHANE FOAM SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALANTS (2) CONTINUOUSLY WELDED AND LOCKING-TYPE LONGITUDINAL JOINTS AND SEAMS ON DUCTS OPERATION AT LESS THAN 2" W.G. (500 Pa).
- DUCTWORK SHALL BE SUPPORTED EVERY 10 FEET OR IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- COOLING DUCTS WITH EXTERIOR INSULATION MUST BE COVERED WITH A VAPOR RETARDER.
- AIR FILTERS ARE REQUIRED IN THE RETURN AIR SYSTEM.
- THE HVAC SYSTEM MUST PROVIDE A MEANS FOR BALANCING AIR AND WATER SYSTEMS.
- THERMOSTATS ARE REQUIRED FOR EACH SEPARATE HVAC SYSTEM. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING OR COOLING SYSTEM OF THE DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY, AND SHALL COMPLY WITH THE REQUIREMENTS OF N1103.1.1 OF THE 2015 NYS RESIDENTIAL BUILDING CODE, THE 2016/2017 UNIFORM CODE SUPPLEMENT, AND THE 2016 SUPPLEMENT TO THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
- WATER HEATERS WITH VERTICAL PIPE RISERS MUST HAVE A HEAT TRAP ON BOTH THE INLET AND OUTLET UNLESS THE WATER HEATER HAS AN INTEGRAL HEAT TRAP OR IS PART OF A RECIRCULATING SYSTEM.
- INSULATE COMMERCIAL CIRCULATING HOT WATER PIPES TO THE LEVELS SHOWN IN TABLE C403.2.8 "MINIMUM PIPE INSULATION" IN THE 2015 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. INSULATE RESIDENTIAL CIRCULATING SERVICE HOT WATER PIPES TO R-3 MINIMUM.
- ALL HEATED SWIMMING POOLS MUST HAVE AN ON/OFF HEATER SWITCH THAT COMPLIES WITH N1103.10.1 AND N1103.10.2 OF THE 2015 NYS RESIDENTIAL BUILDING CODE, AND REQUIRE A COVER UNLESS OVER 70% OF THE HEATING ENERGY IS FROM NON-DEPLETABLE SOURCES.
- HVAC PIPING CONVEYING FLUIDS ABOVE 105° F OR CHILLED FLUIDS BELOW 55° F MUST BE INSULATED TO A MINIMUM OF R-3 (EXCEPTION: HEATING PIPING LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE).
- AUTOMATIC OR GRAVITY DAMPERS SHALL BE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS.
- BUILDING ENVELOPE TIGHTNESS SHALL BE VERIFIED BY A BLOWER DOOR TEST RESULT OF LESS THAN 3 ACH @ 50 Pa, AND SHALL BE CONDUCTED PER THE REQUIREMENTS OF N1102.4.1.2 OF THE 2015 NYS RESIDENTIAL BUILDING CODE.
- A PROTECTIVE COVERING SHALL BE INSTALLED TO PROTECT EXPOSED EXTERIOR INSULATION AND IT SHALL EXTEND A MINIMUM OF 6 INCHES BELOW FINISHED GRADE.
- ALL INSTALLED INSULATION SHALL BE LABELED OR THE INSTALLED R-VALUES SHALL BE PROVIDED AS REQUESTED.
- THE VALID NEW YORK STATE ENERGY CODE COMPLIANCE CERTIFICATE SHALL BE POSTED ON THE SITE.
- ALL JOINTS AND SEAMS OF ALL AIR DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED.
- BUILDING CAVITIES SHALL NOT BE UTILIZED AS DUCTS PLENUMS.
- DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS: AND, WHEN APPLICABLE, SHALL COMPLY WITH N1103.4 OF THE 2015 NYS RESIDENTIAL BUILDING CODE.
  1. ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
  2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. EXCEPTION: A DUCT AIR LEAKAGE TEST SHALL NOT BE REQUIRED WHERE THE DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
- A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.
- PROGRAMMABLE THERMOSTATS SHALL BE INSTALLED ON FORCED AIR FURNACES.
- HEAT PUMP THERMOSTATS SHALL BE INSTALLED ON ALL HEAT PUMPS.
- CIRCULATING SERVICE HOT WATER SYSTEMS SHALL HAVE AUTOMATIC OR ACCESSIBLE MANUAL CONTROLS.
- MANUFACTURER MANUALS FOR MECHANICAL AND WATER HEATING EQUIPMENT SHALL BE PROVIDED PER CURRENT EOCNYS 303.3.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED PER ACCA MANUAL S BASED ON LOADS PER ACCA MANUAL J, OR OTHER APPROVED METHODS.
- ANY, AND ALL, EXTERIOR SNOW/ICE MELT SYSTEMS SHALL HAVE CONTROLS INSTALLED.

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL EXAMINE THE SITE AND CHECK EXISTING CONDITIONS TO THE FULL EXTENT OF THE SCOPE OF WORK. CONTRACTOR SHALL COORDINATE WORK WITH ALL TRADES AND OTHER CONTRACTORS RETAINED BY THE OWNER. THE ARCHITECT SHALL BE NOTIFIED, IN WRITING, IN CASE OF DISCREPANCIES OR CONFLICTS PRIOR TO THE EXECUTION OF WORK.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE AND BE RESPONSIBLE FOR SAME. IN ANY OF DISCREPANCIES, CONFLICTS OR DOUBTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, IN SUFFICIENT TIME TO RESOLVE THE PROBLEM BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- DO NOT SCALE THE DRAWINGS FOR EXECUTION OF WORK. VERIFY THE EXISTING CONDITIONS AND CROSS CHECK ALL DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING ADJACENT AREAS DURING ALL PHASES OF CONSTRUCTION AND SHALL REPAIR, RELOCATE OR REPLACE AS NEEDED TO COMPLETE SUCH WORK AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL PROVIDE A PLAN FOR APPROVAL BY THE OWNER FOR PROTECTION OF DRIVEWAYS, FENCES, LANDSCAPING, TREES AND SHRUBS ADJACENT TO THE BUILDING CONSTRUCTION SITE, PRIOR TO THE EXECUTION OF WORK.
- ADJOINING WORK OR FINISHES THAT ARE DISRUPTED, DEFACED, OR OTHERWISE DEFECTIVE, SHALL BE NEATLY REPAIRED IN GOOD ORDER AS APPROVED BY THE OWNER. EXISTING AREAS THAT MAY HAVE BEEN WORKED ON SHALL BE THOROUGHLY CLEANED AND IN NEAT AND ACCEPTABLE CONDITION.
- UPON REQUEST, THE CONTRACTOR SHALL SUBMIT FOR INSPECTION AND APPROVAL OF DESIGN, BY OWNER, MANUFACTURER'S SAMPLES AND/OR CUTS OF ANY FINISH MATERIALS TO BE INSTALLED IN THIS PROJECT (INCLUDING ROOFING, DRIP EDGE, SOING, VENTS, SCREEN MATERIAL AND FRAMES, ETC.).
- THE CONTRACTOR SHALL PROVIDE PROPER CLEANUP OF ALL WORK BEFORE FINAL PAYMENT, THIS INCLUDES FINISHES AND ADJACENT SITE.
- THE CONTRACTOR SHALL REMEDY ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND PAY FOR ANY SAME, FROM THE DATE OF FINAL CERTIFICATE OF COMPLETION AND IN ACCORDANCE WITH THE TERMS OF ANY SPECIAL GUARANTEES PROVIDED IN THE CONTRACT.
- THE CONTRACTOR SHALL OBTAIN ALL PERMIT AND PAY ALL APPLICABLE FEES REQUIRED BY LOCAL LAWS, ORDINANCES AND REGULATION RELATED TO THIS WORK AS WELL AS ALL SCHEDULED INSPECTIONS AND APPROVALS. THE CONTRACTOR SHALL PROVIDE COPIES OF SUCH TO THE ARCHITECT.
- THE CONTRACTOR SHALL HAVE THE BUILDING STAKED OUT ON THE SITE PRIOR TO THE CONSTRUCTION, BY A LICENSED SURVEYOR & SUBMIT A COPY TO THE ARCHITECT AND OWNER OF A FINAL AS BUILT SURVEY, STAMPED AND SIGNED BY A LICENSED SURVEYOR.
- ALL BUILDING MATERIALS STORED AT THE CONSTRUCTION SITE, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA ACCESS TO SUCH AREAS TO BE CONTROLLED BY THE OWNER AND/OR THE GENERAL CONTRACTOR.
- ALL MATERIALS SHALL BE STORED IN AN ORDERLY FASHION AND PROTECTED FROM WEATHER.
- ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE IS EXPOSED CONDUIT OR WIRE.
- ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA SHALL BE SHUT OFF AFTER WORKING HOURS.
- CONTRACTOR TO PROVIDE AT LEAST ONE (1) OPERABLE FIRE EXTINGUISHER AT AREA OF WORK.
- CONCEALED JOISTS SPACES SHALL HAVE 2X SOLID BLOCKING (FIRE STOPPING) OVER BEARING WALLS AND/OR BEAMS. NO JOIST CAVITY SHALL EXCEED 20 FEET. STUD CAVITIES SHALL BE LIMITED TO CONCEALED CAVITY HEIGHT OF 8'-0". FIRE BLOCKING SHALL BE PROVIDED AS REQUIRED TO LIMIT SUCH HEIGHT.
- JOISTS, HEADERS AND BEAMS SHALL BE HEM-FIR UNLESS OTHERWISE NOTED.
- HEM-FIR: Fb=1,000 PSI, Fv=75 PSI, E=1,000,000 PSI  
DOUG-FIR: Fb=1,400 PSI, Fv=95 PSI, E=1,300,000 PSI  
MICROLAM: Fb=2,600 PSI, Fv=285 PSI, E=1,900,000 PSI  
STEEL: Fb=24,000 PSI, E=29,000,000 PSI
- ELECTRICAL AND/OR PLUMBING LAYOUT SHALL MEET OR EXCEED ALL LOCAL AND NATIONAL CODES AND SHALL BE INSPECTED DURING CONSTRUCTION.
- PROVIDE DOUBLE STUDS UNDER BEAMS OR LINTELS TO PROVIDE SOLID BEARING POINTS FOR THE PROPER TRANSFER OF LOADS TO THE FOUNDATION.
- THIS SET OF PLANS HAS BEEN DESIGNED, AND SHALL BE BUILT, TO COMPLY WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ANY ASSOCIATED SUPPLEMENTS AND THE ENERGY CODE OF NEW YORK STATE, IN EFFECT, UPON THE DATE OF ISSUANCE.
- IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED REGISTERED ARCHITECT, TO ALTER AN ITEM ON THE DOCUMENT IN ANY WAY - TITLE VA, PART 69.5(b).
- 1/2" DIAMETER X 16" LONG ANCHOR BOLTS SET IN FILLED CORES (MIN. OR 2 CRS) @ 6'-0" O.C. AND MINIMUM 1'-0" AWAY FROM CORNER, MINIMUM OF 2 BOLTS IN EACH SILL PIECE.
- FILL C.M.U. CORES SOLID WITH CONCRETE, MINIMUM 3'-0" WIDE X 3 CRS AT ALL BEAM BEARING LOCATIONS.
- ALL GLASS IN DOORS AND ALL GLASS IN WINDOWS WITH SILLS LESS THAN 18" ABOVE FINISHED FLOOR SHALL BE TEMPERED.
- THE CONTRACTOR SHALL INSTALL SIMPSON STRONG TIE "H-1" HURRICANE ANCHORS (OR APPROVED EQUAL) AT ALL RAFTER-TO-TOP PLATE CONNECTIONS. PROVIDE FASTENERS IN MATERIAL, TYPE AND SIZE PER MANUFACTURER'S INSTRUCTIONS.
- WHERE PRE-ENGINEERED FLOOR JOIST SYSTEMS (LOUISIANA-PACIFIC, TRUSS-JOIST, ETC.) AND/OR ROOF TRUSSES ARE SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL. SHOP DRAWINGS SHALL INCLUDE ALL PLANS, SECTIONS, DETAILS AND CALCULATIONS THAT ARE/WERE REQUIRED BY THE MANUFACTURER TO DESIGN AND INSTALL THE FLOOR OR ROOF SYSTEM.
- PRE-ENGINEERED FLOOR JOIST AND ROOF TRUSS SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND/OR LIMITATIONS.
- THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO CONTROL CRACKING IN CONCRETE FLOOR SLABS INCLUDING, BUT NOT LIMITED TO: SAWCUTTING CONTROL JOINTS (1/4" DEEP PER INCH OF SLAB THICKNESS) SPACED AT 24 TO 36 TIMES THE SLAB THICKNESS (DO NOT EXCEED 15 FEET). INSTALL THE PROPER STRENGTH-CONCRETE FOR INTENDED USE, AVOID HOT MIXES AND RAPID DRYING OF THE CONCRETE, INSTALL MINIMUM ONE LAYER OF WELDED WIRE MESH IN THE CENTER OF THE SLAB THICKNESS. DO NOT PLACE CONCRETE ON FROZEN GROUND OR SUB-BASE.
- VAPOR RETARDER CLASSIFICATIONS SHALL BE AS FOLLOWS:
  - CLASS 1: VAPOR IMPERMEABLE (ASTM E96 TESTED TO HAVE A PERMEANCE OF LESS THAN 0.1)
    - MINIMUM 6 MIL (6067) POLYETHYLENE SHEETING
    - FOIL OR POLYPROPYLENE FACED INSULATION
    - RUBBER MEMBRANE
  - CLASS 2: VAPOR SEMI-IMPERMEABLE (ASTM E96 TESTED TO HAVE A PERMEANCE OF LESS THAN 1.0 AND GREATER THAN 0.1)
    - MINIMUM 2 MIL (6027) POLYETHYLENE SHEETING
    - BITUMEN COATED KRAFT PAPER
    - 1" EXTRUDED POLYSTYRENE INSULATION (UNFACED)
  - CLASS 3: VAPOR SEMI-PERMEABLE (ASTM E96 TESTED TO HAVE A PERMEANCE OF GREATER THAN 1.0)
    - PLYWOOD
    - GYPSUM BOARD
    - HOUSE WRAP
- CONSULT WITH ARCHITECT FOR SUITABLE ALTERNATIVES
- THE CONTRACTOR SHALL USE 3/4" TONGUE & GROOVE PLYWOOD (GLUED & SCREWED) FOR FLOOR DECKING. ORIENTED STRAND BOARDS NOT AN ACCEPTABLE REPLACEMENT FOR FLOOR DECK.



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New Tenant Space for:  
**Zaman's Coffee House Bakery**  
 3013 James Street  
 Syracuse, New York 13206

NO.	REVISION:	DATE:
1	PER CITY COMMENTS	1/24/2026

SHEET TITLE:  
**NOTES**  
**SHEET ONE**



ARCHITECTURE FOR A NEW ENVIRONMENT

114 EAST GENESEE STREET  
 FAYETTEVILLE, NEW YORK 13066

TELEPHONE: (315) 637-0066

SCALE: AS SHOWN	SHEET NO. <b>C2</b>
DRAWN BY: JDS	PROJECT NO. 25400
DATE: 12-22-2025	

THE FOLLOWING TEXT AND DRAWINGS ARE REFERENCED FROM RENOVATION SET APPROVED FOR LAST RENOVATION (BASEMENT) DATED 8/31/2022 (REVISED 9/16/2022) BY GROUP ONE DESIGN. THIS INFORMATION WAS USED AS BASIS FOR CURRENT DESIGN. USED WITH PERMISSION



**NYS 2020 BUILDING CODE/ EXISTING BUILDING CODE REVIEW**

**BUILDING CONSTRUCTION-**  
 BUILDING IS TYPE 5B CONSTRUCTION -  
 EXISTING BUILDING IS CMU WALLS AND POURED CONCRETE FOUNDATION WALLS. THE FLOOR SYSTEM BETWEEN THE LOWER LEVEL AND MAIN FLOOR IS STEEL BAR JOISTS AND A CONCRETE SLAB FLOOR SYSTEM  
 THIS LEVEL WAS OCCUPIED IN THE PAST BY A HAIR SALON A LONG TIME AGO, I REMEMBER BECAUSE I HAVE LIVED IN EASTWOOD, SINCE 1980, IT HAS BEEN VACANT FOR OVER WELL OVER 25 YEARS, LISTED BY CITY AS 'STORAGE' CURRENTLY, SO WE WILL BE GOING THRU A CHANGE OF OCCUPANCY FROM S OCCUPANCY TO B OCCUPANCY  
 THIS AREA WILL BE USED AS ADDITIONAL OFFICE FOR THE BUILDING OWNER/ OWNER OF THE CRICKET STORE IN THIS BUILDING, THIS IS A B OCCUPANCY

**FIRE SEPARATION-**  
 EXISTING CONSTRUCTION-  
 THERE ARE 2 HOUR FIRE SEPARATIONS BETWEEN THIS RENOVATED AREA AND ADJACENT LOWER LEVEL SPACES. THERE IS A 2 HOUR RATING AT THE CEILING/ FLOOR CONSTRUCTION ABOVE THIS AREA AND THE BUSINESS ON THE MAIN FLOOR. THE FLOOR/ CEILING IS CONSTRUCTED WITH BAR JOISTS AND A CONCRETE SLAB  
**FIRE PROTECTION-**  
 SPRINKLERS ARE NOT REQUIRED IN BUSINESS OCCUPANCIES THE AREA WILL HAVE HARD WIRED SMOKE DETECTION TIED INTO THE BUILDING SYSTEM.  
**MEANS OF EGRESS-**  
 THERE ARE CURRENTLY 2 MEANS OF EGRESS FROM THIS AREA. EACH HAS A MINIMUM OF A 36" DOOR, BOTH DOORS LEAD TO STAIRS THAT HAVE AN EXIT DIRECTLY TO THE EXTERIOR OF THE BUILDING.  
 ONE EXIT IS REQUIRED, FROM THIS B-OCCUPANCY, THE OCCUPANT LOAD IS 49 PEOPLE, THE TRAVEL DISTANCE TO AN EXIT FOR < 30 PEOPLE CAN BE 100' LONG  
 AT EACH DOOR FROM THE AREA THERE WILL BE A LIT EXIT SIGN AND EMERGENCY LIGHTING ON A BATTERY BACK UP.  
 THERE WILL LIT EXIT SIGNS AND EMERGENCY LIGHTING IN THE STAIR WELLS AT THE DOORS TO THE EXTERIOR

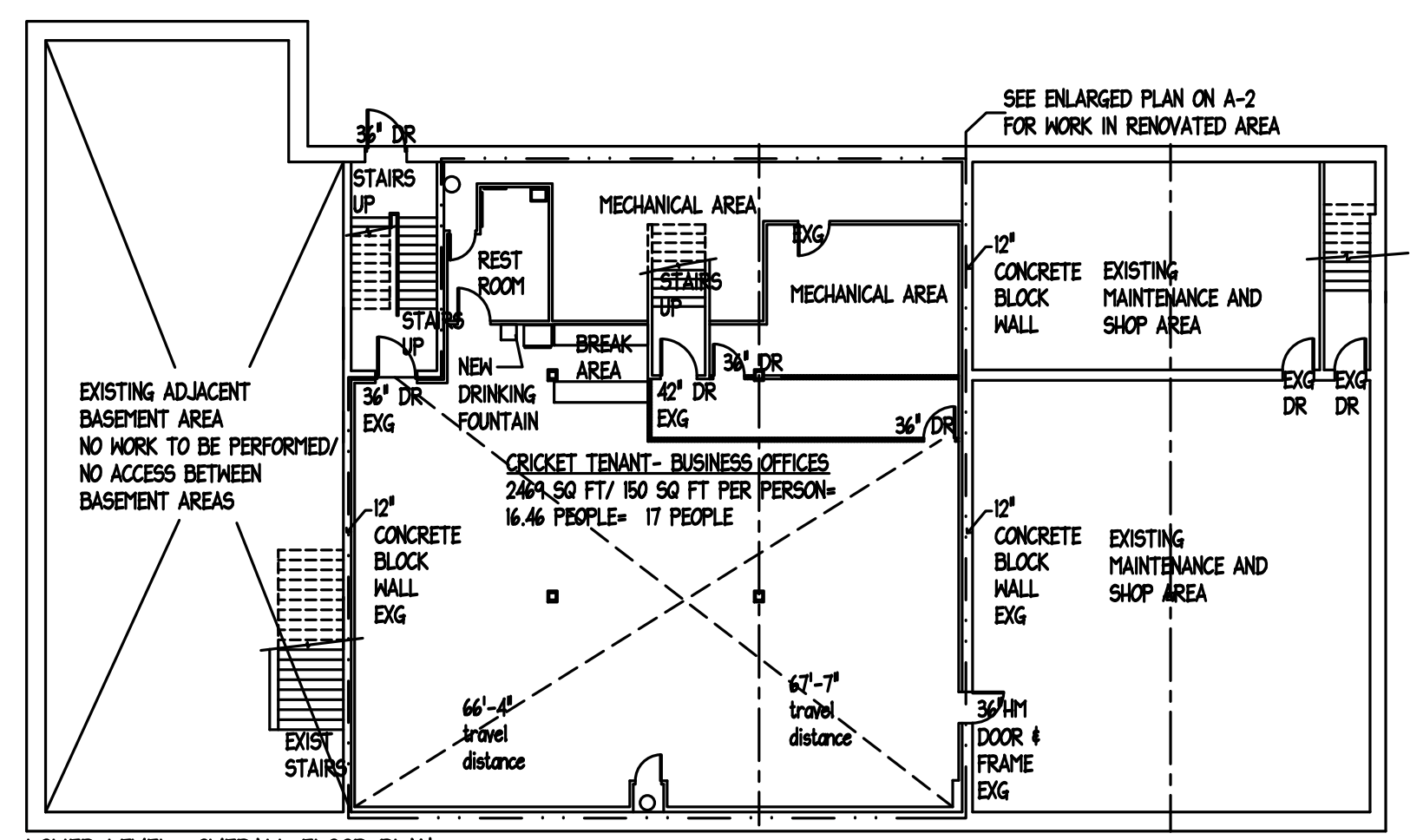
**ACCESSIBILITY-**  
 THERE IS NO HANDICAP ACCESSIBILITY TO THIS EXISTING LOWER LEVEL. A HANDICAP BATHROOM IS PROVIDED. THERE IS ACCESSIBLE PARKING AS PER SECTION 305.7 OF THE EXISTING CODE- THE COST TO MAKE THIS LOWER LEVEL ACCESSIBLE EXCEEDS 20% OF THE CONSTRUCTION COST. THERE HANDICAP ACCESSIBILITY TO THE MAIN FLOOR OF THE BUSINESS BY WAY OF A SIDE ENTRY RAMP ON MIDLER AVENUE  
**PLUMBING-**  
 ONE HC REST ROOM IN THIS NEW AREA. THERE ARE 3 TOILET RMS ON THE MAIN FLR AND 1 ON THE SECOND FLOOR -THERE IS A TOTAL OF 4 TOILET RMS FOR THIS OCCUPANCY.  
 A MOP SINK IS BEING INSTALLED AS A PART OF OF THIS CONTRACT  
 A DRINKING FOUNTAIN IS BEING INSTALLED AS A PART OF THIS CONTRACT

**GROSS BUILDING AREA AND USE BREAKDOWN**  
 TENANT AREA 1: 1,336 SF (FIFI'S ICE CREAM) USE GROUP M  
 TENANT AREA 2: 1,286 SF (BEAUTY SALON) USE GROUP B  
 TENANT AREA 3: 1275 (PROPOSED BAKERY) USE GROUP M  
 TENANT AREA 4: 879 SF (PROPOSED BAKERY) USE GROUP M  
 TENANT AREA 5: 985 SF (NICK'S BARBER SHOP) USE GROUP B  
 STAIRS: 441 SF  
 TENANT AREA 6 (FIRST FLOOR): 2,507 SF (CRICKET STORE) M  
 TENANT AREA 6 (SECOND FLOOR): 2,671 SF (CRICKET OFFICES) B  
 TENANT AREA 6 (BASEMENT): 8,907 SF (CRICKET OFFICES, MECH.) B

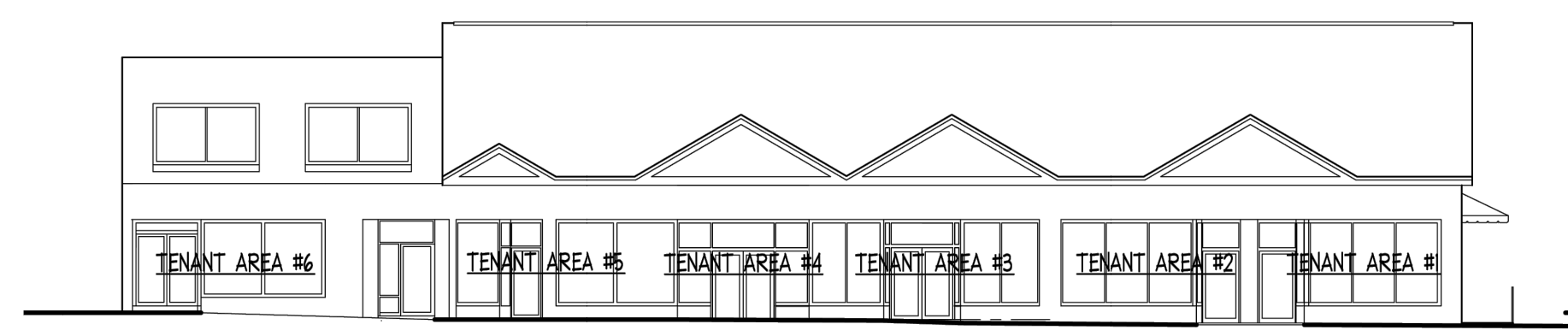
CONSTRUCTION TYPE 5B (NOT SPRINKLERED)  
 ALLOWABLE BUILDING HEIGHT: 40 FT  
 ALLOWABLE NUMBER STORIES: 2  
 ALLOWABLE AREA: 9,000 SF PER FIRE AREA  
 (EXISTING 2 HOUR FIRE RATED SEPARATION BETWEEN FLOORS)

REQUIRED SEPARATION PER TABLE 508.4: NONE

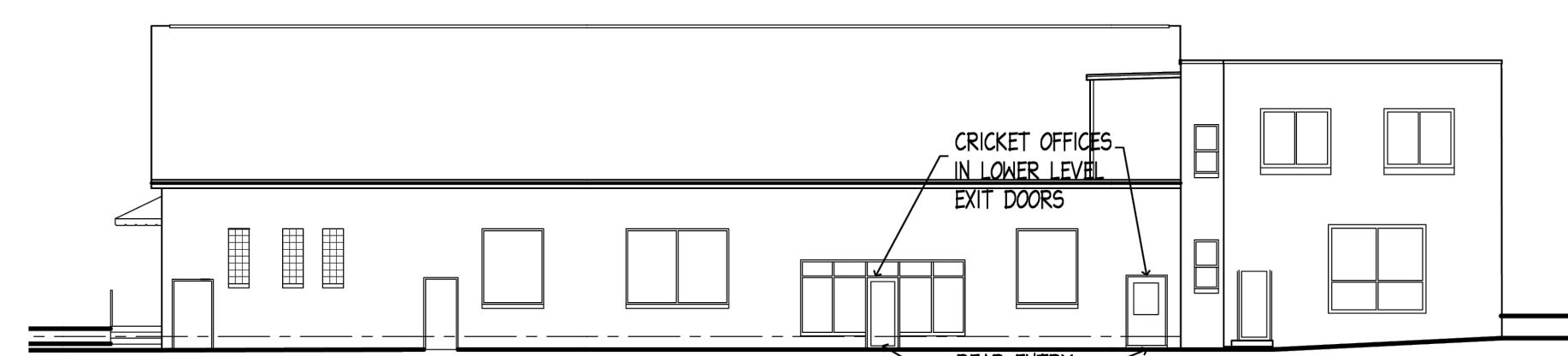
REV- 9/16/2022



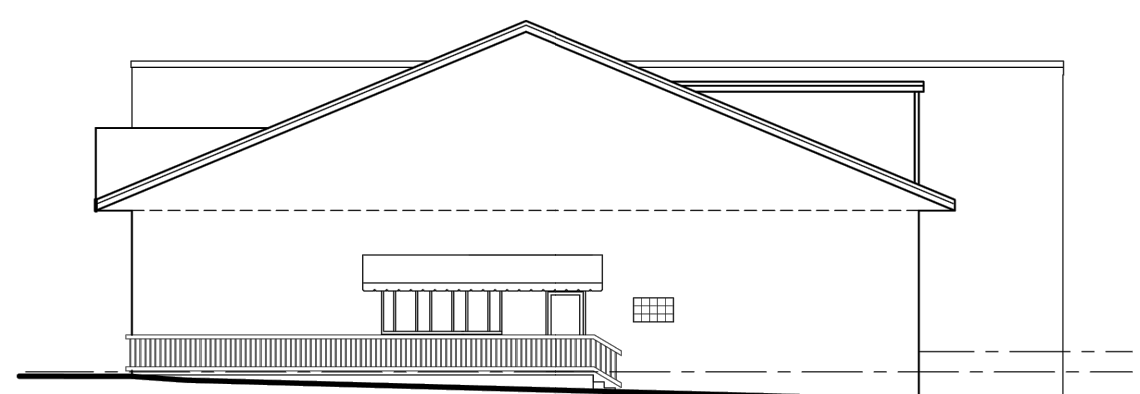
LOWER LEVEL- OVERALL FLOOR PLAN  
 SCALE: 1/16" = 1'-0"



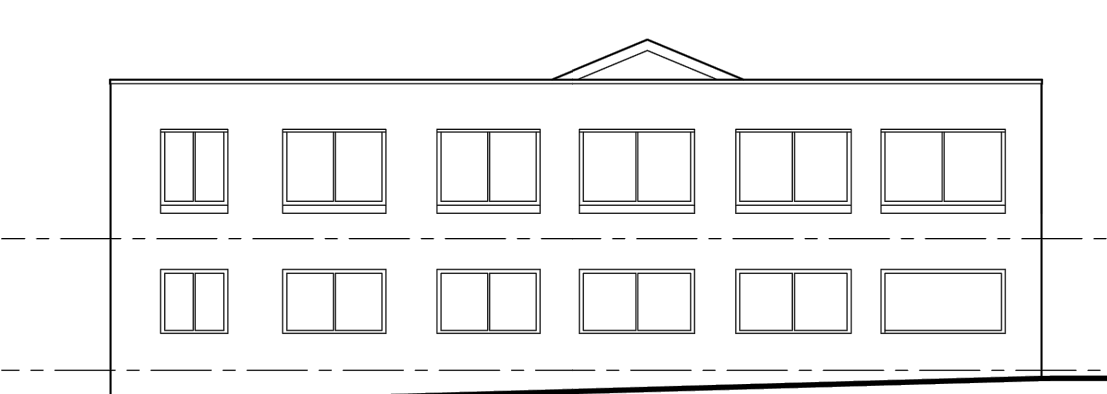
JAMES STREET/ SOUTH ELEVATION  
 SCALE: 1/16" = 1'-0"  
 NO EXTERIOR WORK TO BE PERFORMED



REAR ELEVATION/ NORTH ELEVATION  
 SCALE: 1/16" = 1'-0"  
 NO EXTERIOR WORK TO BE PERFORMED

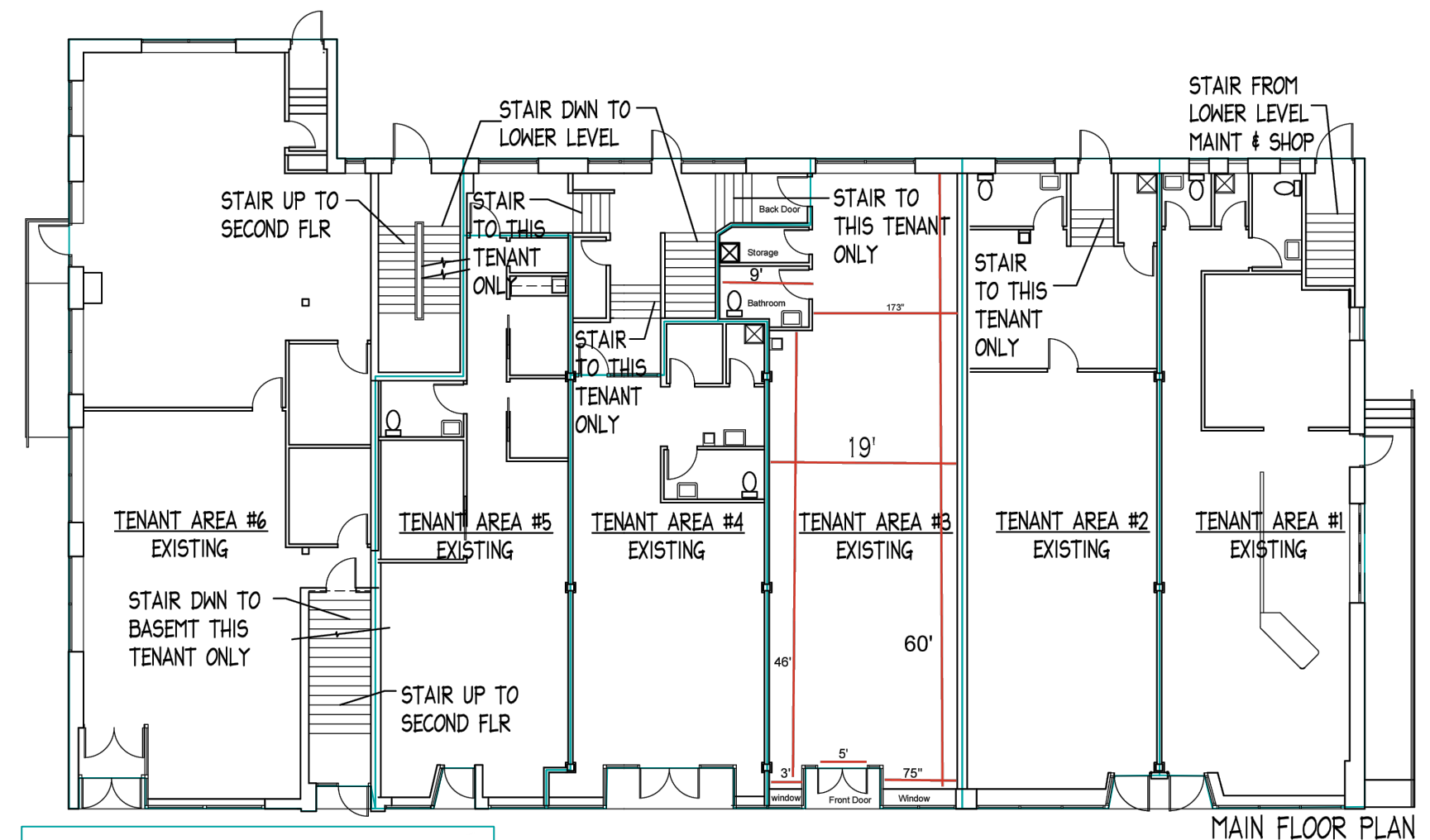


SIDE ELEVATION/ EAST ELEVATION  
 SCALE: 1/16" = 1'-0"  
 NO EXTERIOR WORK TO BE PERFORMED



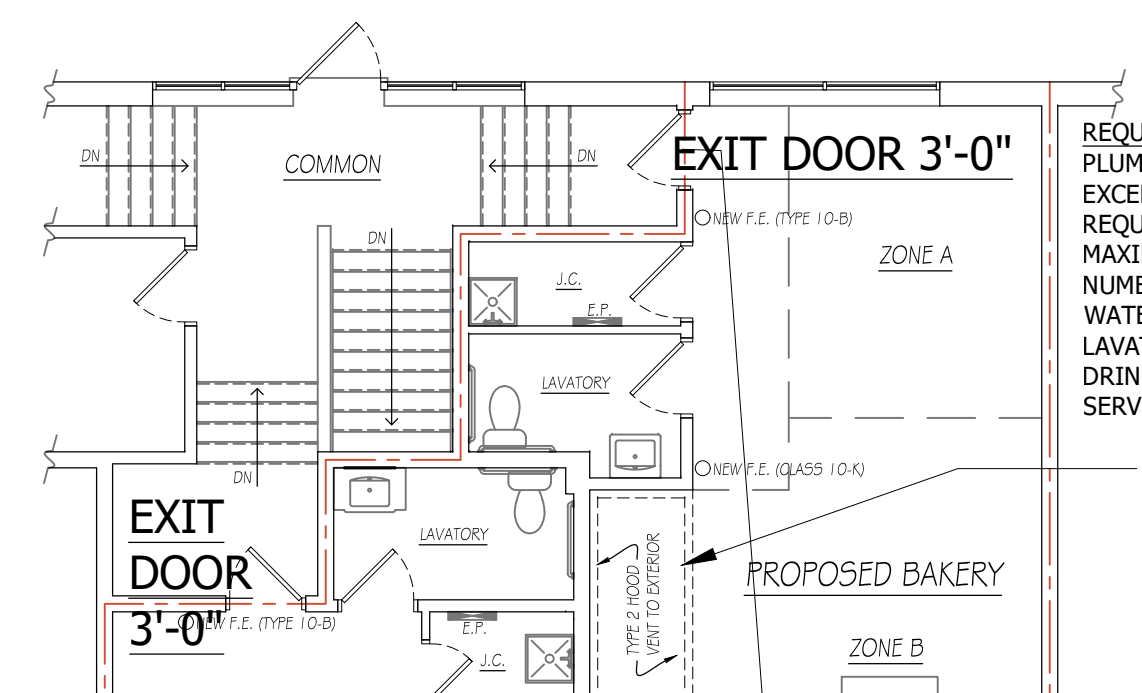
SOUTH MIDLER ELEVATION/ WEST ELEVATION  
 SCALE: 1/16" = 1'-0"  
 NO EXTERIOR WORK TO BE PERFORMED

2 EXISTING BUILDING ELEVATIONS  
 1/16" = 1'-0"



MAIN FLOOR PLAN  
 SCALE: 1/16" = 1'-0"

**REAR EXIT DOOR 3'-6"**



REQUIRED PLUMBING FIXTURES (M MERCANTILE)  
 PLUMBING FIXTURE REQUIREMENTS (PER SECTION 2902.2 EXCEPTION 3 (SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR LESS NUMBER OF OCCUPANTS: = 37  
 WATER CLOSETS REQUIRED: 1, PROVIDED: 2  
 LAVATORY REQUIRED: 1, PROVIDED: 2  
 DRINKING FOUNTAIN REQUIRED: 1, PROVIDED: 1  
 SERVICE SINK REQUIRED: 1, PROVIDED: 2

Type II hood note: Provide a listed or engineered Type II exhaust hood sized and installed for removal of steam, vapor, heat and odors per 2020 NYS Mechanical Code; hood and ductwork shall form an independent exhaust system and discharge outdoors at required clearances.

**MEANS OF EGRESS:**

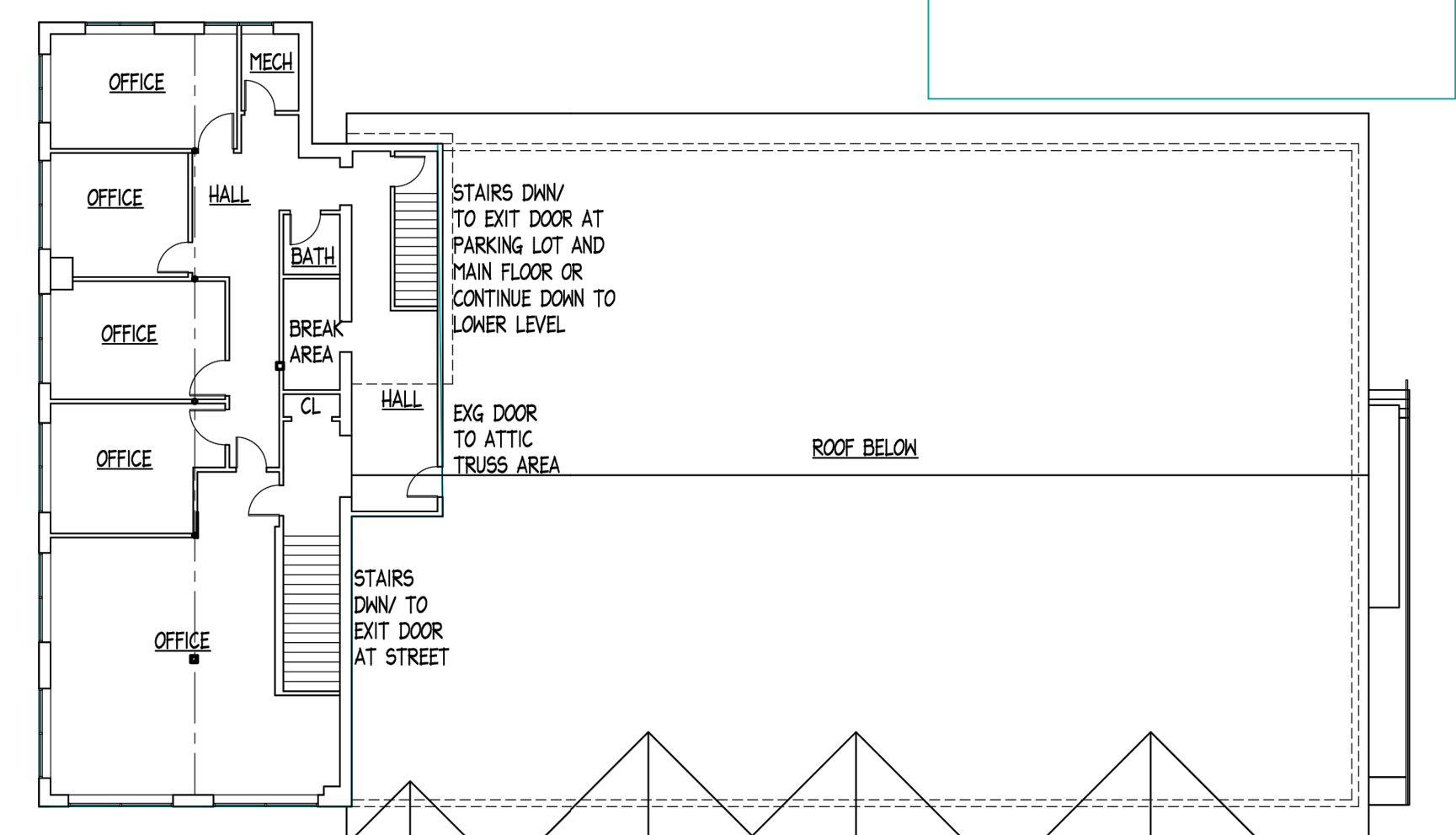
TENANT AREA 3: 879 SF  
 60 SF/P = 15 PERSONS

TWO EXITS PROVIDED

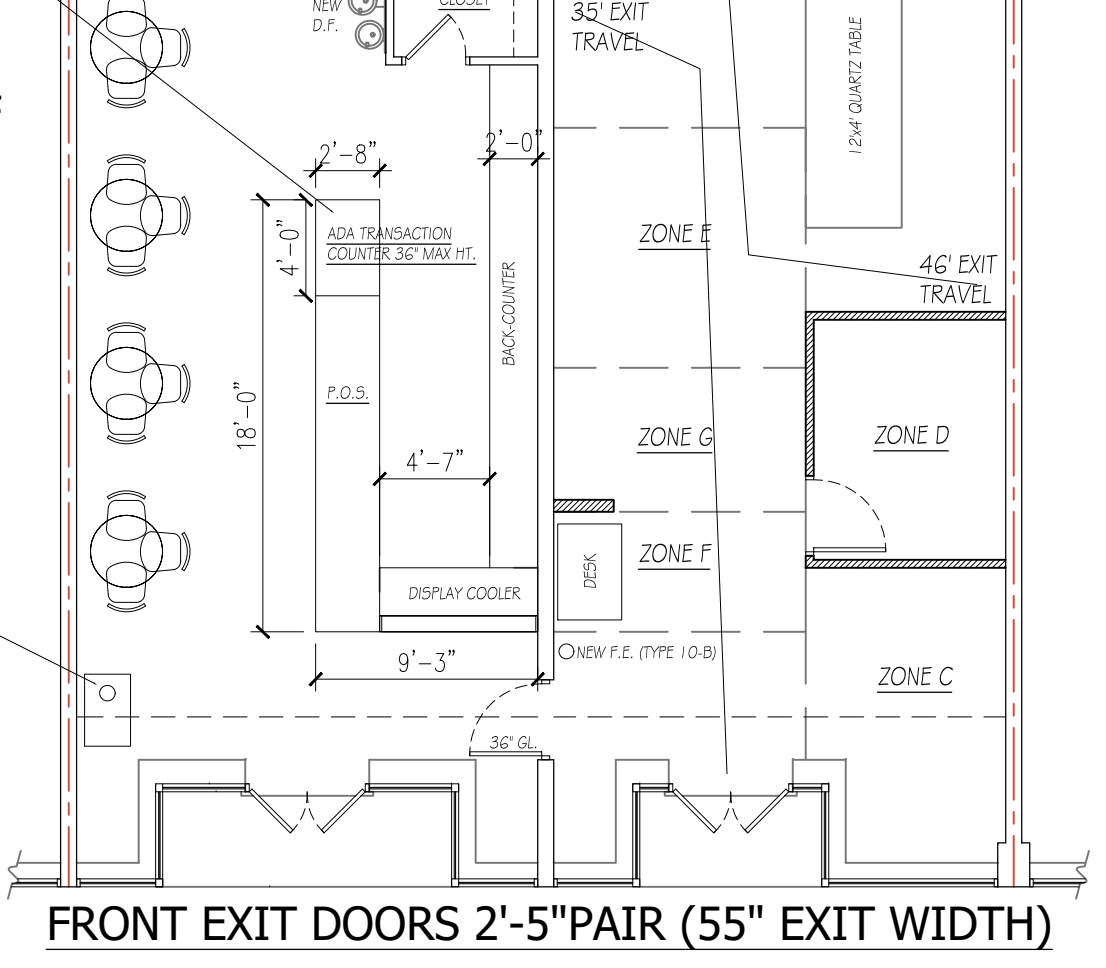
**MEANS OF EGRESS:**

TENANT AREA 2: 1,275 SF  
 60 SF/P = 22 PERSONS

TWO EXITS PROVIDED

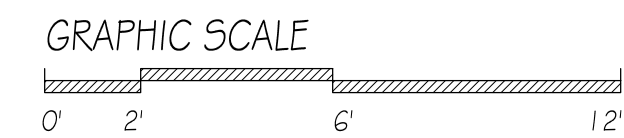


SECOND FLOOR- OVERALL FLOOR PLAN  
 SCALE: 1/16" = 1'-0"



**FRONT EXIT DOORS 2'-5" PAIR (55" EXIT WIDTH)**

**CODE EGRESS AND OCCUPANCY CALCULATIONS**



3 CODE EGRESS AND OCCUPANCY CALCULATIONS  
 1/4" = 1'-0"

4 CODE ANALYSIS  
 NO SCALE

1 EXISTING BUILDING PLANS  
 1/16" = 1'-0"

New Tenant Space for:  
**Zaman's Coffee House Bakery**  
 3013 James Street  
 Syracuse, New York 13206

NO.	REVISION	DATE
1	PER CITY COMMENTS	1/24/2026

SHEET TITLE:  
**BUILDING DATA AND CODE ANALYSIS**



114 EAST GENESEE STREET  
 FAYETTEVILLE, NEW YORK 13066  
 TELEPHONE: (315) 637-0066  
 SCALE: AS SHOWN  
 DRAWN BY: JDS  
 DATE: 12-22-2025  
 SHEET NO.: **C3**  
 PROJECT NO.: 25400



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

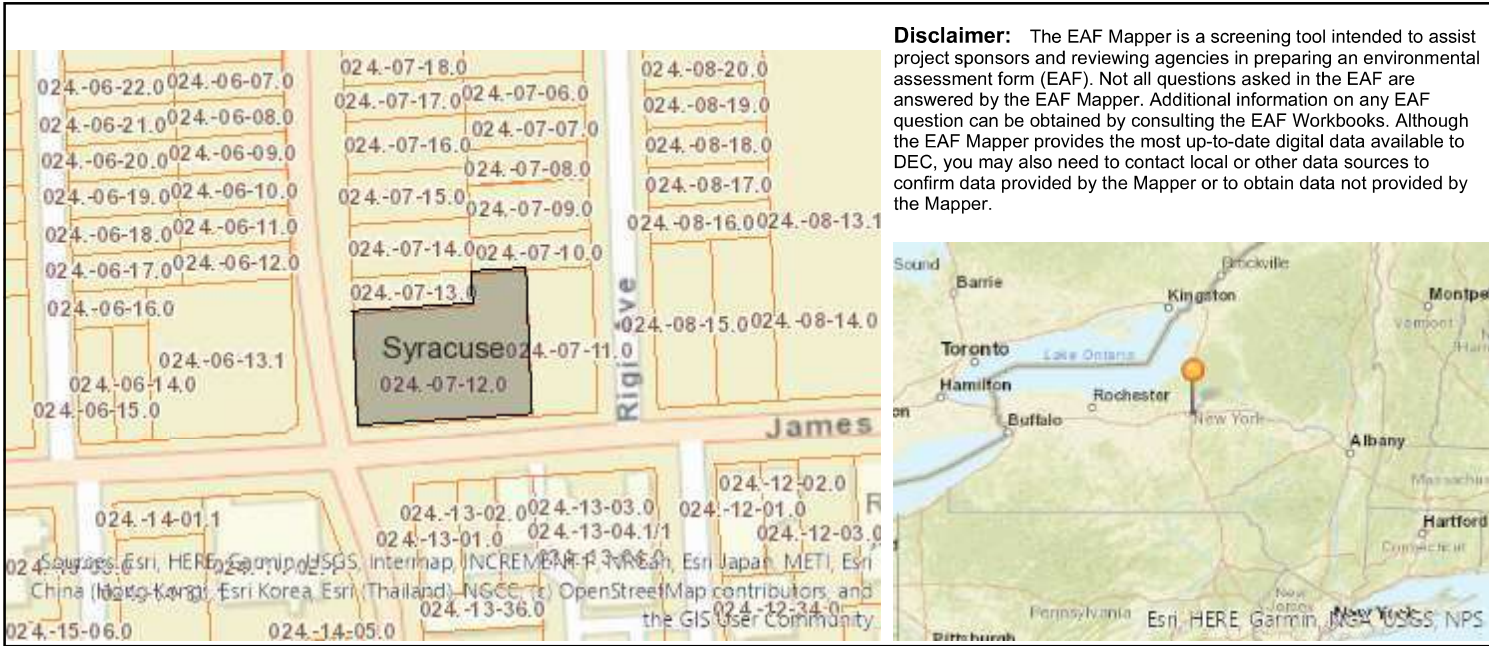
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Zaman Coffee House Bakery R&D			
Project Location (describe, and attach a location map): 3001-23 James St., Syracuse, NY 13206			
Brief Description of Proposed Action: Research and development center to develop new recipes and bake desserts for Zaman Coffee Shops. Interior renovations of an existing tenant space (former Tattoo Shop) to establish small scale commercial food production. No Exterior construction. No change in building footprint.			
Name of Applicant or Sponsor: Anas Almaletti		Telephone:	
		E-Mail:	
Address: 3001 James St.			
City/PO: Syracuse		State: NY	Zip Code: 13206
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Syracuse Zoning for Minor Site Plan and Special Permit.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .3 acres			
b. Total acreage to be physically disturbed? _____ 0 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .3 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Anas Almaletti</u> Date: <u>11/18/2025</u>  Signature: <u>Anas Almaletti</u> Title: <u>Owner</u>		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

Project: SP-2026-16

Date: 4/24/2026

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: SP-2026-16

Date: 4/27/2026

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse City Planning Commission	4/27/2026
Name of Lead Agency	Date
Steven Kulick	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**

City of Syracuse  
**Parcel History**  
 01/01/1900 - 04/23/2026  
 Tax Map #: 024.-07-12.0  
 Owners: Eastwood Maliti's LLC  
 Zoning: MX-2

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	01/12/78	Project	Variance (Converted)	Approved	V-77-098   To restore a damaged, non-conforming structure.
3001-23 James St & Midler Ave N	03/14/78	Project	Resubdivision	Approved	R-77-19   CREATION OF NEW LOT 1A MAP NO.5652 FILED APR 21, 1978
3001-23 James St & Midler Ave N	02/24/88	Project	Off Premise Advertising	Denied	AS-88-013   Off-premise advertising (Park).
3001-23 James St & Midler Ave N	06/14/89	Project	Sign Waiver	Approved with	AS-89-030   Waiver of area and number (Kirby). Mayor Real Estate.
3001-23 James St & Midler Ave N	01/19/99	Project	SP - Restaurant	Approved	SP-98-49   RESTAURANT (CHINESE)
3001-23 James St & Midler Ave N	01/08/07	Project	Project Site Review	Denied	PR-06-48   DEMOLITION OF A BUILDING WITHIN THE JAMES STEET OVERLAY DISTRICT (APPEAL WON BY LAW DEPT.)
3001-23 James St & Midler Ave N	08/22/11	Project	SP - Restaurant	Approved	SP-11-21   RESTAURANT (FIFI'S ICE CREAM)
3001-23 James St & Midler Ave N	08/22/11	Project	SP - Restaurant	Approved	SP-11-22   RESTAURANT - PIZZA SHOP
3001-23 James St & Midler Ave N	04/02/12	Project	SP - Other	Approved	SP-11-21M1   MODIFICATION OF FLOOR PLAN (ICE CREAM)
3001-23 James St & Midler Ave N	04/02/12	Project	SP - Other	Approved	SP-11-22M1   MODIFICATION OF FLOOR PLAN
3001-23 James St & Midler Ave N	04/30/12	Permit Application	Com. Reno/Rem/Chg Occ	Issued	05618   Interior buildout w/minor exterior features along side of building for an 1011 sq ft A-2 assembly ice cream parlor of type VB construction
3001-23 James St & Midler Ave N	05/02/12	Inspection	Initial Inspection	No Progress	
3001-23 James St & Midler Ave N	05/31/12	Permit Application	Com. Reno/Rem/Chg Occ	Issued	06728   Interior buildout w/minor exterior features along side of building for an 1011 sq ft A-2 assembly ice cream parlor of type VB construction
3001-23 James St & Midler Ave N	06/08/12	Permit Application	Com. Reno/Rem/Chg Occ	Issued	06733   #6 PIZZERIA: Interior buildout of a 1876 sq ft tenant space for use as an A-2 occupancy-pizzeria eatery of type VB construction per the attached architectural plans dated 5/16/2012. Comply with all attached reviews and approvals. Seperate permits are required for any and all hvac/fire alarms/electric/plmg/etc. Comply with Chapter 33 of the Building Code of NYS for safeguards during construction.

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	06/08/12	Permit Application	Com. Reno/Rem/Chg Occ	Issued	06732   #5 HAIR SALON: Interior buildout of a 924 sq ft hair salon B occupancy of type IIIB construction per the attached architectural plans dated 5/16/2012. Comply with all attached reviews and approvals. Seperate permits are required for any and all electric/fire alarm/plmg/etc. Comply with Chapter 33 of the Building Code of NYS for safeguards during construction.
3001-23 James St & Midler Ave N	06/08/12	Permit Application	Com. Reno/Rem/Chg Occ	Issued	06731   #4 LIBERTY TAX: Interior buildout of a 815 sq ft B occupancy Tatroo Parlor tenant space of IIb construction per the attached plans dated 5/16/2012. Comply with all attached reviews and approvals. Seperate permits are required for any and all hvac/electric/fire alarm/etc. Comply with Chapter 33 of The Building Code of NYS for safeguards during construction.
3001-23 James St & Midler Ave N	06/08/12	Permit Application	Com. Reno/Rem/Chg Occ	Issued	06730   # 3 UNASSIGNED: Buildout of "shell" for future tenant space (#3)- 1084 sq ft space of type IIIb construction.
3001-23 James St & Midler Ave N	06/08/12	Permit Application	Com. Reno/Rem/Chg Occ	Issued	06729   #2 RESALE SHOP: Interior buildout of a 1043 sq ft M occupancy retail/resale tenant space of type VB construction per the attached architectural plans dated 5/16/2012. Comply with all attached reviews and approvals. Seperate permits are required for any and all fire alarms/electric/hvac/etc. Comply with Chapter 33 of the Building Code of NYS for safeguards during construction.
3001-23 James St & Midler Ave N	06/26/12	Inspection	Fire Inspector Notification	Pass	
3001-23 James St & Midler Ave N	06/26/12	Inspection	Fire Inspector Notification	Pass	
3001-23 James St & Midler Ave N	06/26/12	Inspection	Fire Inspector Notification	Pass	
3001-23 James St & Midler Ave N	06/26/12	Inspection	Fire Inspector Notification	Pass	
3001-23 James St & Midler Ave N	06/26/12	Inspection	Fire Inspector Notification	Pass	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	07/10/12	Permit Application	Electric	Issued	07344   PIZZERIA
3001-23 James St & Midler Ave N	07/10/12	Permit Application	Electric	Issued	07343   ICE CREAM SHOP
3001-23 James St & Midler Ave N	07/10/12	Closed Permit	Electric	Canceled	07344   PIZZERIA
3001-23 James St & Midler Ave N	07/11/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	07/11/12	Inspection	Initial Inspection	Pass	
3001-23 James St & Midler Ave N	07/24/12	Permit Application	Electric	Issued	07550   RESALE SHOP
3001-23 James St & Midler Ave N	07/24/12	Permit Application	Electric	Issued	07551   TATTOO PARLOR
3001-23 James St & Midler Ave N	07/24/12	Permit Application	Electric	Issued	07552   Electric
3001-23 James St & Midler Ave N	07/24/12	Completed Permit	Electric	Completed - No	07551   TATTOO PARLOR   Completed #07551
3001-23 James St & Midler Ave N	07/24/12	Completed Permit	Electric	Certificate Issued	07552   Electric   Certificate of Completion #07552
3001-23 James St & Midler Ave N	07/25/12	Inspection	Initial Inspection	Pass	
3001-23 James St & Midler Ave N	07/25/12	Inspection	Initial Inspection	Pass	
3001-23 James St & Midler Ave N	07/25/12	Inspection	Initial Inspection	Pass	
3001-23 James St & Midler Ave N	07/25/12	Inspection	Rough-In Wiring Before Enclosing	Pass	
3001-23 James St & Midler Ave N	07/25/12	Inspection	Rough-In Wiring Before Enclosing	Pass	
3001-23 James St & Midler Ave N	07/30/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	08/13/12	Inspection	Progress Inspection	<None>	
3001-23 James St & Midler Ave N	08/14/12	Inspection	Rough-In Wiring Before Enclosing	Pass	
3001-23 James St & Midler Ave N	08/15/12	Inspection	Rough-In Wiring Before Enclosing	Pass	
3001-23 James St & Midler Ave N	08/16/12	Permit Application	HVAC/Mechanical	Issued	08052   HAIR SALON
3001-23 James St & Midler Ave N	08/16/12	Permit Application	HVAC/Mechanical	Issued	08051   TATTOO PARLOR
3001-23 James St & Midler Ave N	08/16/12	Permit Application	HVAC/Mechanical	Issued	08050
3001-23 James St & Midler Ave N	08/16/12	Permit Application	HVAC/Mechanical	Issued	08048   ICE CREAM PARLOR
3001-23 James St & Midler Ave N	08/16/12	Permit Application	HVAC/Mechanical	Issued	08049   RE-SALE SHOP
3001-23 James St & Midler Ave N	08/20/12	Inspection	Progress Inspection	<None>	
3001-23 James St & Midler Ave N	08/21/12	Inspection	Initial Inspection	In Progress	

City of Syracuse  
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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	08/21/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	08/21/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	08/21/12	Inspection	Final Inspection	In Progress	
3001-23 James St & Midler Ave N	08/23/12	Permit Application	Fire Alarm	Issued	08184   HAIR SALON
3001-23 James St & Midler Ave N	08/23/12	Inspection	Rough-In Wiring Before Enclosing	Pass	
3001-23 James St & Midler Ave N	08/28/12	Permit Application	HVAC/Mechanical	Issued	08201   HVAC for the restaurant Bldg F #6
3001-23 James St & Midler Ave N	08/28/12	Completed Permit	HVAC/Mechanical	Certificate Issued	08201   HVAC for the restaurant Bldg F #6   Certificate of Completion #08201
3001-23 James St & Midler Ave N	08/29/12	Permit Application	Fire Alarm	Issued	08134   BASEMENT AND 2ND FLOOR
3001-23 James St & Midler Ave N	08/29/12	Permit Application	Fire Alarm	Issued	08133   TATTOO PARLOR
3001-23 James St & Midler Ave N	08/29/12	Permit Application	Fire Alarm	Issued	08135   PIZZERIA
3001-23 James St & Midler Ave N	08/29/12	Permit Application	Fire Alarm	Issued	08132   Fire Alarm
3001-23 James St & Midler Ave N	08/29/12	Permit Application	Fire Alarm	Issued	08044   RE-SALE SHOP
3001-23 James St & Midler Ave N	08/29/12	Permit Application	Fire Alarm	Issued	08045   ICE CREAM PARLOR
3001-23 James St & Midler Ave N	08/29/12	Permit Application	Misc.(deck, fence,ramp)	Issued	08247   Install +/- 198' of 6' tall stockade fence per attached survey and site plan. Fence must comply with attached plans. Plans are from zoning approval-sp-11-21 + 22. All fencing shall remain within parcel and must be solid to comply with screening device requirements.
3001-23 James St & Midler Ave N	08/29/12	Completed Permit	Fire Alarm	Certificate Issued	08132   Fire Alarm   Certificate of Completion #08132
3001-23 James St & Midler Ave N	08/29/12	Completed Permit	Fire Alarm	Completed - No	08133   TATTOO PARLOR   Completed #08133
3001-23 James St & Midler Ave N	08/29/12	Completed Permit	Fire Alarm	Completed - No	08135   PIZZERIA   Completed #08135
3001-23 James St & Midler Ave N	08/29/12	Completed Complaint	Repair Sewer Pipes-Caps	Completed	2012-19670   vent pipes are cracked they would like them repaired
3001-23 James St & Midler Ave N	08/29/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	08/30/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	08/30/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	08/30/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	08/30/12	Inspection	Initial Inspection	In Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	08/31/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	08/31/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	08/31/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	08/31/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/04/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/04/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	09/04/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/04/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/06/12	Permit Application	Electric	Issued	08154   Electric
3001-23 James St & Midler Ave N	09/06/12	Completed Permit	Electric	Certificate Issued	08154   Electric   Certificate of Completion #08154
3001-23 James St & Midler Ave N	09/06/12	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	09/06/12	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	09/06/12	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	09/07/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	09/07/12	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	09/10/12	Completed Permit	HVAC/Mechanical	Certificate Issued	08049   RE-SALE SHOP   Certificate of Completion #08049
3001-23 James St & Midler Ave N	09/10/12	Completed Permit	HVAC/Mechanical	Certificate Issued	08052   HAIR SALON   Certificate of Completion #08052
3001-23 James St & Midler Ave N	09/12/12	Completed Permit	HVAC/Mechanical	Certificate Issued	08048   ICE CREAM PARLOR   Certificate of Completion #08048
3001-23 James St & Midler Ave N	09/13/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/13/12	Inspection	Progress Inspection	In Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	09/14/12	Inspection	Rough-In Before Enclosing	Pass	
3001-23 James St & Midler Ave N	09/18/12	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	09/18/12	Inspection	Initial Inspection	Pass	
3001-23 James St & Midler Ave N	09/18/12	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	09/18/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/18/12	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	09/25/12	Inspection	Progress Inspection	<None>	
3001-23 James St & Midler Ave N	09/27/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/27/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/27/12	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	06728   Interior buildout w/minor exterior features along side of building for an 1011 sq ft A-2 assembly ice cream parlor of type VB construction   Certificate of Occupancy #06728
3001-23 James St & Midler Ave N	09/28/12	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	09/28/12	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	10/01/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/02/12	Completed Permit	Electric	Certificate Issued	07343   ICE CREAM SHOP   Certificate of Completion #07343
3001-23 James St & Midler Ave N	10/02/12	Completed Permit	Electric	Certificate Issued	07550   RESALE SHOP   Certificate of Completion #07550
3001-23 James St & Midler Ave N	10/04/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/04/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/09/12	Project	SP - Other	Approved	SP-11-21M2   MODIFY SIGNAGE (FIFI'S ICE CREAM)
3001-23 James St & Midler Ave N	10/16/12	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	06729   #2 RESALE SHOP: Interior buildout of a 1043 sq ft M occupancy retail/resale tenant space of type VB construction per the attached architectural plans dated 5/16/2012. Comply with all attached reviews and approvals. Seperate permits are required for any and all fire alarms/electric/hvac/etc. Comply with Chapter 33 of the Building Code of NYS for safeguards during construction.   Certificate of Occupancy #06729

City of Syracuse  
**Parcel History**

<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
3001-23 James St & Midler Ave N	10/16/12	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	06732   #5 HAIR SALON: Interior buildout of a 924 sq ft hair salon B occupancy of type IIIB construction per the attached architectural plans dated 5/16/2012. Comply with all attached reviews and approvals. Seperate permits are required for any and all electric/fire alarm/plmg/etc. Comply with Chapter 33 of the Building Code of NYS for safeguards during construction.   Certificate of Occupancy #06732
3001-23 James St & Midler Ave N	10/19/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/19/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/22/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/24/12	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	10/24/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/24/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/24/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/24/12	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	10/24/12	Completed Permit	Fire Alarm	Certificate Issued	08045   ICE CREAM PARLOR   Certificate of Completion #08045
3001-23 James St & Midler Ave N	10/24/12	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	10/24/12	Completed Permit	Fire Alarm	Certificate Issued	08044   RE-SALE SHOP   Certificate of Completion #08044
3001-23 James St & Midler Ave N	10/29/12	Completed Permit	Fire Alarm	Certificate Issued	08184   HAIR SALON   Certificate of Completion #08184
3001-23 James St & Midler Ave N	10/30/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/02/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/02/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/02/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/02/12	Inspection	Progress Inspection	In Progress	

City of Syracuse  
**Parcel History**

<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
3001-23 James St & Midler Ave N	11/15/12	Permit Application	Sign	Issued	09145   Install one wall sign 22" x 1' per the attached zoning approval dated 10/12/2012. Contractor shall maintain the construction safeguards of NYSFC chapter 14. A separate permit is required for electric sign to identify " FIFIS ICE CREAM SHOP".
3001-23 James St & Midler Ave N	11/16/12	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	11/20/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/30/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/30/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/30/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/05/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/10/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/10/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/10/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/10/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/12/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/12/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/13/12	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	12/13/12	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	12/14/12	Completed Permit	HVAC/Mechanical	Certificate Issued	08050   Certificate of Completion #08050
3001-23 James St & Midler Ave N	12/14/12	Completed Permit	HVAC/Mechanical	Certificate Issued	08051   TATTOO PARLOR   Certificate of Completion #08051
3001-23 James St & Midler Ave N	12/21/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/21/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/21/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/21/12	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/28/12	Inspection	Complaint Inspection	Fail	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	12/28/12	Violation	2010 IMC - Section 109.1 - Administration and Enforcement	Closed	
3001-23 James St & Midler Ave N	01/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/16/13	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	01/17/13	Completed Permit	Misc.(deck, fence,ramp)	Certificate Issued	08247   Install +/- 198' of 6' tall stockade fence per attached survey and site plan. Fence must comply with attached plans. Plans are from zoning approval-sp-11-21 + 22. All fencing shall remain within parcel and must be solid to comply with screening device requirements.   Certificate of Completion #08247
3001-23 James St & Midler Ave N	01/28/13	Inspection	Service Inspection	Pass	
3001-23 James St & Midler Ave N	02/01/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/05/13	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	02/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/06/13	Completed Permit	Sign	Certificate Issued	09145   Install one wall sign 22" x 1' per the attached zoning approval dated 10/12/2012. Contractor shall maintain the construction safeguards of NYSFC chapter 14. A seperate permit is required for electric. sign to identify " FIFIS ICE CREAM SHOP".   Certificate of Occupancy #09145
3001-23 James St & Midler Ave N	02/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/07/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/07/13	Inspection	Progress Inspection	In Progress	

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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	02/07/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/07/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/22/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/25/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/25/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/25/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/25/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/11/13	Inspection	Initial Inspection	In Progress	
3001-23 James St & Midler Ave N	03/11/13	Inspection	Initial Inspection	N/A	
3001-23 James St & Midler Ave N	03/12/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/12/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/12/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/12/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/22/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/22/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/26/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/26/13	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	03/26/13	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	03/27/13	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	05618   Interior buildout w/minor exterior features along side of building for an 1011 sq ft A-2 assembly ice cream parlor of type VB construction   Certificate of Completion #05618
3001-23 James St & Midler Ave N	03/27/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/29/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/05/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/05/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/10/13	Inspection	Progress Inspection	In Progress	

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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	04/11/13	Completed Complaint	Sewer Back Up	Completed	2013-07160   sewer b/u
3001-23 James St & Midler Ave N	04/11/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/12/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/19/13	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	04/19/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/19/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/24/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/29/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/02/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	05/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/06/13	Inspection	Progress Inspection	No Work Started	
3001-23 James St & Midler Ave N	05/08/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/09/13	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	06731   #4 LIBERTY TAX: Interior buildout of a 815 sq ft B occupancy Tatoo Parlor tenant space of IIb construction per the attached plans dated 5/16/2012. Comply with all attached reviews and approvals. Seperate permits are required for any and all hvac/electric/fire alarm/etc. Comply with Chapter 33 of The Building Code of NYS for safeguards during construction.    Certificate of Occupancy #06731
3001-23 James St & Midler Ave N	05/13/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/17/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/17/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/22/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/30/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/31/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/31/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	06/05/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	06/12/13	Inspection	Progress Inspection	In Progress	

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<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
3001-23 James St & Midler Ave N	06/14/13	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	06/14/13	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	06/19/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	06/24/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	06/27/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	07/02/13	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	07/03/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/11/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/15/13	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	07/16/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	07/17/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/17/13	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	07/22/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	07/24/13	Permit Application	Curb Cut	Denied	PC-0390-13
3001-23 James St & Midler Ave N	07/29/13	Permit Application	Curb Cut	Denied	PC-0402-13
3001-23 James St & Midler Ave N	07/31/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	08/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	08/12/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	08/13/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	08/13/13	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	08/13/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	08/20/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/03/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/04/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/10/13	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	09/18/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	09/18/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	10/02/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	10/02/13	Inspection	Progress Inspection	In Progress	

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<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
3001-23 James St & Midler Ave N	10/10/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	10/15/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/15/13	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	10/16/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	10/16/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/04/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/06/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	11/06/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/13/13	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	11/18/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/04/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	12/04/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	12/09/13	Project	SP - Other	Denied Without	SP-11-22M2   MODIFY SITE PLAN TO ADD R-I-R-O DRIVEWAY ON JAMES ST
3001-23 James St & Midler Ave N	12/10/13	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	12/30/13	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/01/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	01/02/14	Permit Application	Electric	Issued	13815   SMARTWATT LIGHTING UPGRADE
3001-23 James St & Midler Ave N	01/02/14	Completed Permit	Electric	Certificate Issued	13815   SMARTWATT LIGHTING UPGRADE   Certificate of Completion #13815
3001-23 James St & Midler Ave N	01/03/14	Inspection	Inspector Notification	Pass	
3001-23 James St & Midler Ave N	01/07/14	Completed Complaint	Sewer Back Up	Completed	2014-00542   SEWER BACKUP
3001-23 James St & Midler Ave N	01/07/14	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	02/06/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	02/10/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	02/24/14	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	03/04/14	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/06/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	03/17/14	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	04/03/14	Inspection	Progress Inspection	No Progress	

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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	04/07/14	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/23/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	04/24/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	05/12/14	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/13/14	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	05/26/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	06/16/14	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	06/27/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/14/14	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	07/17/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/28/14	Completed Complaint	Sewer Back Up	Completed	2014-21546   BACKUP
3001-23 James St & Midler Ave N	07/28/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/30/14	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	08/28/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	08/29/14	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/09/14	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	09/24/14	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/25/14	Completed Complaint	Street Repair Special Req	Completed	2014-25931   The west-bound James St lanes at the Midler N Ave intersection needs to be widened. Too many drivers use the left-turn only lane to go straight. Why does the west-bound lane not match the east-bound lane's width?
3001-23 James St & Midler Ave N	09/30/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	09/30/14	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/09/14	Permit Application	Com. Reno/Rem/Chg Occ	Issued	17154   Interior build out of retail space  Cell Phones for Less  ** Rerouted to Zoning per Application (03-11-2015). **  contact person Anas Almaliti 315-744-6293

City of Syracuse  
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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	10/15/14	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	10/15/14	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	10/20/14	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	11/11/14	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	12/22/14	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	12/22/14	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	01/16/15	Completed Complaint	Property Maintenance-Ext	Completed	2012-28211   occupying no cert. of occupancy
3001-23 James St & Midler Ave N	01/16/15	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	01/16/15	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	02/02/15	Project	SP - Other	Approved	SP-11-21M3   MODIFY BUILDING PLAN TO ALLOW RETAIL (CRICKET) USE
3001-23 James St & Midler Ave N	02/12/15	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	03/16/15	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	03/20/15	Inspection	Fire Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	03/20/15	Inspection	Inspector Notification	N/A	
3001-23 James St & Midler Ave N	03/26/15	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/31/15	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	03/31/15	Inspection	Framing Before Enclosing	Pass	
3001-23 James St & Midler Ave N	04/10/15	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	04/10/15	Inspection	Footer Inspection	Pass	
3001-23 James St & Midler Ave N	04/15/15	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/16/15	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	05/04/15	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	05/11/15	Permit Application	Sign	Issued	19214   Wall sign for Cricket
3001-23 James St & Midler Ave N	05/15/15	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	05/20/15	Completed Complaint	Sewer Back Up	Completed	2015-13309   back up call first Tino 274-2448
3001-23 James St & Midler Ave N	06/18/15	Inspection	Progress Inspection	In Progress	

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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	06/29/15	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	06/29/15	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	07/10/15	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	07/17/15	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	08/05/15	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	08/12/15	Inspection	Final Inspection	In Progress	
3001-23 James St & Midler Ave N	08/12/15	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	08/12/15	Violation	2010 IMC - Section 109.1 - Administration and Enforcement	Closed	
3001-23 James St & Midler Ave N	08/12/15	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	08/20/15	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	08/24/15	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	09/22/15	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	09/22/15	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	10/07/15	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	10/08/15	Completed Permit	Sign	Certificate Issued	19214   Wall sign for Cricket   Certificate of Completion #19214
3001-23 James St & Midler Ave N	10/19/15	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	11/24/15	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	11/24/15	Inspection	Final Inspection	N/A	
3001-23 James St & Midler Ave N	11/24/15	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	12/15/15	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	12/29/15	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	12/30/15	Completed Complaint	Sewer Back Up	Completed	2015-34446   B/U
3001-23 James St & Midler Ave N	01/26/16	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/26/16	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	01/26/16	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	02/03/16	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	03/16/16	Inspection	Progress Inspection	In Progress	

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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	03/16/16	Closed Permit	Com. Reno/Rem/Chg Occ	Canceled	06733   #6 PIZZERIA: Interior buildout of a 1876 sq ft tenant space for use as an A-2 occupancy-pizzeria eatery of type VB construction per the attached architectural plans dated 5/16/2012. Comply with all attached reviews and approvals. Seperate permits are required for any and all hvac/fire alarms/electric/plmg/etc. Comply with Chapter 33 of the Building Code of NYS for safeguards during construction.
3001-23 James St & Midler Ave N	03/17/16	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/18/16	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	03/22/16	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	03/29/16	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	03/29/16	Inspection	Complaint Inspection	N/A	
3001-23 James St & Midler Ave N	04/06/16	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	04/13/16	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	05/05/16	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	05/06/16	Violation	2010 IFC - Section 907.1 - General	Closed	
3001-23 James St & Midler Ave N	05/06/16	Violation	2010 IFC - Section 907.20 - Inspection, testing and maintenance	Closed	
3001-23 James St & Midler Ave N	05/06/16	Violation	2010 IFC - Section 907.20.5 - Maintenance, inspection and testing	Closed	
3001-23 James St & Midler Ave N	05/24/16	Inspection	Final Inspection	N/A	
3001-23 James St & Midler Ave N	05/25/16	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	06/08/16	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	06/28/16	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	06/28/16	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	06/28/16	Inspection	Final Inspection	No Progress	
3001-23 James St & Midler Ave N	06/29/16	Violation	Section 109 - Administration and Enforcement	Closed	

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<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
3001-23 James St & Midler Ave N	07/06/16	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	07/13/16	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	07/18/16	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/26/16	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	07/26/16	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/27/16	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	08/03/16	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	08/04/16	Completed Complaint	Fire Alarm	Completed	2016-11416   Fire alarm system in trouble status
3001-23 James St & Midler Ave N	08/10/16	Completed Complaint	Property Maintenance-Ext	Completed	2015-22996   no C/O for karate studio (space 3)
3001-23 James St & Midler Ave N	08/10/16	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	09/12/16	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	09/13/16	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	09/13/16	Inspection	Complaint Inspection	N/A	
3001-23 James St & Midler Ave N	09/14/16	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	09/14/16	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	09/22/16	Completed Complaint	Property Maintenance-Int	Completed	2013-15919   occupying space #3 no cert. of occupancy
3001-23 James St & Midler Ave N	10/20/16	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	10/28/16	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	11/18/16	Inspection	Complaint Inspection	N/A	
3001-23 James St & Midler Ave N	11/28/16	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	12/16/16	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	12/16/16	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	12/16/16	Violation	2020 Property Maintenance Code of NYS Part 105.2	Closed	
3001-23 James St & Midler Ave N	12/20/16	Inspection	Progress Inspection	No Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	12/29/16	Permit Application	Com. Reno/Rem/Chg Occ	Issued	27103   Change of occupancy from (R) retail to(B) tattoo Tenant #3 ***4/3/2017-C OF O issued
3001-23 James St & Midler Ave N	01/05/17	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	01/12/17	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	01/19/17	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/08/17	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	02/15/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	02/22/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	02/23/17	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/28/17	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	02/28/17	Inspection	Fire Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	03/09/17	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	03/16/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	03/27/17	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	03/27/17	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	03/27/17	Inspection	Final Fire Inspection	Pass	
3001-23 James St & Midler Ave N	03/27/17	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	03/29/17	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	03/29/17	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	03/29/17	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	03/30/17	Completed Complaint	Property Maintenance-Ext	Completed	2016-33055   provide permits and provide C/O for tattoo shop (space 3)
3001-23 James St & Midler Ave N	03/31/17	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	04/03/17	Completed Complaint	Property Maintenance-Ext	Completed	2016-34331   new tenant in space 3 tattoo shop

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	04/03/17	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	27103   Change of occupancy from (R) retail to(B) tattoo Tenant #3 ***4/3/2017-C OF O issued   Certificate of Occupancy #27103
3001-23 James St & Midler Ave N	04/03/17	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	04/12/17	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	04/13/17	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	04/13/17	Inspection	Progress Inspection	Fail	
3001-23 James St & Midler Ave N	04/13/17	Inspection	Progress Inspection	Fail	
3001-23 James St & Midler Ave N	04/13/17	Violation	2015 IPMC Section (A) 108.1.3 Unfit	Closed	
3001-23 James St & Midler Ave N	04/13/17	Violation	2015 IPMC Section (A) 108.1.4 Unlawful Structure	Closed	
3001-23 James St & Midler Ave N	04/19/17	Violation	2020 Property Maintenance Code of NYS Part 105.2	Closed	
3001-23 James St & Midler Ave N	04/20/17	Inspection	Complaint Re-Inspection	In Progress	
3001-23 James St & Midler Ave N	04/25/17	Violation	2015 IFC Section 915.1 General	Closed	
3001-23 James St & Midler Ave N	04/28/17	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	05/01/17	Completed Permit	Fire Alarm	Certificate Issued	08134   BASEMENT AND 2ND FLOOR   Certificate of Completion #08134
3001-23 James St & Midler Ave N	05/09/17	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	05/16/17	Inspection	Complaint Inspection	N/A	
3001-23 James St & Midler Ave N	05/17/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	05/17/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	06/01/17	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	06/01/17	Violation	2020 Property Maintenance Code of NYS Part 105.2	Closed	

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**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	06/08/17	Permit Application	Com. Reno/Rem/Chg Occ	Application Expired	28695   *** Original proposal of "Change of occupancy and build-out of a basement tenant space for use as a church" is being changed to a skill development area. Sent to Zoning, Fire, and County Plumbing. ***
3001-23 James St & Midler Ave N	06/08/17	Inspection	Complaint Re-Inspection	In Progress	
3001-23 James St & Midler Ave N	06/27/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	06/29/17	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	07/05/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/05/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/10/17	Inspection	Complaint Re-Inspection	In Progress	
3001-23 James St & Midler Ave N	08/02/17	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	08/11/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	08/15/17	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	08/21/17	Inspection	Complaint Re-Inspection	Vacant & Secured	
3001-23 James St & Midler Ave N	09/20/17	Inspection	Complaint Inspection	N/A	
3001-23 James St & Midler Ave N	09/25/17	Inspection	Complaint Re-Inspection	Vacant & Secured	
3001-23 James St & Midler Ave N	09/28/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	11/06/17	Inspection	Complaint Inspection	N/A	
3001-23 James St & Midler Ave N	11/06/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	11/14/17	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	12/04/17	Completed Permit	Com. Reno/Rem/Chg Occ	Completed - No	06730   # 3 UNASSIGNED: Buildout of "shell" for future tenant space (#3)- 1084 sq ft space of type IIIb construction.   Completed #06730
3001-23 James St & Midler Ave N	12/20/17	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	12/21/17	Inspection	Complaint Inspection	N/A	
3001-23 James St & Midler Ave N	12/27/17	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	02/05/18	Permit Application	Electric	Issued	31219   Electric for New Barber Shop
3001-23 James St & Midler Ave N	02/06/18	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	02/06/18	Inspection	Progress Inspection	No Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	02/07/18	Permit Application	Sign	Issued	31246   Install (1) 2'-2" x 9'-0" internally illuminated wall sign. NICK'S
3001-23 James St & Midler Ave N	02/13/18	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/13/18	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	02/13/18	Inspection	Rough-In Wiring Before Enclosing	Pass	
3001-23 James St & Midler Ave N	02/26/18	Inspection	Final Inspection	In Progress	
3001-23 James St & Midler Ave N	02/27/18	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	03/01/18	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	03/23/18	Completed Permit	Electric	Certificate Issued	31219   Electric for New Barber Shop   Certificate of Completion #31219
3001-23 James St & Midler Ave N	03/28/18	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	03/29/18	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	04/17/18	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	04/17/18	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	04/17/18	Completed Permit	Sign	Certificate Issued	31246   Install (1) 2'-2" x 9'-0" internally illuminated wall sign. NICK'S   Certificate of Completion #31246
3001-23 James St & Midler Ave N	05/03/18	Permit Application	Sign	Cancelled	33182   Wall sign for Midler Market Permit cancelled per contractor 3/29/19 owner never followed up
3001-23 James St & Midler Ave N	05/16/18	Inspection	Complaint Inspection	N/A	
3001-23 James St & Midler Ave N	05/21/18	Project	SP - Other	Approved	SP-11-21M4   Modify floor plans and signage. (Barber & Retail)
3001-23 James St & Midler Ave N	05/23/18	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	05/30/18	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	05/30/18	Violation	2020 Property Maintenance Code of NYS Part 105.2	Closed	
3001-23 James St & Midler Ave N	06/15/18	Inspection	Complaint Inspection	N/A	
3001-23 James St & Midler Ave N	06/25/18	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	07/12/18	Inspection	Complaint Inspection	N/A	

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**Parcel History**

<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
3001-23 James St & Midler Ave N	07/19/18	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	08/20/18	Inspection	Plan Review Notification	In Progress	
3001-23 James St & Midler Ave N	09/13/18	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	10/16/18	Inspection	Complaint Re-Inspection	Fail	
3001-23 James St & Midler Ave N	10/17/18	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	10/18/18	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	10/22/18	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	11/07/18	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/13/18	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	11/13/18	Inspection	Complaint Re-Inspection	Fail	
3001-23 James St & Midler Ave N	11/14/18	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	11/19/18	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	11/28/18	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	11/30/18	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	12/05/18	Inspection	Complaint Re-Inspection	Fail	
3001-23 James St & Midler Ave N	12/11/18	Inspection	Complaint Re-Inspection	Fail	
3001-23 James St & Midler Ave N	12/18/18	Inspection	Complaint Re-Inspection	Fail	
3001-23 James St & Midler Ave N	12/28/18	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	12/28/18	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	01/14/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	01/15/19	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	01/23/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	01/30/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	01/31/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	02/06/19	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	02/11/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	02/15/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	02/20/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	02/20/19	Inspection	Progress Inspection	No Progress	

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**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	02/20/19	Violation	2015 IPMC Section (A) 108.1.4 Unlawful Structure	Closed	
3001-23 James St & Midler Ave N	03/04/19	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/08/19	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	03/21/19	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/25/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	03/29/19	Inspection	Complaint Re-Inspection	In Progress	
3001-23 James St & Midler Ave N	04/18/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	04/29/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	05/08/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	05/15/19	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	05/17/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	05/23/19	Completed Complaint	Building W/O Permit	Admin-Closed	2017-14905   Electrical work performed in basement with out a permit.
3001-23 James St & Midler Ave N	05/31/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	06/05/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	06/26/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/10/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	07/26/19	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	07/30/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	08/12/19	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	08/14/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	08/26/19	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	08/27/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	09/17/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	09/17/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	10/17/19	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	10/17/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	10/22/19	Inspection	Progress Inspection	No Progress	

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<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
3001-23 James St & Midler Ave N	10/31/19	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	10/31/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	11/12/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	11/19/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	11/20/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	11/27/19	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	12/17/19	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	12/30/19	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	01/08/20	Completed Complaint	Complaint Reqst - General	Closed - Risk	2017-08765   Illegal assembly space in the basement area.
3001-23 James St & Midler Ave N	01/08/20	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	01/21/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	01/30/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	02/18/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	02/26/20	Completed Complaint	Sewer Back Up	Completed	2021-04095   SEWER B/U
3001-23 James St & Midler Ave N	03/09/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	03/13/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	03/18/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	03/25/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	04/14/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	05/04/20	Completed Complaint	Sewer Back Up	Completed	2020-25336   SEWER B/U
3001-23 James St & Midler Ave N	05/05/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	05/11/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	05/18/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	05/29/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	06/01/20	Completed Complaint	Property Maintenance-Ext	Completed	2020-09217   Trash and debris / No visible trash and debris.
3001-23 James St & Midler Ave N	06/01/20	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	06/10/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	06/17/20	Inspection	Complaint Inspection	No Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	07/07/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	07/09/20	Violation	SPCC - Section 27-72(c) - Fences	Closed	
3001-23 James St & Midler Ave N	07/09/20	Inspection	Complaint Inspection	Fail	
3001-23 James St & Midler Ave N	07/27/20	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	07/28/20	Completed Complaint	Property Maintenance- Ext	Owner Compliance	2020-12929   At the Market, there is litter all over, also, wooden fence falling into Complainant's back yard
3001-23 James St & Midler Ave N	07/29/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	08/10/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	08/28/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	08/28/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	09/15/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	09/25/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	09/29/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	10/08/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	10/23/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	10/29/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	11/12/20	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	11/27/20	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	12/22/20	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	01/04/21	Completed Complaint	COVID-19 EO VIOLS	Completed	2021-00093   Multiple barbers in the shop with no mask for extended periods of time. Only 1 of 3 wearing a mask. 1 with no mask and 1 wearing it around his chin. In addition customers in the barber chair with no mask even when they weren't having their beards cut
3001-23 James St & Midler Ave N	01/07/21	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	01/07/21	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	01/22/21	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	02/04/21	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	02/17/21	Inspection	Complaint Inspection	No Progress	

City of Syracuse  
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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	03/04/21	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	04/21/21	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	05/18/21	Violation	2020 FCNYS- - 903.5 - Testing and maintenance	Closed	
3001-23 James St & Midler Ave N	05/18/21	Violation	2020 PMCNYS - Section 704.1 - Inspection, testing, and maintenance	Closed	
3001-23 James St & Midler Ave N	05/18/21	Violation	SPCC - Section 27-43 (g) - Maintained System	Closed	
3001-23 James St & Midler Ave N	05/27/21	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	06/10/21	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	06/10/21	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	07/16/21	Completed Complaint	Building W/O Permit	Admin-Closed	2017-09161   put new church in cellar
3001-23 James St & Midler Ave N	07/16/21	Inspection	Progress Inspection	Pass	
3001-23 James St & Midler Ave N	07/30/21	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	08/20/21	Permit Application	Sign	Issued	44838   Wall sign for Vessel Tattoo
3001-23 James St & Midler Ave N	08/27/21	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	09/08/21	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	10/28/21	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	11/18/21	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	12/28/21	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/24/22	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	03/16/22	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	04/26/22	Inspection	Progress Inspection	N/A	
3001-23 James St & Midler Ave N	04/26/22	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	04/26/22	Closed Permit	Sign	Canceled	44838   Wall sign for Vessel Tattoo
3001-23 James St & Midler Ave N	04/29/22	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	05/12/22	Permit Application	Com. Reno/Rem/Chg Occ	Issued	46223   Retail 3009 James St. Tenant # 4 *****CO TYPED-AWAITING SIGNATURES 9/28/2023 ****CO ISSUED 10/26/2023

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**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	05/16/22	Project	SP - Other	Approved	SP-11-21M5   Two new tenants (retail clothing and service salon) with their associated changes in floor plans and signage situated at 3001-3023 James St.
3001-23 James St & Midler Ave N	05/17/22	Permit Application	Com. Reno/Rem/Chg Occ	Issued	46224   SALON 3019 James St Tenant #2 aka 3017 on plans *****CO TYPED-AWAITING SIGNATURES 2/21/2023 ***CO ISSUEDS 2/28/2023
3001-23 James St & Midler Ave N	05/18/22	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	05/26/22	Permit Application	Sign	Issued	46037   Signage - QC BARBER SHOP
3001-23 James St & Midler Ave N	05/26/22	Inspection	Complaint Inspection	In Progress	
3001-23 James St & Midler Ave N	06/27/22	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	06/27/22	Inspection	Fire Inspector Notification	Pass	
3001-23 James St & Midler Ave N	06/27/22	Inspection	Fire Inspector Notification	Pass	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Final Inspection	In Progress	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Final Inspection	In Progress	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Fire - Pre-Permit Inspection	Pass	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Fire - Emergency Egress Illumination	Pass	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Fire - Exit Signage	Pass	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Fire - Fire Extinguishers	Pass	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Fire - Pre-Permit Inspection	Pass	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Fire - Emergency Egress Illumination	Pass	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Fire - Exit Signage	Pass	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Fire - Fire Extinguishers	Pass	
3001-23 James St & Midler Ave N	06/29/22	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	07/08/22	Inspection	Final Inspection	Pass	

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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	07/08/22	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	07/15/22	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	07/15/22	Inspection	Fire - Post-Permit Inspection	Pass	
3001-23 James St & Midler Ave N	07/15/22	Inspection	Final Fire Inspection	Pass	
3001-23 James St & Midler Ave N	07/15/22	Inspection	Fire - Key Box (Lock-Box) Verified	Pass	
3001-23 James St & Midler Ave N	07/15/22	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	07/15/22	Inspection	Fire - Key Box (Lock-Box) Verified	Pass	
3001-23 James St & Midler Ave N	07/15/22	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	07/15/22	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	07/18/22	Completed Complaint	Building W/O Permit	Resolved	2018-14450   A "corner store" opened up between Nick's Barbershop and Fifi's Ice Cream on James Street seemingly overnight. Selling rolling papers and water pipes. Opened up so quick that it seems unlikely to have a certificate of use.
3001-23 James St & Midler Ave N	07/18/22	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	07/20/22	Inspection	Complaint Inspection	No Progress	
3001-23 James St & Midler Ave N	08/05/22	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	08/10/22	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	08/24/22	Inspection	Complaint Inspection	Pass	
3001-23 James St & Midler Ave N	08/31/22	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/14/22	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	09/16/22	Permit Application	Com. Reno/Rem/Chg Occ	Issued	47219   Cricket basement *****CO TYPED-AWAITING SIGNATURES 2/21/2023 ***CO ISSUED 2/28/2023
3001-23 James St & Midler Ave N	09/20/22	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	10/24/22	Inspection	Fire Inspector Notification	Pass	
3001-23 James St & Midler Ave N	10/24/22	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	11/03/22	Inspection	Progress Inspection	Pass	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	12/30/22	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/06/23	Permit Application	Fire Alarm	Issued	46853   Fire Alarm - Cricket Store - Basement
3001-23 James St & Midler Ave N	01/10/23	Inspection	Plan Review Update	In Progress	
3001-23 James St & Midler Ave N	01/12/23	Inspection	Plan Review Update	In Progress	
3001-23 James St & Midler Ave N	01/13/23	Inspection	Plan Review Update	In Progress	
3001-23 James St & Midler Ave N	01/18/23	Inspection	Plan Review Update	Pass	
3001-23 James St & Midler Ave N	01/31/23	Completed Complaint	Sprinkler System	Resolved	2021-13533   Maintenance of Sprinkler System
3001-23 James St & Midler Ave N	02/06/23	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	02/06/23	Inspection	Fire Inspector Notification	Pass	
3001-23 James St & Midler Ave N	02/09/23	Inspection	Plan Review Notification	In Progress	
3001-23 James St & Midler Ave N	02/09/23	Inspection	Fire - Exit Signage	Pass	
3001-23 James St & Midler Ave N	02/15/23	Completed Complaint	Complaint Reqst - General	Closed - Negative	2016-18322   occupying with no C/O
3001-23 James St & Midler Ave N	02/16/23	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	02/16/23	Inspection	Fire - Emergency Egress Illumination	Pass	
3001-23 James St & Midler Ave N	02/16/23	Inspection	Fire - Fire Extinguishers	Pass	
3001-23 James St & Midler Ave N	02/16/23	Inspection	Final Fire Inspection	Pass	
3001-23 James St & Midler Ave N	02/22/23	Permit Application	Sign	Issued	48301   Ashley Cotures Sign 3019 James St Tenant #2 aka 3017 on plans
3001-23 James St & Midler Ave N	02/23/23	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	02/24/23	Completed Permit	Fire Alarm	Certificate Issued	46853   Fire Alarm - Cricket Store - Basement   Certificate of Completion #46853
3001-23 James St & Midler Ave N	02/28/23	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	47219   Cricket basement *****CO TYPED-AWAITING SIGNATURES 2/21/2023 ***CO ISSUED 2/28/2023   Certificate of Occupancy #47219

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	02/28/23	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	46224   SALON 3019 James St Tenant #2 aka 3017 on plans *****CO TYPED-AWAITING SIGNATURES 2/21/2023 ***CO ISSUEDS 2/28/2023   Certificate of Occupancy #46224
3001-23 James St & Midler Ave N	04/11/23	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	06/29/23	Permit Application	Com. Reno/Rem/Chg Occ	Issued	49004   Garcia SM Immigration Consultant offices ****CO TYPED-AWAITING SIGNATURES 9/20/2023 ****CO ISSUED 9/29/2023
3001-23 James St & Midler Ave N	07/20/23	Permit Application	Sign	Denied	48926   Garcia SM Immigrtion Services signage  holding for building permit approval
3001-23 James St & Midler Ave N	09/18/23	Inspection	Inspector Notification	In Progress	
3001-23 James St & Midler Ave N	09/18/23	Inspection	Fire Inspector Notification	Pass	
3001-23 James St & Midler Ave N	09/20/23	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	09/20/23	Inspection	Final Fire Inspection	Pass	
3001-23 James St & Midler Ave N	09/29/23	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	49004   Garcia SM Immigration Consultant offices ****CO TYPED-AWAITING SIGNATURES 9/20/2023 ****CO ISSUED 9/29/2023   Certificate of Occupancy #49004
3001-23 James St & Midler Ave N	10/27/23	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	46223   Retail 3009 James St. Tenant # 4 *****CO TYPED-AWAITING SIGNATURES 9/28/2023 ****CO ISSUED 10/26/2023   Certificate of Occupancy #46223
3001-23 James St & Midler Ave N	10/31/23	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	01/19/24	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	02/27/24	Inspection	Final Inspection	In Progress	
3001-23 James St & Midler Ave N	03/01/24	Inspection	Progress Inspection	No Progress	

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Address	Date	Transaction	Transaction Type	Status	Description
3001-23 James St & Midler Ave N	04/01/24	Closed Permit	Sign	Canceled	48301   Ashley Cotures Sign 3019 James St Tenant #2 aka 3017 on plans
3001-23 James St & Midler Ave N	11/05/24	Inspection	Progress Inspection	<None>	
3001-23 James St & Midler Ave N	01/20/25	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	04/17/25	Inspection	Final Inspection	Pass	
3001-23 James St & Midler Ave N	04/18/25	Completed Permit	Sign	Certificate Issued	46037   Signage - QC BARBER SHOP   Certificate of Completion #46037
3001-23 James St & Midler Ave N	06/04/25	Closed Permit	Com. Reno/Rem/Chg Occ	Canceled	17154   Interior build out of retail space  Cell Phones for Less  ** Rerouted to Zoning per Application (03-11-2015). **  contact person Anas Almaliti 315-744-6293
3001-23 James St & Midler Ave N	07/29/25	Inspection	Progress Inspection	In Progress	
3001-23 James St & Midler Ave N	08/04/25	Complaint	Cert of Use - Restaurant	Referred to BAA	CU2025-0247   Fifi's Ice Cream & Sweets
3001-23 James St & Midler Ave N	08/20/25	Inspection	Progress Inspection	No Progress	
3001-23 James St & Midler Ave N	09/02/25	Violation	SPCC - C of U - Sec 27-164 (A)	Open	
3001-23 James St & Midler Ave N	09/02/25	Violation	SPCC - C of U - Sec. 27-164 (B)	Open	
3001-23 James St & Midler Ave N	09/02/25	Violation	SPCC - C of U - Sec. 27-164 (C)	Open	
3001-23 James St & Midler Ave N	09/02/25	Violation	2020 PMCNYS - Section 107.1.4 - Unlawful Structures	Open	
3001-23 James St & Midler Ave N	09/02/25	Violation	2020 PMCNYS - Section 107.1.3 - Structure Unfit for Human Occupancy	Open	
3001-23 James St & Midler Ave N	09/02/25	Inspection	Tickle Date (Follow Up)	Fail	
3001-23 James St & Midler Ave N	09/25/25	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	09/30/25	Inspection	Progress Inspection	No Progress	

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<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
3001-23 James St & Midler Ave N	10/14/25	Inspection	Complaint Re-Inspection	No Progress	
3001-23 James St & Midler Ave N	12/09/25	Inspection	Codes - Licensing	In Progress	
3001-23 James St & Midler Ave N	12/16/25	Inspection	Codes - Licensing	Pass	
3001-23 James St & Midler Ave N	12/17/25	Inspection	BAA - 1st Ticket Plea	Ticket Default	
3001-23 James St & Midler Ave N	01/27/26	Inspection	Fire Prevention - Licensing	In Progress	
3001-23 James St & Midler Ave N	02/02/26	Inspection	Fire Prevention - Licensing	Pass	