



**CITY OF SYRACUSE, MAYOR SHARON F. OWENS**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<i><b>MaSPR-2026-17</b></i>	<i><b>Staff Report – May 18, 2026</b></i>
<i><b>Application Type:</b></i>	Major Site Plan Review
<i><b>Project Address:</b></i>	333 E Onondaga St. (Tax Map ID: 102.-02-07.0)
<i><b>Summary of Proposed Action:</b></i>	<p>The applicant intends to remodel an existing six story structure with “Office” land use types and convert it to one commercial unit on the first floor nearest the right of way, and 46 “Dwelling, Multi Unit” land use types on the first through sixth floor.</p> <p>Site improvements include the installation of bicycle racks, one (1) tree pit, fencing and a new gas service to the building which requires removal and replacement of concrete pavement. A curb cut application may be required.</p> <p>“Dwelling, Multi Unit” land use types are permitted by right under the regulations of the MX-5 Zone District.</p> <p>Total site area: .21 Acres / 8,978 SF</p>
<i><b>Owner/Applicant</b></i>	Rasselas Trust (Owner) Dash Davidson, High Tide Capital LLC (Applicant & Representative)
<i><b>Existing Zone District:</b></i>	Central Business District (MX-5) Zone District
<i><b>Surrounding Zone Districts:</b></i>	The neighboring properties to the north, east, south, and west are all within the Central Business District (MX-5) Zone District
<i><b>Companion Application(s)</b></i>	V-2026-3   A Use Variance to allow six (6) “Dwelling, Multi Unit” land use types on the first floor to the rear of the commercial unit   Approved
<i><b>Scope of Work:</b></i>	<p>Exterior work:</p> <ol style="list-style-type: none"> <li>(1) Installation of three bicycle racks</li> <li>(2) Installation of a tree pit</li> <li>(3) Fencing around the site</li> <li>(4) Installation of a new gas service line to the building.</li> <li>(5) Installation of new windows for units in the rear of the structure</li> </ol> <p>Interior work:</p> <ol style="list-style-type: none"> <li>(1) Removal and abatement of</li> <li>(2) Building out 1<sup>st</sup> – 6<sup>th</sup> floor for 46 “Dwelling, Multi Unit” land use types on the floor.</li> <li>(3) Building out the first-floor tenant space nearest the street for a commercial use.</li> </ol>
<i><b>Facts on Project:</b></i>	<p><u><b>Existing Conditions</b></u></p> <ul style="list-style-type: none"> <li>- The structure is currently occupied exclusively by “Office” land use types from the first to the sixth floor, with most floors being vacant.</li> </ul> <p><u><b>Nonconformities</b></u></p> <ul style="list-style-type: none"> <li>- No nonconformities exist on the site.</li> </ul> <p><u><b>Dimensional Standards</b></u></p> <ul style="list-style-type: none"> <li>- The existing lot meets all Dimensional standards of the MX-5 Zone District.</li> <li>- The existing structural coverage is 75%, which exceeds the minimum required</li> </ul>

coverage of 75%. No change in lot coverage is proposed.

**Use Specific Standards**

- Ground floor dwelling units are not permitted in the MX-5 zone district, however a Use Variance has been approved to allow for this use.

**Local Land Use and Residential Compatibility**

- The site is Central Business District (MX-5), where the residential-commercial use type “Dwelling, Multi Unit”, are permitted by right, **however this use is not permitted on the ground floor** to encourage commercial and office occupancies in these spaces. The surrounding uses are largely commercial, including “Office”, “Parking Lot”. “Parking Structure” and “Restaurant > 1,000 sqft” land use types in the vicinity.

**Off-Street Parking and Loading**

- No parking is required for any uses in the MX-5 Zone District.

**Landscaping, Buffering, and Screening**

- Screening is proposed for additional privacy for the ground floor units and to prevent access from the City ROW to the windows of the proposed ground floor units.

**Site, Building Design, and Exterior Lighting**

- The exterior of the site is in good repair; minor curb damage exists along the street.

**Signage**

- Any proposed signage requires separate building permits subject to review by the Zoning Administration, Central Permit Office, and Preservation Planner if applicable.

**Historic Preservation**

- This property is on the City’s Historic Properties list, and exterior work and improvements are proposed and does require review by the Landmark Preservation Board. The Syracuse Landmark Preservation Board has already reviewed and approve of the proposed changes to the site.

**Additional Standards, Building Placement, and Transparency**

- The existing structure is complaint with the requirements of the Syracuse Zoning Ordinance regarding transparency, setbacks, and other required standards.

<p><i>Staff Analysis:</i></p>	<p><b><u>Major Site Plan Approval Criteria</u></b></p> <p><b>Consistency with the General Purpose and Intent of the Ordinance:</b> The proposed two-story commercial building aligns with the CM Zone District’s intent to encourage various commercial uses and pedestrian-friendly commercial corridors. The introduction of retail and residential multi-unit uses diversifies the corridor’s land use mix and creates more occupancy opportunity in an existing underoccupied structure.</p> <p><b>Consistency with Dimensional &amp; Design Development Standard of Zoning Ordinance:</b> The project meets all applicable dimensional standards for the CM Zone District and introduces screening, bike racks, fencing, and improved utility services. Lot structural coverage is maintained at 75% which meets the minimum structural coverage requirement and required transparency percentages are met for both the ground floor retail and the second-floor office spaces.</p> <p><b>Consistency with the Comprehensive Plan and Other Adopted City Policies and Plans:</b> The proposed restoration and conversion of the building is consistent with the Comprehensive Plan and adopted City policies by supporting reinvestment in underoccupied properties and promoting new uses in this part of the Downtown area.</p>
<p><b><i>Staff Recommendation:</i></b></p>	<p><b>Staff recommend approving this project.</b></p>
<p><i>Recommend conditions if approved:</i></p>	<ol style="list-style-type: none"><li>1. The applicant shall comply with the comments and recommendations of the Onondaga County Planning Board as incorporated into the companion Major Site Plan, MaSPR-2026-17</li><li>2. Curbing and landscaping within the front setback shall be maintained to prevent vehicles from entering or parking within the public sidewalk area.</li><li>3. The applicant shall coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP) Flow Control Division for any infrastructure related to disturbance of land within the county easement and include County-owned infrastructure must be on the related plans</li><li>4. Any commercial uses proposed in the front commercial space will require site plan review prior to occupancy.</li></ol>

**MaSPR-2026-17**

<b><i>Zoning Procedural History:</i></b>	MaSPR-2024-04  Renovation to an existing 6-story office building to change floor 2-6 into 5 one-bedroom apartments per floor. First floor will remain offices.   Closed Administratively
<b><i>Summary of Zoning History:</i></b>	No zoning history exists for this structure, however, permits indicate it was approved for construction in 1967 as an office building.
<b><i>Code Enforcement History:</i></b>	See attached code enforcement history.
<b><i>Zoning Violations:</i></b>	The lot has no zoning violations.
<b><i>Summary of Changes:</i></b>	No changes proposed from V-2026-3
<b><i>Property Characteristics:</i></b>	<b><u>Existing property characteristics</u></b> The subject property at 333 E Onondaga St. is an irregularly shaped parcel with a lot size of 5,586 SF (0.128 acres). The property has one street frontage with 67.25 FT of southeast frontage along E Onondaga St. To the west, the property line borders 335 Montgomery St. for 162.89 FT, and 327 Montgomery St for 12 FT. To the northeast, the property line borders 337 E Onondaga St. for 132.53 FT.; The parcel is currently occupied by one six story brick building occupied entirely by offices as well as a small concrete pad to the southwest which is utilized for temporary parking.
<b><i>SEQR Determination:</i></b>	Pursuant to the 6 NYCRR §617.2(al), the proposal is an Unlisted Action.
<b><i>Onondaga County Planning Board Referral:</i></b>	Pursuant to GML §239-1, m and n, the proposal was reviewed by the Onondaga County Planning Board on 4/22/2026.

**Application Submittals:** The application submitted the following in support of the proposed project:

- Use Variance Application
- Short Environmental Assessment Form Part 1
- Plan Package ( Site Plan A004, Sheets A001 – E-603) Renovations to Monroe Building, 333 E Onondaga St., Syracuse, New York; Drawn by: InArchitects LLC as Noted, Dated 3/13/2026; Scale: As shown
- Property Survey 333. Onondaga County, Syracuse, New York; Signed and Sealed by Scott A Phetteplace, BLEW Inc.; Dated 3/20/2026; Scale: As Depicted

**Attachments:**

Variance Application  
Code Enforcement History

OCPB Comments

**Context Maps:**

**Figure 1:** Zone District of Subject Property

**MaSPR-2026-17**



Description: Figure 1 shows the current Zone District of the subject property.  
Image Source: City of Syracuse Neighborhood and Business Development, Syracuse Zoning Map

**Figure 2: Aerial Imagery of Subject Property**

**MaSPR-2026-17**



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

## Your Submission Details

**Submission Number:**

MaSPR-2026-17

**Status:**

**Scheduling and Notice of City Planning Commission Public Hearings**

**Message:**

**Applicant Name:**

Nathan LaPierre

**Applicant Email:**

**Primary Location:**

333 ONONDAGA ST E, CONDO, ONE 13202

**Primary APN:**

102.-02-07.0/1

**Submission Type:**

Zoning Applications > Site Plan Review > Major Site Plan Review

**Last Updated:**

May 12, 2026

**Submission URL:**

<https://app.oncamino.com/syracuse/en/dashboard/submissions/739437/guide>

**Contact the agency for more help**



(315) 448-8600



[zoning@syr.gov](mailto:zoning@syr.gov) [zwu@syr.gov](mailto:zwu@syr.gov) [hpan@syr.gov](mailto:hpan@syr.gov)



300 South State St.,  
Syracuse

① Getting Started

○ Welcome to the City of Syracuse's Online Application Portal

Step is Completed By: Applicant



Welcome to the City of Syracuse's Online Application Portal.

As part of the application portal, we will inform you of your application and submittal requirements, fees, and renewal cadences.

If you'd like to visit us in person to drop off your application and fees, you can submit it to:

**City of Syracuse, Central Permit Office**

One Park Place

300 South State St.

Syracuse, NY 13202

② Apply for a Permit

✓ Pre-Application Conference is Required for Major Site Plan Review

Group: Zoning

Step is Completed By: Applicant

**INTERNAL USE ONLY**

1 Are you the property owner?

Yes

No

**Data Fields**

**General Project Information**

1 Proposed Zoning Accessory Land Use Type (Refer to Syracuse Zoning Ordinance)

Proposal involves no change on Accessory Land Use Type

2 Proposed Number of Dwelling Units (if applicable)

46.0

3 Current Number of Dwelling Units (if applicable)

4 Proposed Zoning Primary Land Use Type (Refer to Syracuse Zoning Ordinance)

Mixed Use Development

5 Will this project include site changes?

Yes

6 Will this project include exterior alterations?

Yes

7 Will this project include new construction?

No

8 Will this project include demolition (full or partial)?

Yes

9 Companion Zoning Applications (if applicable, list any related zoning applications)

ZBA - Use Variance

10 Proposed Onsite Parking

no

11 Current Onsite Parking

n/a

12 Proposed Hours of Operation

9:00am-5:00pm

13 Current Hours of Operation

9:00am-5:00pm

14 Proposed Use of the Property

Apartments and office space

15 Current Use of the Property

Office Space

16 Lot Size (sq ft)

7,636

17 Business/Project Name

Monroe Building Renovations



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov

### Owner/Owner's Agent Certification

*By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.*

**Print owner's name:** Dash Davidson

Signature: *DD*

Date: 03/30/2026

Mailing address: 210 Exchange Street, Bangor ME 04401

Phone:

Email:

**Print applicant's name:** Joseph Piraino

Signature: *JP*

Date: 03/30/2026

Mailing address: 239 East Water Street - 2nd Floor, Syracuse, NY 13202

Phone:

Email:

**Print authorized representative's name (if applicable):**

Signature:

Date: 03/30/2026

Mailing address:

Phone:

Email:

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. Faxed or photocopied signatures will not be accepted.

PLEASE NOTE:

- **If the property owner is a corporation, the person who signed on behalf of the corporation shall print his/her name as well and provide the Articles of Organization.**
- **If a property owner designates an authorized agent as a legal representative to provide signature(s) on required submittals on his/her behalf, or apply for the application on his/her behalf, or to present the project at the City Planning Commission on his/her behalf, please provide the executed power of attorney form(s) for each representative.**
- **Incomplete forms or missing supplementary documentation are unacceptable and will result in the application being deemed incomplete. Incomplete applications will not be reviewed by the Office of Zoning Administration until all required materials are submitted.**

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

RENOVATIONS TO:  
**MONROE BUILDING**  
333 EAST ONONDAGA STREET  
SYRACUSE, NEW YORK

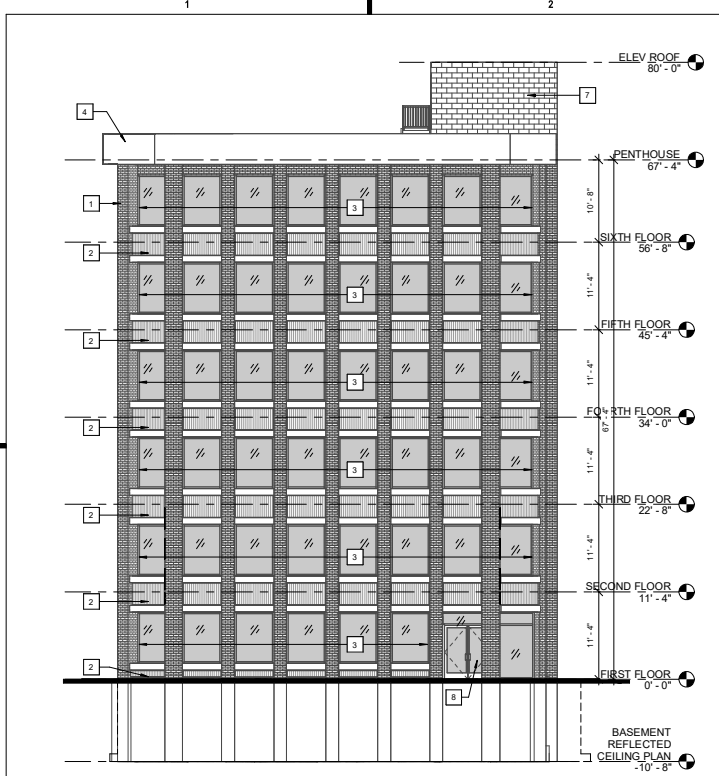
IF IN THE VIOLATION OF THE LAW FOR ANY REASON, UNLESS  
ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT,  
NO ARCHITECT SHALL BE HELD RESPONSIBLE FOR ANY  
VIOLATION OF ANY LAW, RULE OR ORDINANCE, THE  
VIOLATION OF WHICH MAY BE PENALIZED BY THE  
STATE OF NEW YORK OR ANY AGENCY THEREOF,  
AND THE STATE OF NEW YORK SHALL BE HELD  
RESPONSIBLE FOR THE VIOLATION.

REVISIONS		
NO.	DESCRIPTION	DATE

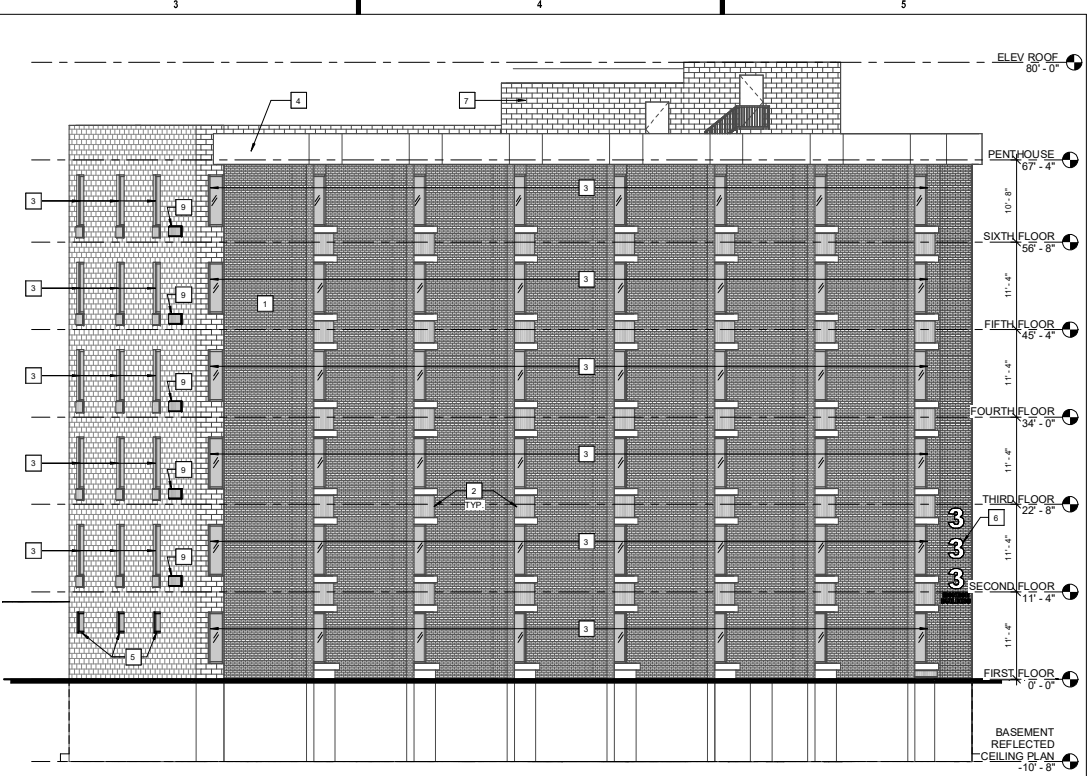
**EXTERIOR ELEVATIONS**

Project Status	DD
Date	03/31/2026
Project Number	25079
Drawn By	IPV
Checked By	JRP

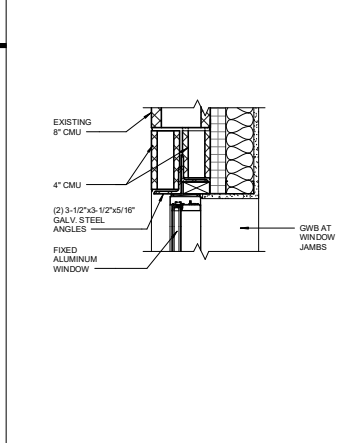
**A301**



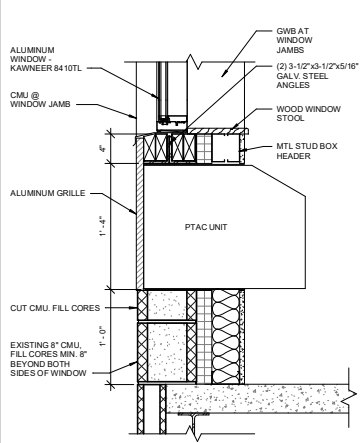
B1 EAST ELEVATION  
A301 SCALE: 1/8" = 1'-0"



B3 SOUTH ELEVATION  
A301 SCALE: 1/8" = 1'-0"



C1 SECTION DETAIL - WINDOW HEAD  
A301 SCALE: 1 1/2" = 1'-0"



C2 SECTION DETAIL - WINDOW SILL  
A301 SCALE: 1 1/2" = 1'-0"



C3 SECTION DETAIL - WINDOW SILL  
A301 SCALE: 1 1/2" = 1'-0"



C4 SECTION DETAIL - WINDOW SILL  
A301 SCALE: 1 1/2" = 1'-0"

- NEW CONSTRUCTION KEYED NOTES:**
- EXISTING BRICK TO REMAIN - CLEAN AND REPOINT AS NEEDED (TYP)
  - EXISTING WALL LOUVER TO REMAIN (TYP)
  - EXISTING WINDOWS TO REMAIN (TYP)
  - EXISTING CONCRETE OVERHANG TO REMAIN
  - NEW WINDOW
  - NEW ADDRESS AND BUILDING NAME SIGNAGE
  - EXISTING CMU - REPOINT AS NEEDED AND PAINT
  - EXISTING ENTRY STOREFRONT TO REMAIN
  - NEW PTAC EXTERIOR GRILLS - SEE MECHANICAL DWGS.

C5 ELEVATION KEY NOTES  
A301 SCALE: 1/4" = 1'-0"



ARCHITECTS  
239 E. Water Street - 2nd Fl.  
Syracuse, New York 13202  
www.in-ARC-HTECTS.com

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RENOVATIONS TO:  
**MONROE BUILDING**  
333 EAST ONONDAGA STREET  
SYRACUSE, NEW YORK

IT IS THE VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ACCEPT OR TAKE IN ANY MANNER AN INSTRUMENT THIS SIGNATURE OR ANY ARCHITECT IS AUTHORIZED TO SIGN AND THE ARCHITECT IS NOT TO BE FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH INSTRUMENT AS A SPECIFIC DESCRIPTION OF THE ALTERNATIVE.

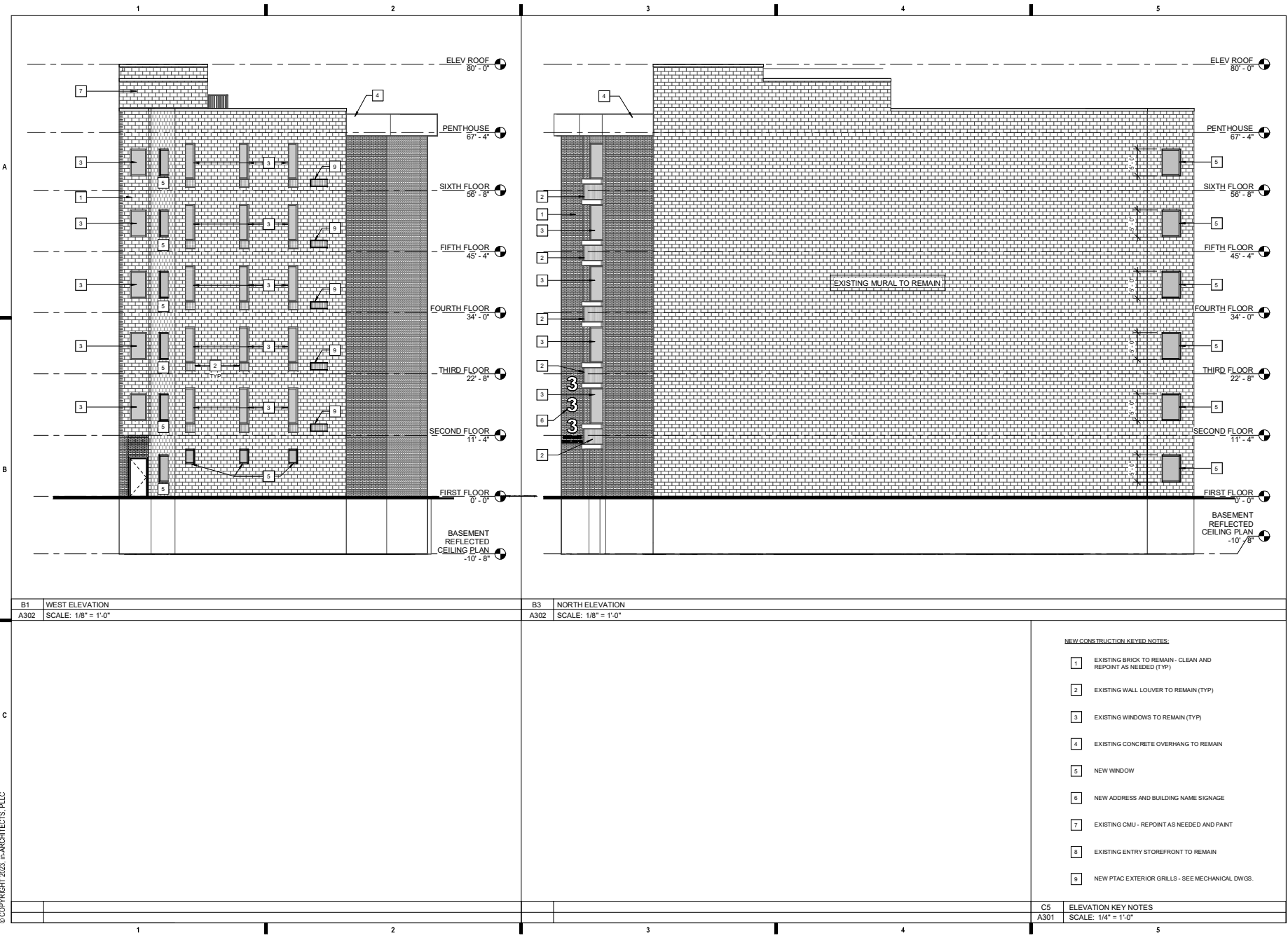
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**EXTERIOR ELEVATIONS**

Project Status	DD
Date	03/31/2026
Project Number	25079
Drawn By	IPV
Checked By	JRP

**A302**



B1 WEST ELEVATION  
A302 SCALE: 1/8" = 1'-0"

B3 NORTH ELEVATION  
A302 SCALE: 1/8" = 1'-0"

**NEW CONSTRUCTION KEYED NOTES:**

- 1 EXISTING BRICK TO REMAIN - CLEAN AND REPOINT AS NEEDED (TYP)
- 2 EXISTING WALL LOUVER TO REMAIN (TYP)
- 3 EXISTING WINDOWS TO REMAIN (TYP)
- 4 EXISTING CONCRETE OVERHANG TO REMAIN
- 5 NEW WINDOW
- 6 NEW ADDRESS AND BUILDING NAME SIGNAGE
- 7 EXISTING CMU - REPOINT AS NEEDED AND PAINT
- 8 EXISTING ENTRY STOREFRONT TO REMAIN
- 9 NEW PTAC EXTERIOR GRILLS - SEE MECHANICAL DWGS.

C5 ELEVATION KEY NOTES  
A301 SCALE: 1/4" = 1'-0"

**OWNER**

HIGH TIDE CAPITAL, LLC  
 210 EXCHANGE STREET  
 BANGOR, ME 04401  
 CONTACT: DASH DAVIDSON

**ARCHITECT**

IN-ARCHITECTS, PLLC  
 239 EAST WATER STREET  
 SYRACUSE, NY 13202  
 (315) 728-9458 (phone)  
 CONTACT: JOSEPH PIRAINO  
 E-MAIL: JPIRAINO@IN-ARCHITECTS.COM

RENOVATIONS TO:

# MONROE BUILDING

333 EAST ONONDAGA STREET  
 SYRACUSE, NEW YORK

**PROJECT #25079**



IN-ARCHITECTS  
 239 E. Water Street - 2nd Fl.  
 Syracuse, New York 13202  
 www.in-ARCHITECTS.com

AREA OF WORK



SITE PLAN



DRAWING LIST						
SHEET NUMBER	SHEET NAME	ISSUED DATE	BID DATE	REVISION #	REVISION DATE	
<b>GENERAL INFORMATION</b>						
A001	COVER SHEET					
A002	GENERAL INFORMATION					
<b>ARCHITECTURAL</b>						
A101	BASEMENT AND FIRST FLOOR DEMO PLANS					
A102	TYPICAL UPPER AND PENTHOUSE DEMO PLANS					
A301	BASEMENT & FIRST FLOOR PLANS					
A302	TYPICAL APARTMENT + PENTHOUSE PLAN					
A301	EXTERIOR ELEVATIONS					
A302	EXTERIOR ELEVATIONS					
A401	ENLARGED PLAN					
A402	ENLARGED PLAN					
A501	INTERIOR ELEVATIONS					
<b>MECHANICAL</b>						
M001	GENERAL NOTES AND SYMBOLS					
M002	SPECIFICATIONS					
M003	SPECIFICATIONS					
M101	BASEMENT NEW WORK PLAN					
M102	GROUND FLOOR THROUGH FIFTH FLOOR NEW WORK PLANS					
M103	SIXTH FLOOR AND ROOF PLAN					
M101	ENLARGED PLANS					
M102	ENLARGED PLANS					
MEPD001	MEP DEMOLITION GENERAL NOTES					
MEPD101	MEP LOWER LEVELS DEMOLITION PLAN					
MEPD102	MEP UPPER LEVELS DEMOLITION PLAN					
<b>PLUMBING</b>						
P001	GENERAL NOTES AND SYMBOLS					
P002	SPECIFICATIONS					
P101	BASEMENT NEW WORK PLAN					
P102	GROUND FLOOR THROUGH FIFTH FLOOR NEW WORK PLANS					
P103	SIXTH FLOOR AND ROOF PLAN					
P401	ENLARGED PLANS					
P402	ENLARGED PLANS					
P601	DETAILS					
P601	SCHEDULES					
<b>FIRE PROTECTION</b>						
FP001	GENERAL NOTES AND SYMBOLS					
FP002	SPECIFICATIONS					
FP101	BASEMENT NEW WORK PLAN					
FP102	GROUND FLOOR THROUGH FIFTH FLOOR NEW WORK PLANS					
FP103	SIXTH FLOOR AND ROOF PLAN					
<b>ELECTRICAL</b>						
E001	GENERAL NOTES AND SYMBOLS					
E002	SPECIFICATIONS 1					
E003	SPECIFICATIONS 2					
E004	SPECIFICATIONS 3					
E101	BASEMENT NEW WORK PLAN					
E102	GROUND FLOOR THROUGH FIFTH FLOOR POWER PLANS					
E103	SIXTH FLOOR AND ROOF POWER PLAN					
E302	GROUND FLOOR THROUGH FIFTH FLOOR LIGHTING PLANS					
E303	SIXTH FLOOR AND ROOF LIGHTING PLAN					
E401	ENLARGED PLANS 1					
E402	ENLARGED PLANS 2					
E501	ONE LINE DIAGRAM					
E502	DETAILS 1					
E503	DETAILS 2					
E504	DETAILS 3					
E505	DETAILS 4					
E601	SCHEDULES					
E602	PANEL SCHEDULES 1					
E603	PANEL SCHEDULES 2					

RENOVATIONS TO:  
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IF IN THE VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN FEW IN ANY WAY IF AN FEW BEARING THE SEAL OF AN ARCHITECT. IF, ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."  
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**COVER SHEET**

Project Status: DD  
 Date: 03/24/2026  
 Project Number: 25079  
 Drawn By: IPV  
 Checked By: JRP

**A001**

TYPICAL ROOM ADA SIGNAGE

MINIMUM 5/8" HIGH TACTILE TEXT RAISED 1/32" FULL CAPITAL SANS SERIF FONT OR SIMPLE SERIF TYPE FONT

GRADE 2 BRAILLE

**ELECTRICAL ROOM**

\*ALL ADA SIGNAGE TO BE MOUNTED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. IN INSTANCES, WHERE THERE IS NO WALL SPACE ADJACENT TO THE LATCH SIDE OF THE DOOR (INCLUDING DOUBLE-LEAF DOORS) SIGNAGE SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL. ALL ADA SIGNAGE SHALL BE MOUNTED 5'-0" TO THE CENTERLINE OF THE SIGN. A PERSON MUST BE ABLE TO APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.

TYPICAL RESTROOM ADA SIGNAGE

PICTOGRAM BORDER OR BACKGROUND FIELD MINIMUM 6" HIGH

MINIMUM 5/8" HIGH TACTILE TEXT RAISED 1/32" FULL CAPITAL SANS SERIF FONT OR SIMPLE SERIF TYPE FONT

GRADE 2 BRAILLE



PROVIDE AT TOILET ROOMS

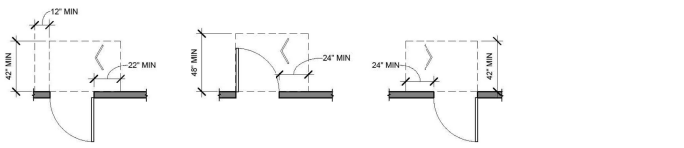
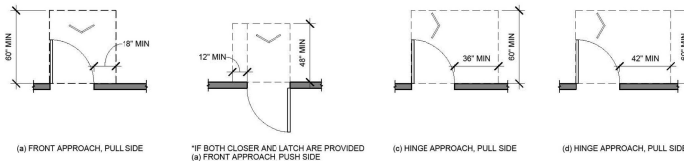
INTERNATIONAL ACCESSIBILITY SIGN

PROVIDE AT ADA TOILET STALL



PROVIDE AT UNISEX TOILET

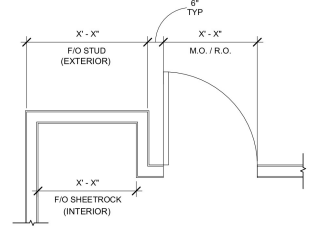
A2 TYPICAL ADA SIGNAGE  
A002 SCALE: NOT TO SCALE



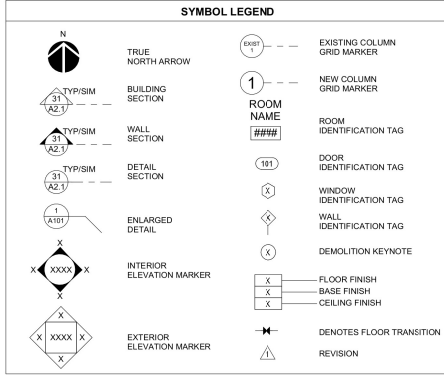
\* IF BOTH CLOSER AND LATCH ARE PROVIDED  
\* 48" MIN IF BOTH CLOSER AND LATCH PROVIDED  
\* 54" MIN IF CLOSER IS PROVIDED  
\* 48" MIN IF CLOSER IS PROVIDED

B2 TYPICAL ICC MANEUVERING CLEARANCES AT DOORS  
A002 SCALE: NOT TO SCALE

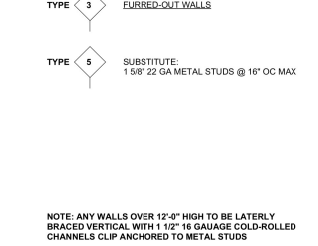
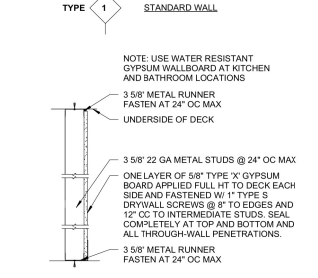
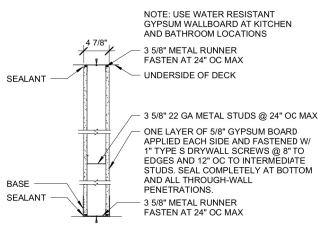
TYPICAL DIMENSIONING NOTES:  
1. ALL DIMENSIONS ARE FROM FINISH FACE OF GYPSUM WALLBOARD OR MASONRY UNLESS NOTED OTHERWISE.  
2. THE CONTRACTOR IS RESPONSIBLE TO CHECK PLANS AND IS TO NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.  
3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.  
4. REFER TO PARTITION SCHEDULE FOR THICKNESS OF PARTITIONS.



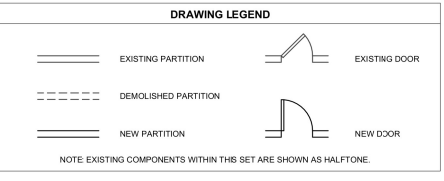
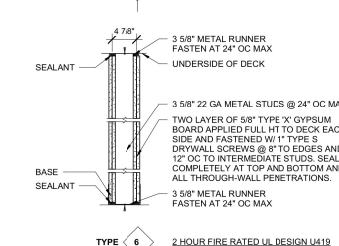
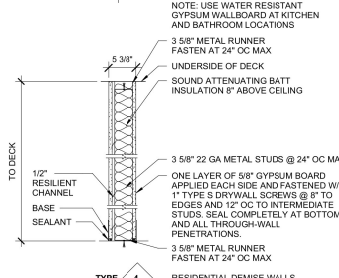
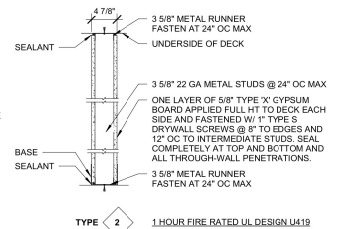
C2 TYPICAL DIMENSIONING DETAIL  
A002 SCALE: NOT TO SCALE



C3 SYMBOL LEGEND  
A002 SCALE: NOT TO SCALE



B4 PARTITION TYPES  
A002 SCALE: 1" = 1'-0"



RENOVATIONS TO:  
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333 EAST ONONDAGA STREET  
SYRACUSE, NEW YORK

IF IN THE VIOLATION OF THE LAW OR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL BE HELD LIABLE FOR THE SEAL AND THE VIOLATION UNLESS IT IS FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH VIOLATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**GENERAL INFORMATION**

Project Status: DD  
Date: 03/24/2026  
Project Number: 25079  
Drawn By: IPV  
Checked By: JRP

**A002**



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ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT  
TO ALTER OR REPAIR IN ANY WAY IF AN ITEM BEARING THE  
SEAL OF AN ARCHITECT IS ALTERED. THE ALTERING  
ARCHITECT SHALL BE RESPONSIBLE FOR THE SEAL AND  
THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE  
AND THE DATE OF SUCH ALTERATION AND A SPECIFIC  
DESCRIPTION OF THE ALTERATION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE  
SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF  
ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**BASEMENT AND  
FIRST FLOOR  
DEMO PLANS**

Project Status	DD
Date	03/24/2026
Project Number	25079
Drawn By	MAA/AMR
Checked By	JRP

**A101**

**DEMOLITION NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DUMPSTER AND DEMOLITION PERMITS. ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LAWFUL AND LEGAL MANNER.
- CONTRACTOR TO FIELD VERIFY ALL OF THE EXISTING SPACES THAT WILL BE AFFECTED BY THE DEMOLITION AND THE NEW PLANNED CONSTRUCTION.
- CONTRACTOR TO COORDINATE DEMOLITION WITH ALL PHASES OF CONSTRUCTION PRIOR TO THE START OF DEMOLITION AND NOTIFY THE ARCHITECT AND/OR ENGINEERS OF ANY DISCREPANCIES IN THE DRAWINGS THAT WOULD PREVENT THE SATISFACTORY COMPLETION OF THE PROPOSED WORK.
- CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER'S REPRESENTATIVE AS TO THE PROTECTION AND/OR STORAGE OF ANY ITEMS TO BE SALVAGED.
- CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER'S REPRESENTATIVE AS TO ANY SPECIFIC BUILDING REGULATIONS WITH REGARDS TO DEMOLITION AND TO COMPLY WITH ANY BUILDING WIDE OR LOCAL MUNICIPAL REGULATIONS REGARDING HOURS IN WHICH DEBRIS CAN BE REMOVED FROM THE BUILDING AND SITE.
- CONTRACTOR TO PROTECT EXISTING BUILDING FINISHES AND MATERIALS TO REMAIN AS REQUIRED. CONTRACTOR TO SAW OUT AND REMOVE MATERIAL IN A WAY WHICH WILL MINIMIZE DAMAGE TO ADJACENT FINISHES TO REMAIN. EXISTING MATERIALS AND FINISHES DISTURBED BY THE DEMOLITION SHALL BE PATCHED TO MATCH THE ADJACENT AREA TO MAINTAIN A UNIFORM APPEARANCE.
- ALL ELECTRICAL POWER IN WORK AREAS TO BE DISCONNECTED AND MADE SAFE BY A LICENSED ELECTRICIAN PRIOR TO START OF DEMOLITION. CONTRACTOR TO PROVIDE TEMPORARY LIGHTS/POWER AND LIGHTING THROUGHOUT THE COURSE OF THE PROJECT. PROVIDE TEMPORARY LIFE SAFETY SYSTEMS AS REQUIRED BY LOCAL AHJ.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES AS WELL AS ANY REGULATORY AGENCIES INCLUDING OSHA.

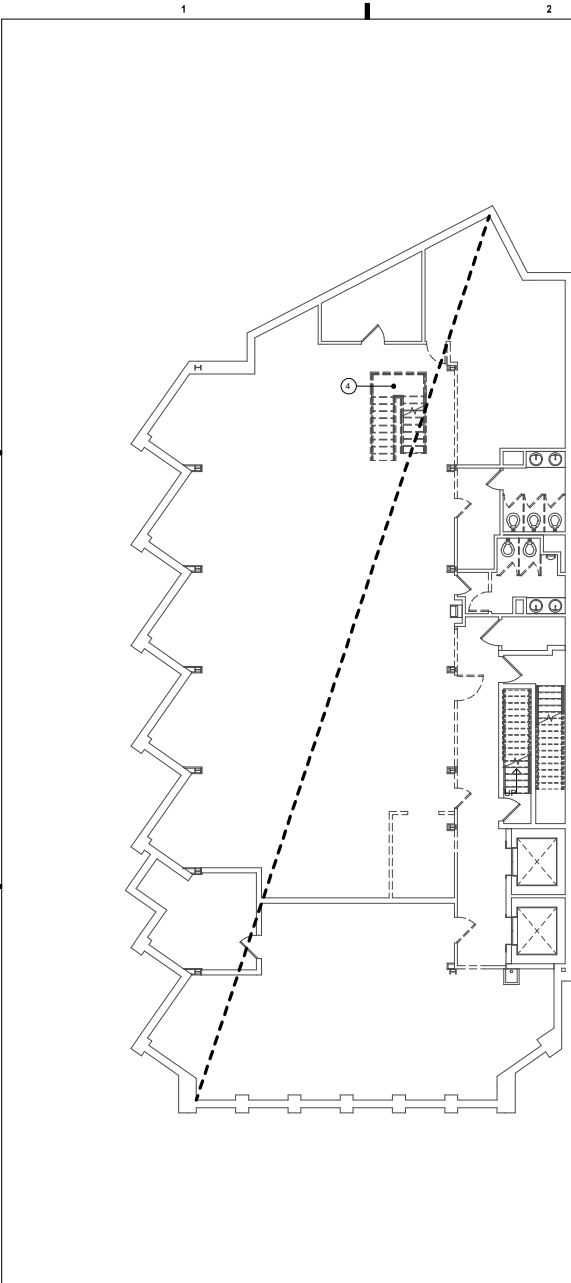
BS	GENERAL DEMOLITION NOTES
A101	SCALE: NO SCALE

**DEMOLITION KEYED NOTES:**

- EXISTING DOOR TO BE REMOVED. TYPICAL @ ALL DASHED DOORS.
- EXISTING STOREFRONT SYSTEM TO BE REMOVED.
- EXISTING WALL TO BE DEMOLISHED
- EXISTING STAIR + RAILING TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED. EXISTING OPENING TO REMAIN. TYPICAL @ ALL DASHED WINDOWS.
- EXISTING CEILING AND LIGHT FIXTURES TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING PLUMBING FIXTURES, VANITIES + PARTITIONS TO BE REMOVED.
- EXISTING STAIR TO REMAIN
- EXISTING FLOORING TO BE REMOVED + PREPPED FOR NEW
- EXISTING ELEVATORS TO REMAIN
- EXISTING GREEN ROOF TO REMAIN
- EXISTING ROOF TOP UNITS TO BE RELOCATED TO TOP OF STAIR TOWER ABOVE
- EXISTING PTAC UNITS TO BE REMOVED AND FILLED

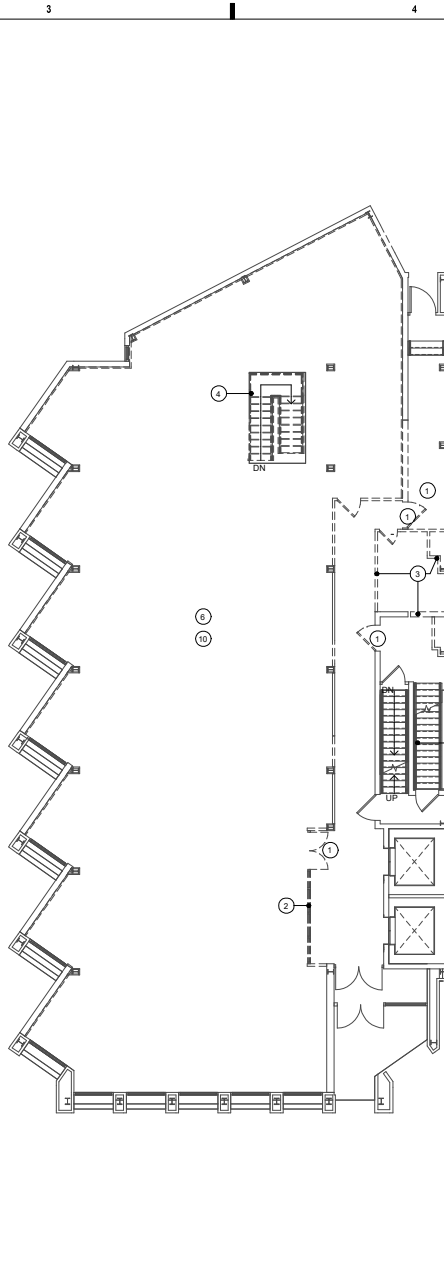


C5	DEMOLITION KEY NOTES
A101	SCALE: NO SCALE



C1	EXISTING BASEMENT
A101	SCALE: 1/8" = 1'-0"

C3	GROUND FLOOR DEMOLITION PLAN
A101	SCALE: 1/8" = 1'-0"





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THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**TYPICAL UPPER AND PENTHOUSE DEMO PLANS**

Project Status	DD
Date	03/24/2026
Project Number	25079
Drawn By	MAA/AMR
Checked By	JRP

**A102**

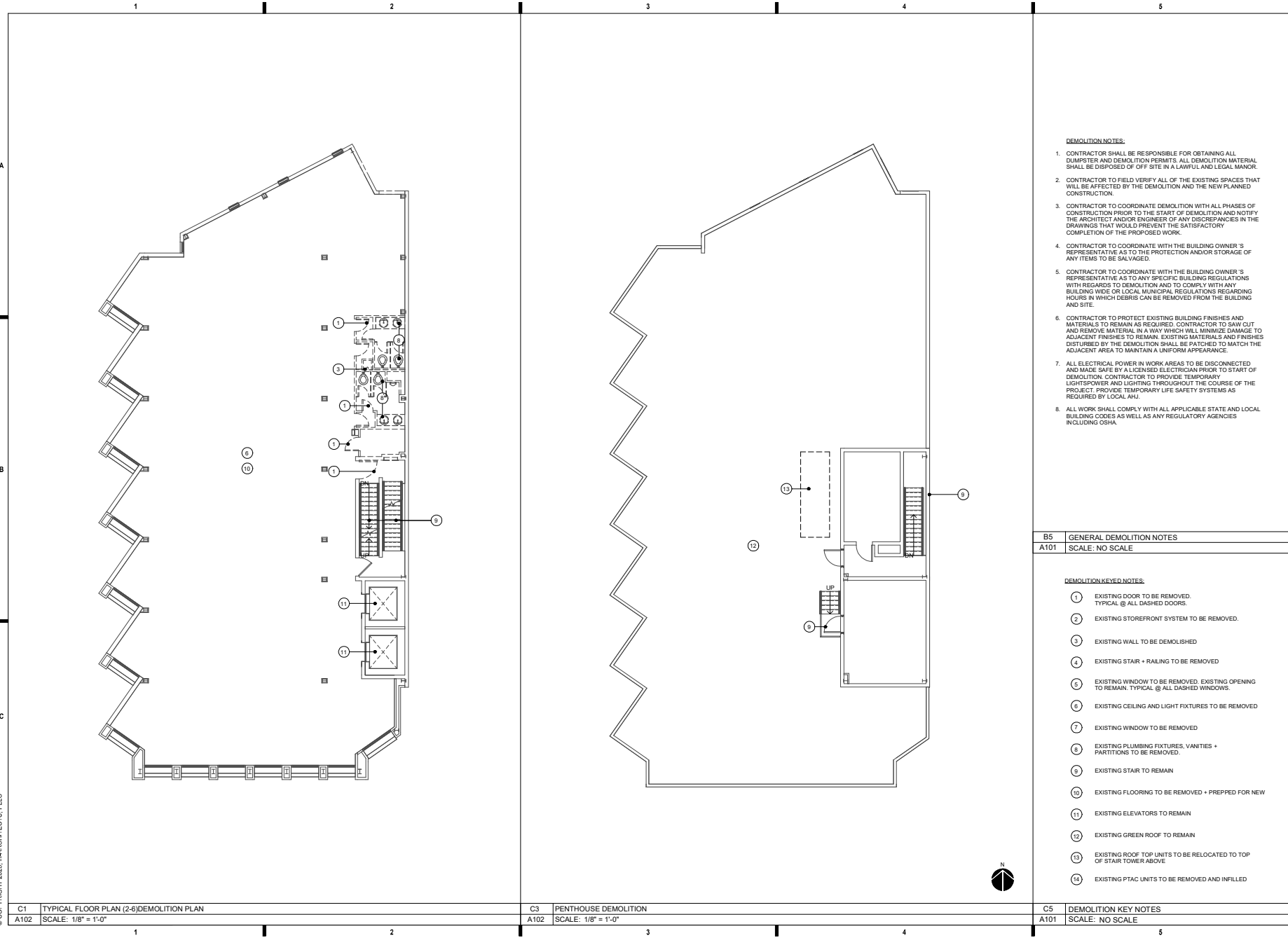
**DEMOLITION NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DUMPSTER AND DEMOLITION PERMITS. ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LAWFUL AND LEGAL MANNER.
- CONTRACTOR TO FIELD VERIFY ALL OF THE EXISTING SPACES THAT WILL BE AFFECTED BY THE DEMOLITION AND THE NEW PLANNED CONSTRUCTION.
- CONTRACTOR TO COORDINATE DEMOLITION WITH ALL PHASES OF CONSTRUCTION PRIOR TO THE START OF DEMOLITION AND NOTIFY THE ARCHITECT AND/OR ENGINEERS OF ANY DISCREPANCIES IN THE DRAWINGS THAT WOULD PREVENT THE SATISFACTORY COMPLETION OF THE PROPOSED WORK.
- CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER'S REPRESENTATIVE AS TO THE PROTECTION AND/OR STORAGE OF ANY ITEMS TO BE SALVAGED.
- CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER'S REPRESENTATIVE AS TO ANY SPECIFIC BUILDING REGULATIONS WITH REGARDS TO DEMOLITION AND TO COMPLY WITH ANY BUILDING WIDE OR LOCAL MUNICIPAL REGULATIONS REGARDING HOURS IN WHICH DEBRIS CAN BE REMOVED FROM THE BUILDING AND SITE.
- CONTRACTOR TO PROTECT EXISTING BUILDING FINISHES AND MATERIALS TO REMAIN AS REQUIRED. CONTRACTOR TO SAW OUT AND REMOVE MATERIAL IN A WAY WHICH WILL MINIMIZE DAMAGE TO ADJACENT FINISHES TO REMAIN. EXISTING MATERIALS AND FINISHES DISTURBED BY THE DEMOLITION SHALL BE PATCHED TO MATCH THE ADJACENT AREA TO MAINTAIN A UNIFORM APPEARANCE.
- ALL ELECTRICAL POWER IN WORK AREAS TO BE DISCONNECTED AND MADE SAFE BY A LICENSED ELECTRICIAN PRIOR TO START OF DEMOLITION. CONTRACTOR TO PROVIDE TEMPORARY LIGHTS/POWER AND LIGHTING THROUGHOUT THE COURSE OF THE PROJECT. PROVIDE TEMPORARY LIFE SAFETY SYSTEMS AS REQUIRED BY LOCAL AHJ.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES AS WELL AS ANY REGULATORY AGENCIES INCLUDING OSHA.

B5	GENERAL DEMOLITION NOTES
A101	SCALE: NO SCALE

**DEMOLITION KEYED NOTES:**

- EXISTING DOOR TO BE REMOVED. TYPICAL @ ALL DASHED DOORS.
- EXISTING STOREFRONT SYSTEM TO BE REMOVED.
- EXISTING WALL TO BE DEMOLISHED
- EXISTING STAIR + RAILING TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED. EXISTING OPENING TO REMAIN. TYPICAL @ ALL DASHED WINDOWS.
- EXISTING CEILING AND LIGHT FIXTURES TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING PLUMBING FIXTURES, VANITIES + PARTITIONS TO BE REMOVED.
- EXISTING STAIR TO REMAIN
- EXISTING FLOORING TO BE REMOVED + PREPPED FOR NEW
- EXISTING ELEVATORS TO REMAIN
- EXISTING GREEN ROOF TO REMAIN
- EXISTING ROOF TOP UNITS TO BE RELOCATED TO TOP OF STAIR TOWER ABOVE
- EXISTING PTAC UNITS TO BE REMOVED AND INFILLED

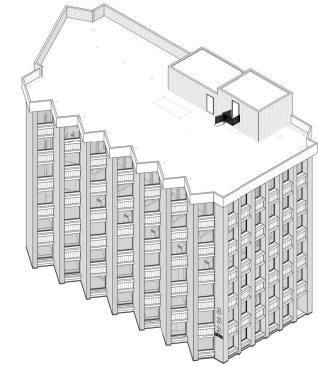
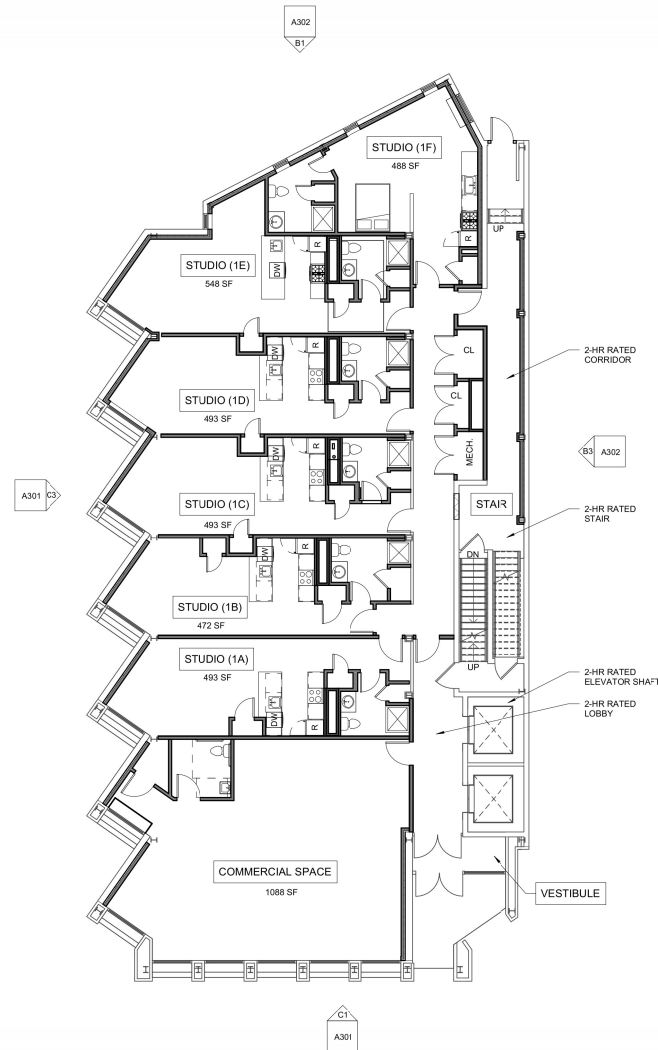
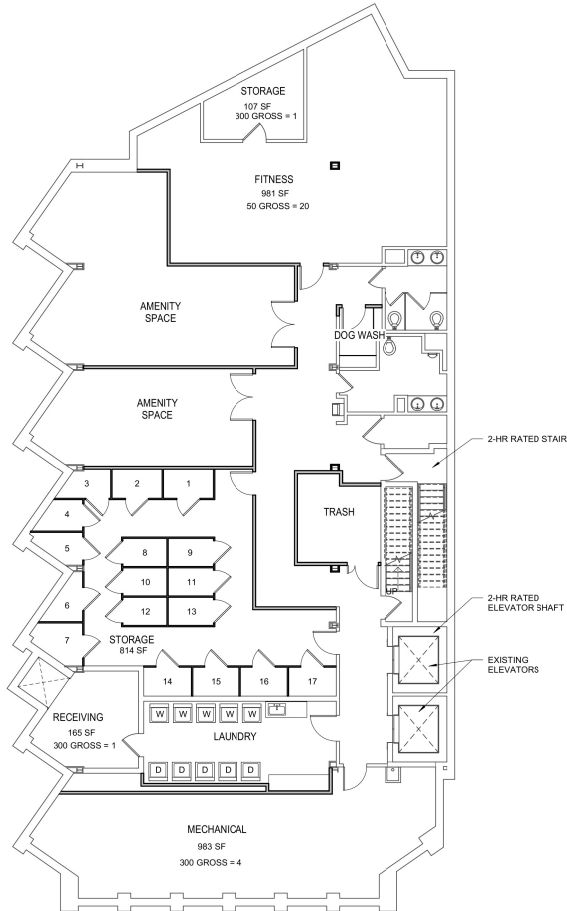


C1 TYPICAL FLOOR PLAN (2-6) DEMOLITION PLAN  
A102 SCALE: 1/8" = 1'-0"

C3 PENTHOUSE DEMOLITION  
A102 SCALE: 1/8" = 1'-0"

C5 DEMOLITION KEY NOTES  
A101 SCALE: NO SCALE

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A5 3D PERSPECTIVE  
 A201 SCALE:

NEW CONSTRUCTION KEYED NOTES:

- 1 ALL CLOSETS TO RECEIVE ROD & SHELF.
- 2 NEW STAIR DOOR REMOTENESS 44" FROM OTHER SCISSOR STAIR DOOR
- 3 NEW PANEL + INFILL WITH INSULATION (TYP) AT ALL EXISTING PTAC UNITS

GENERAL PLAN NOTES:

1. SEE A302 FOR PARTITION TYPES.
2. ALL WALLS NOT DESIGNATED WITH WALL TYPE ARE TYPE 1.
3. ALL CORRIDOR WALLS ARE TYPE 2.
4. ALL RESIDENTIAL UNIT DEMISE WALLS ARE TYPE 4.
5. PROVIDE BLOCKING IN WALLS AT ALL ACCESSORIES.



C1 BASEMENT FLOOR PLAN  
 A201 SCALE: 1/8" = 1'-0"

C3 GROUND FLOOR PLAN  
 A201 SCALE: 1/8" = 1'-0"

C5 NEW CONSTRUCTION KEY NOTES  
 A201 SCALE: 1/4" = 1'-0"



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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**BASEMENT & FIRST FLOOR PLANS**

Project Status DD

Date 03/24/2026

Project Number 25079

Drawn By IPV

Checked By JRP

**A201**



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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**TYPICAL APARTMENT + PENTHOUSE PLAN**

Project Status DD

Date 03/24/2026

Project Number 25079

Drawn By IPV

Checked By JRP

**A202**



A5	
A202	

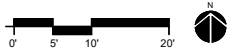
B5	
A202	

**NEW CONSTRUCTION KEYED NOTES:**

- 1 ALL CLOSETS TO RECEIVE ROD & SHELF.
- 2 NEW STAIR DOOR REMOTENESS 44" FROM OTHER SCISSOR STAIR DOOR
- 3 NEW PANEL + INFILL WITH INSULATION (TYP) AT ALL EXISTING PTAC UNITS

**GENERAL PLAN NOTES:**

1. SEE A002 FOR PARTITION TYPES.
2. ALL WALLS NOT DESIGNATED WITH WALL TYPE ARE TYPE 1.
3. ALL CORRIDOR WALLS ARE TYPE 2.
4. ALL RESIDENTIAL UNIT DEMISE WALLS ARE TYPE 4.
5. PROVIDE BLOCKING IN WALLS AT ALL ACCESSORIES.



C1	TYPICAL FLOOR PLAN (2-6)	C3	PENTHOUSE / ROOF PLAN	C5	NEW CONSTRUCTION KEY NOTES
A202	SCALE: 1/8" = 1'-0"	A202	SCALE: 1/8" = 1'-0"	A202	SCALE: 1/4" = 1'-0"

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C1 A401	C2 A401	C3 A401	C4 A401	C5 A401
	ENLARGED APARTMENT PLAN - A SCALE: 1/4" = 1'-0"			KEYPLAN SCALE: NTS

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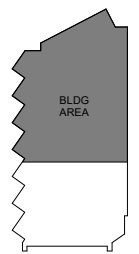
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REVISIONS		
NO.	DESCRIPTION	DATE

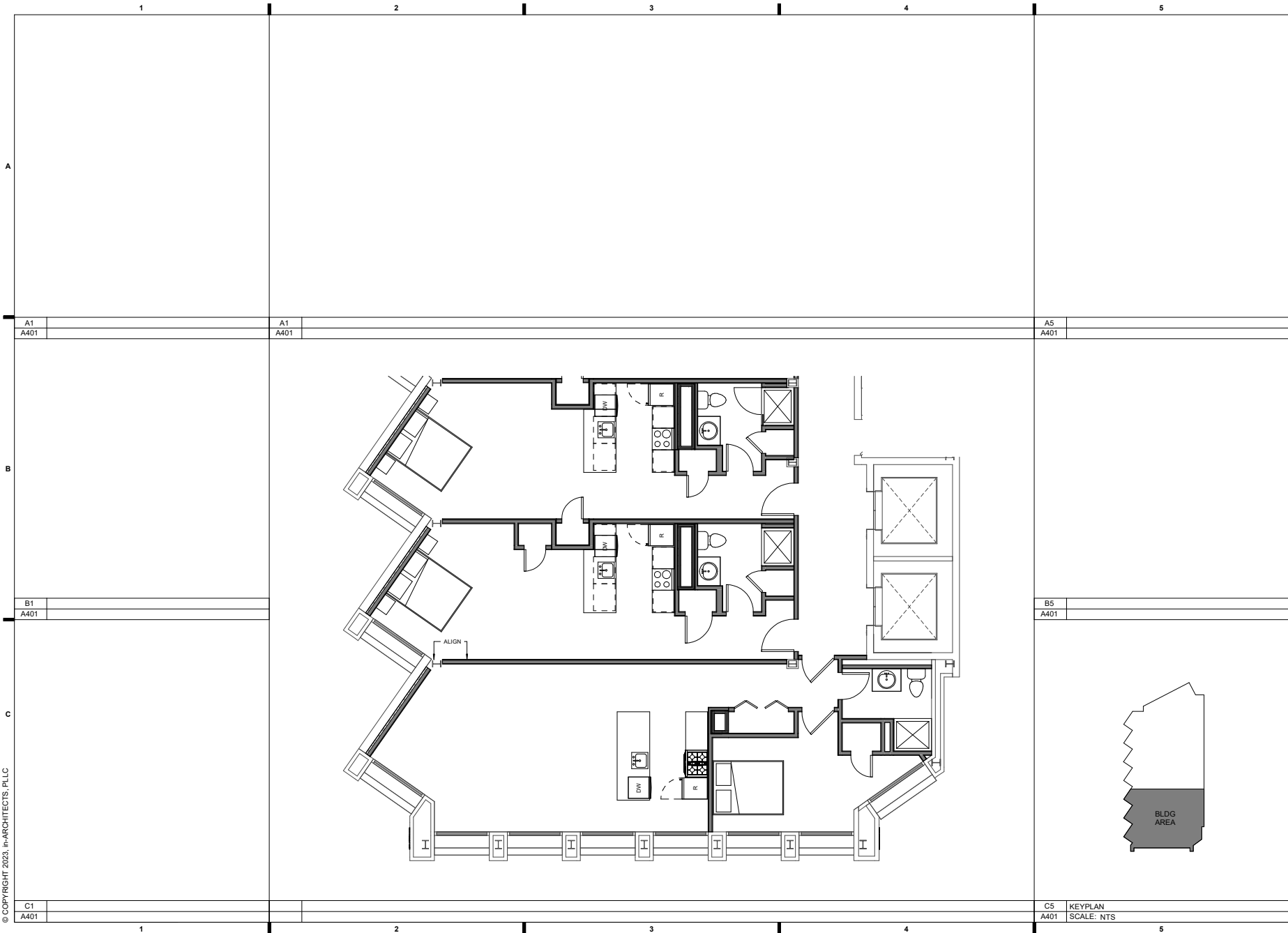
**ENLARGED PLAN**

Project Status: DD  
 Date: 03/24/2026  
 Project Number: 25079  
 Drawn By: IPV  
 Checked By: JRP

**A401**



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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**ENLARGED PLAN**

Project Status DD

Date 03/24/2026

Project Number 25079

Drawn By JPV

Checked By JRP

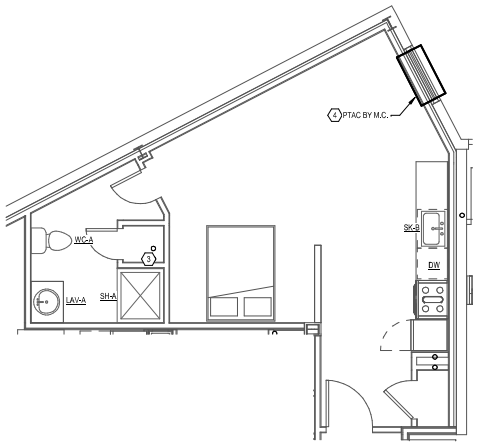
**A402**

C5  
 A401  
 KEYPLAN  
 SCALE: NTS

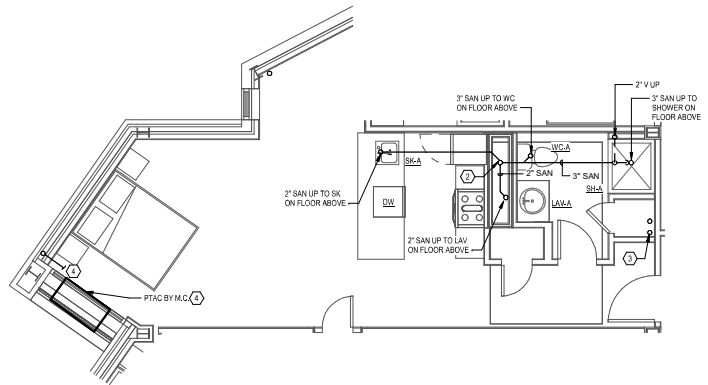


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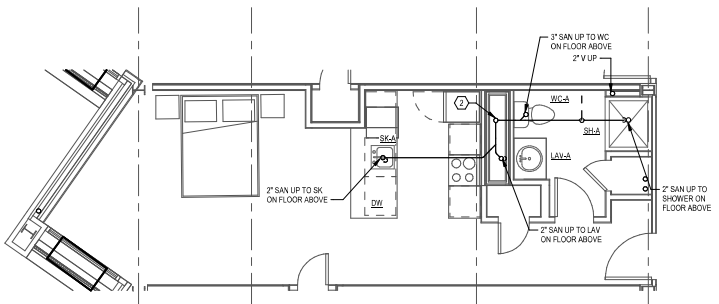
- DRAWING KEYNOTES:** ☒
- 3/4" CONDENSATE PIPING FROM PTAC UNIT ON FLOOR ABOVE.
  - 4" SAN RISER UP AND DOWN, REFER TO P-501 FOR RISER SCHEDULE.
  - 1-1/2" CW RISER UP AND DOWN, PROVIDE 3/4" TAP W/ SHUT-OFF VALVE TO APARTMENTS CW PEX MANIFOLD, REFER TO PEX MANIFOLD DETAIL ON PAGE 1.
  - EXTEND 3/4" CONDENSATE TO NEAREST RISER, REFER TO OVERALL PLANS FOR RISER LOCATIONS.



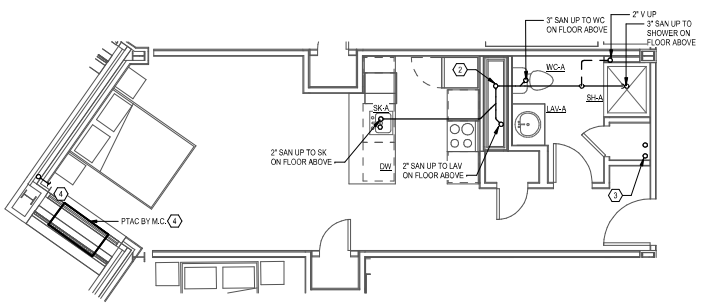
1 ENLARGED FIRST FLOOR STUDIO - PLUMBING  
1/4" = 1'-0"



2 ENLARGED FIRST FLOOR STUDIO- PLUMBING  
1/4" = 1'-0"



3 FIRST FLOOR PLAN - PLUMBING - Callout 1  
1/4" = 1'-0"



4 ENLARGED TYPICAL STUDIO - PLUMBING  
1/4" = 1'-0"

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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**ENLARGED PLANS**

Project Status	SCHEMATIC
Date	03/13/2026
Project Number	22096
Drawn By	ERV
Checked By	TJM

**P-401**

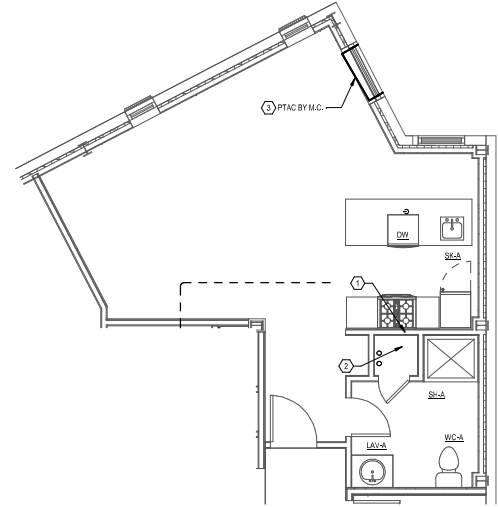
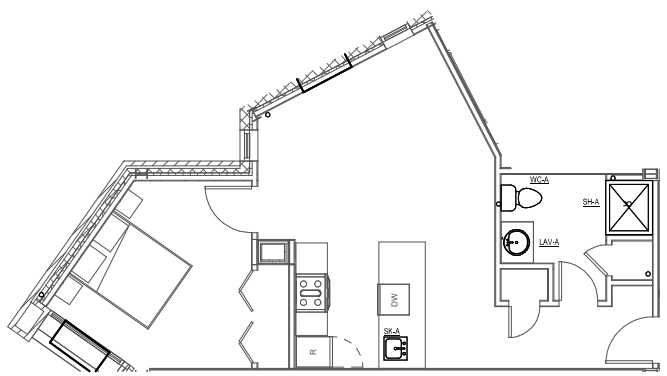
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1 2 3 4 5

A  
B  
C

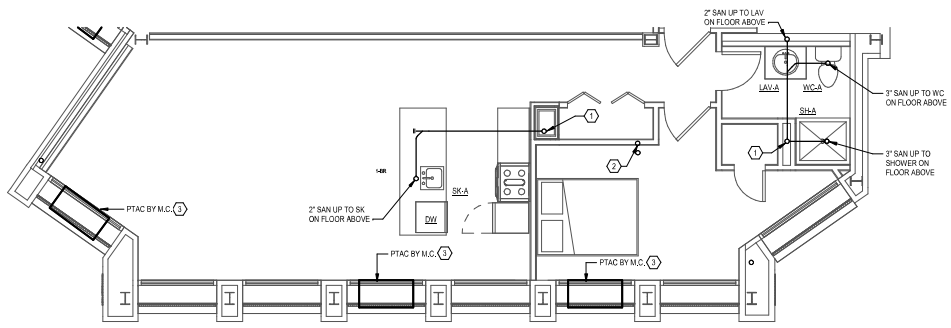
**DRAWING KEYNOTES:** (V)

- 4" SAN RISER DOWN, REFER TO P-501 FOR RISER DIAGRAM.
- 1/2" CW RISER UP AND DOWN, PROVIDE 3/4" TAP IN SHUT-OFF VALVE TO APARTMENTS ON THE MANIFOLD. REFER TO RCM MANIFOLD DETAIL ON P-501.
- EXTEND 3/4" CONDENSATE TO NEAREST RISER, REFER TO OVERALL PLANS FOR RISER LOCATIONS.



**1 ENLARGED TYPICAL 1-BR UNIT (FLOORS 2-6) - PLUMBING**  
1/4" = 1'-0"

**2 ENLARGED TYPICAL 1-BR UNIT (UPPER FLOORS) - PLUMBING**  
3/8" = 1'-0"



**3 ENLARGED TYPICAL 1-BR UNIT - PLUMBING**  
1/4" = 1'-0"

1 2 3 4 5

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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

**ENLARGED PLANS**

Project Status SCHEMATIC  
Date 03/13/2026  
Project Number 22096  
Drawn By ERV  
Checked By T.J.M

**P-402**



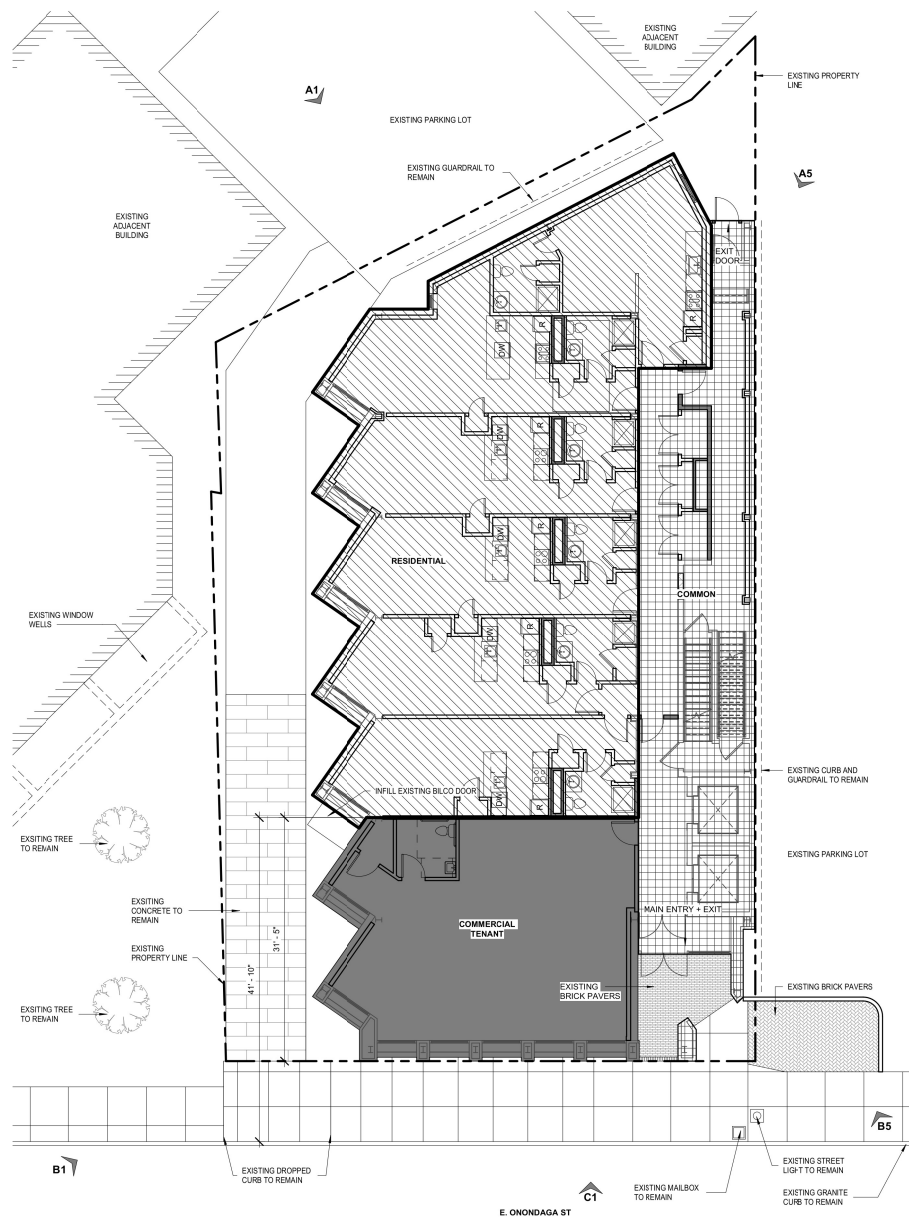
A1  
A004 EXISTING PHOTO - REAR  
SCALE: NTS



B1  
A004 EXISTING PHOTO - FRONT LEFT  
SCALE: NTS



C1  
A004 EXISTING PHOTO - FRONT  
SCALE: NTS



C2  
A004 SITE PLAN  
SCALE: 1/8" = 1'-0"



A5  
A004 EXISTING PHOTO - SIDE VIEW  
SCALE: NTS



B5  
A004 EXISTING PHOTO - FRONT ENTRANCE  
SCALE: NTS



**ARCHITECTS**  
239 E. Water Street - 2nd Fl.  
Syracuse, New York 13202  
www.in-ARCHITECTS.com

RENOVATIONS TO:  
**MONROE BUILDING**  
333 EAST ONONDAGA STREET  
SYRACUSE, NEW YORK

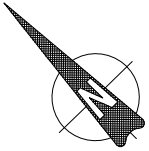
IT IS THE VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN FEW IN ANY WAY IF AN FEW BEARING THE SEAL OF AN ARCHITECT. IN ALL CASES, THE ALTERING ARCHITECT SHALL AFFIX TO THE FEW THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE

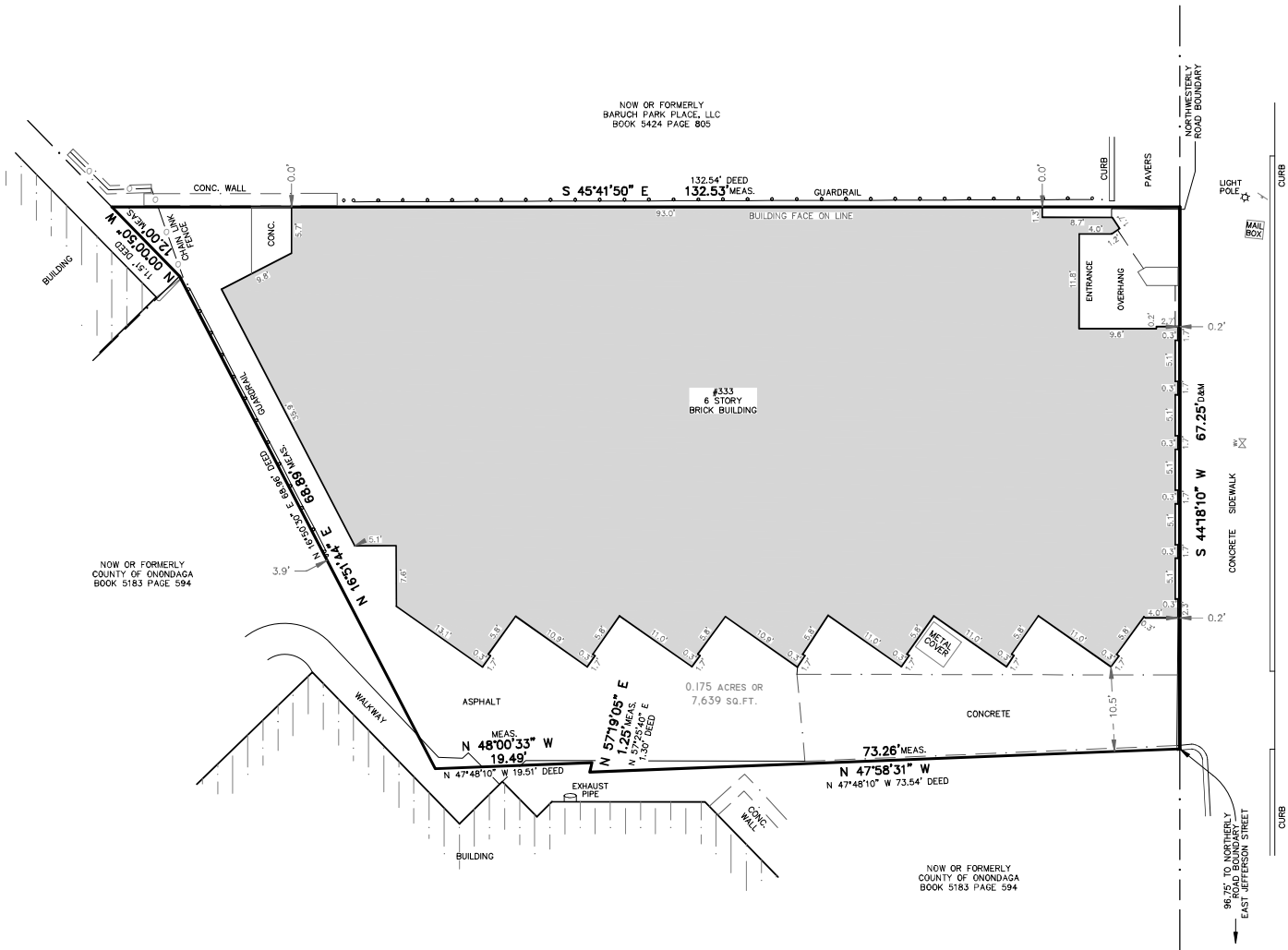
**SITE PLAN**

Project Status	DD
Date	03/24/2026
Project Number	25079
Drawn By	IPV
Checked By	JRP

**A004**



NOW OR FORMERLY  
SYRACUSE INDUSTRIAL  
DEVELOPMENT AGENCY



**EAST ONONDAGA STREET**

Only survey maps with the Land Surveyor's embossed seal are genuine true and correct copies of the surveyor's original work and opinion.  
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.  
Certifications indicated hereon shall apply only to the persons for whom this survey was performed and on their behalf to the title insurance company governing agency and lending institution and to the assignees of the lending institution and/or subsequent owners.  
This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain insurance for any subsequent or future grantees.  
Survey prepared without the benefit of an abstract.  
Location surveys do not include the staking of the property corners except as shown.

No.	DATE	DESCRIPTION	BY

**LEHR**  
LAND SURVEYORS D.P.C.

116 SALINA STREET - SUITE 6  
LIVERPOOL, NEW YORK 13088  
315-451-3333  
info@lehrandsurveyors.com

I HEREBY CERTIFY THAT THIS IS AN ACCURATE MAP MADE FROM AN ACTUAL SURVEY.

*William J. Hadcock*

WILLIAM J. HADCOCK  
LICENSED LAND SURVEYOR  
NYSL: 050817

LOCATION SURVEY ON LOT No.15 AND PART OF LOT A, BLOCK 113, CITY OF SYRACUSE			
KNOWN AS No.333 EAST ONONDAGA STREET, CITY OF SYRACUSE, COUNTY OF ONONDAGA, NEW YORK			
FIELD DATE: 02/16/2024	MAP DATE: 02/19/2024	SCALE: 1"=10'	DRAWN BY: WJH
REVISIONS:			DRAWING No. 24-B-20

# Short Environmental Assessment Form

## Part 1 - Project Information


### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Monroe Building Renovations			
Project Location (describe, and attach a location map): 333 East Onondaga Street, Syracuse, NY 13202			
Brief Description of Proposed Action: Proposed project includes interior building renovations, minor exterior building renovations, and miscellaneous site improvements. Site improvements include the installation of bicycle racks, (1) tree pit, fencing and a new gas service to the building which requires removal and replacement of concrete pavement. A use variance is required for this project.			
Name of Applicant or Sponsor: High Tide Capital LLC		Telephone:	
		E-Mail:	
Address: 210 Exchange Street			
City/PO: Bangor		State: Maine	Zip Code: 04401
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Board of Zoning Appeals (BZA), City Planning Commission (CPC), State Historic Preservation Office		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .175 acres			
b. Total acreage to be physically disturbed? _____ .005 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .175 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? <b>use variance required</b>	NO	YES	N/A
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Peregrine Falcon	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
Existing storm drainage patterns to remain, no additional storm water discharge. _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
No spills, remediation or bulk storage recorded on project site. _____		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Joseph Piraino</u> Date: <u>03/27/2026</u>		
Signature: <u></u> Title: <u>Principal Architect</u>		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Peregrine Falcon
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

Project: V-2026-3 & MaSPR-2026-17

Date: 4/23/2026

**Short Environmental Assessment Form  
Part 2 - Impact Assessment**

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project:	V-2026-3 & MaSPR-2026-17
Date:	4/23/202

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse Board of Zoning Appeals	4/23/2026
Name of Lead Agency	Date
Honora Spillane	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



J. Ryan McMahon, II  
COUNTY EXECUTIVE

# Onondaga County Planning Board

## RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: 4/22/2026

OCPB Case # Z-26-98

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 I, m and n, has considered and reviewed the referral for a USE VARIANCE from the City of Syracuse Zoning Administration at the request of Joe Piriano, High Tide Capital, Rasselas Trust for the property located at 333 E Onondaga Street; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of the Carnegie Building, the County Courthouse, the County Office Building, the Civic Center, the Sheriff's Headquarters, the Criminal Courthouse, the Public Safety Building and the Justice Center, all county-owned facilities; and
- WHEREAS, the applicant is requesting a use variance to establish 6 dwelling units on the ground floor of an exiting office building on a 0.128-acre parcel in a Central Business (MX5) zoning district; and
- WHEREAS, the proposed action is further summarized in the attached staff report and may be subject to additional county, state, and/or federal regulations, which may be cited in the staff report; the municipality and applicant are advised to contact the appropriate agencies to ensure these regulations are met, as applicable, prior to, or as a condition of, municipal approval of the project; this is not an exhaustive list of permit requirements by the agencies, but is intended to represent some of the most common regulations; and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has determined that said referral will have no significant adverse inter-community or county-wide implications and may consequently be acted on solely by the referring board.

A handwritten signature in black ink, appearing to read "Martin E. Voss".

Martin E. Voss, Chairman  
Onondaga County Planning Board

For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

# ONONDAGA COUNTY PLANNING BOARD STAFF REPORT

APRIL 22 2026

Z-26-98

Case Number: Z-26-98

Keyword: Monroe Building

RelatedCases:

Applicant: Joe Piriano, High Tide Capital, Rasselas Trust

Referring Board: City of Syracuse Zoning Administration

Location: 333 E Onondaga Street

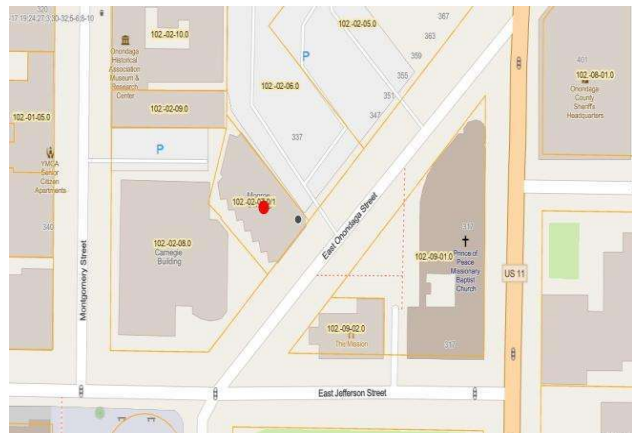
Type of Action: USE VARIANCE

Tax Map ID: 102.-02-07.0

**RECOMMENDATION: No Position**

## JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of the Carnegie Building, the County Courthouse, the County Office Building, the Civic Center, the Sheriff's Headquarters, the Criminal Courthouse, the Public Safety Building and the Justice Center, all county-owned facilities



## SUMMARY:

Use variance to establish six dwelling units on the first floor of existing office building



For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

**PROPOSAL:** the applicant is requesting a use variance to establish 6 dwelling units on the ground floor of an existing office building on a 0.128-acre parcel in a Central Business (MX5) zoning district

**STAFF REVIEW:**

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**Past Board Reviews:** No Position on a site plan referral (Z-24-43) to renovate an existing 6-story office building to keep office space on the first floor with 25 one-bedroom apartments to be constructed on floors 2 through 6.

---

**Location:** The site contains an existing 6-floor office building located in downtown Syracuse. The building comprises most of the parcel with no dedicated parking area. An access drive is located along the southwest parcel boundary.

The side of this building hosts a large-scale mural honoring Syracuse basketball.

---

**Project Detail:** Per the referral notice, the applicant is proposing six dwelling units to be located on the ground floor. Per regulations in the MX-5: High Density Residential Zone District, dwelling units on the ground floor are not permitted.

Per the Site Plan dated 3/26/26, exterior renovations include installing a sidewalk near the building's access driveway and to install perimeter fencing with a gate across the access driveway.

No changes are proposed to the exterior of the building.

Per the Basement & First Floor Plans dated 3/24/26, a 1,088 sf commercial space will be located at the front of the building, along the East Onondaga Street frontage, with six studio apartments comprising the remainder of the floor.

---

**Variances:** Per the Project Narrative dated 3/27/26, detailed justification to the Use Variance evaluation criteria:

1. Reasonable Return: The applicant has not been able to maintain full occupancy with only office-use/commercial tenants and the applicant requires residential uses to make the building financially viable.
2. Unique Hardship: The physical configuration causes some of the unique problems of the site including the small parcel size, preventing the site from having space for dumpster staging, commercial deliveries, signage, etc. Only the front space facing East Onondaga Street has enough access and visibility to be a commercial space and that space will be retained as a commercial space.
3. Use Variance Will Not Alter the Character of the Neighborhood: Residential uses in this location will increase the vibrancy of the neighborhood and residential uses are being added to multiple buildings in downtown Syracuse including the nearby Mizpah Building.
4. Hardship is Not Self-Created: The collapse of downtown's office market, "narrow geometry" of the site, and commercial-office design constraints along with the building's historic designation constraints are not self-created. As is, "the MX-5 commercial mandate, applied rigidly to this specific building on this specific parcel, produces an outcome that serves no one: a building that cannot be financed, cannot attract commercial tenants, and sits vacant for another decade. Ground-floor residential units, combined with a retained street-facing commercial space, is the most responsible and realistic path to putting this building back into productive use."

---

**Stormwater:** Per the Environmental Assessment Form (EAF) dated 3/27/26, "Existing storm

For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

drainage patterns to remain, no additional storm water discharge.”

---

<b>Drinking Water:</b>	The site is served by City of Syracuse drinking water. No changes to the existing infrastructure are proposed.
<b>Wastewater:</b>	<p>The site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plan service area. No changes to the existing infrastructure are proposed</p> <p>ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) may require capacity assurance due to a possible increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <a href="http://ongov.net/wep/connections.html">http://ongov.net/wep/connections.html</a></p>
<b>Historic Resources:</b>	<p>The site is within the Montgomery Street-Columbus Circle Historic District which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places. It's noted in the Project Narrative the applicant has filed a Part 1 Certification Application with the National Park Service and NY SHPO in March 2026 in connection with historic tax credit financing for the project.</p> <p>The site is located adjacent to the Columbus Circle Local Preservation District which may require review by the Syracuse Landmark Preservation Board (SLPB).</p> <p>ADVISORY NOTE: Projects using state or federal funding or utilizing state historic preservation tax credits are subject to review from the NYS Historic Preservation Office</p>
<b>(cont'd):</b>	The site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological site inventory (per EAF Mapper).
<b>Plants/Animals:</b>	The site may contain the peregrine falcon, or its associated habitat, which has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper).

**RECOMMENDATION: No Position**

For agency contacts and additional information about advisory notes, please visit: <http://ongov.net/planning/ocpbresources.html>

City of Syracuse

**Parcel History**

01/01/1900 - 04/17/2026

Tax Map #: 102.-02-07.0/1

Owners: James H Messenger, Rasselas Trust

Zoning: MX-5

Address	Date	Transaction	Transaction Type	Status	Description
333 Onondaga St E Condo One	07/13/16	Completed Complaint	Sewer Dept/Special Reqst	Completed	2016-19720   keys dropped in cb
333 Onondaga St E Condo One	03/27/17	Permit Application	Elevator	Issued	27860   Elevator modernization
333 Onondaga St E Condo One	11/28/17	Permit Application	Electric	Issued	30732   Electric for 1st Floor office dedicated outlets (3) and data ports (3); - Stewart Title Insurance Company
333 Onondaga St E Condo One	12/06/17	Inspection	Final Inspection	Pass	
333 Onondaga St E Condo One	12/07/17	Completed Complaint	Traffic Sign Req - General	Completed	2017-34041   the dpw posted a sign on the street in front of our private driveway stating: do not block driveway but now the sign is missing and we need a new sign to deter our driveway from being blocked by cars, we need this sign asap per caller
333 Onondaga St E Condo One	12/07/17	Completed Permit	Electric	Certificate Issued	30732   Electric for 1st Floor office dedicated outlets (3) and data ports (3); - Stewart Title Insurance Company   Certificate of Completion #30732
333 Onondaga St E Condo One	06/05/19	Inspection	Final Inspection	Pass	
333 Onondaga St E Condo One	06/05/19	Completed Permit	Elevator	Certificate Issued	27860   Elevator modernization   Certificate of Completion #27860
333 Onondaga St E Condo One	10/21/21	Inspection	Complaint Inspection	Fail	
333 Onondaga St E Condo One	10/21/21	Violation	SPCC - Section 27-73 (b) - Graffiti	Closed	
333 Onondaga St E Condo One	11/05/21	Inspection	Complaint Re-Inspection	In Progress	
333 Onondaga St E Condo One	11/23/21	Completed Complaint	Property Maintenance- Ext	Completed	2021-23122   Graffiti
333 Onondaga St E Condo One	11/23/21	Inspection	Complaint Re-Inspection	Pass	
333 Onondaga St E Condo One	01/26/22	Violation	2020 FCNYS- - 903.5 - Testing and maintenance	Closed	
333 Onondaga St E Condo One	01/26/22	Violation	SPCC - Section 27-43 (g) - Maintained System	Closed	
333 Onondaga St E Condo One	01/26/22	Violation	2020 PMCNYS - Section 704.1 - Inspection, testing, and maintenance	Closed	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
333 Onondaga St E Condo One	03/01/22	Completed Complaint	Sprinkler System	Completed	2022-00521   Failure to maintain the sprinkler system/ Correct identified deficiencies
333 Onondaga St E Condo One	03/25/22	Violation	2020 FCNYS- - 903.5 - Testing and maintenance	Closed	
333 Onondaga St E Condo One	03/25/22	Violation	2020 PMCNYS - Section 704.1 - Inspection, testing, and maintenance	Closed	
333 Onondaga St E Condo One	03/25/22	Violation	SPCC - Section 27-43 (g) - Maintained System	Closed	
333 Onondaga St E Condo One	11/14/22	Completed Complaint	Sprinkler System	Completed	2022-02178   Maintenace of Sprinkler System
333 Onondaga St E Condo One	02/15/24	Project	Major Site Plan Review	Closed	MaSPR-24-04   ***On hold until property owner figures out if they want condo structure. *** I have emailed Joseph Piraino on 3/18 and 4/2 regarding what his clients want to do about condo structure an no responce were given. Reonvation to an existing 6 story office building to change floor 2-6 into 5 one-bedroom apartments per floor. First floor will remain offices.
333 Onondaga St E Condo One	05/14/25	Violation	2020 FCNYS- - 907.8.5 - Inspection, testing and maintenance	Closed	
333 Onondaga St E Condo One	06/10/25	Completed Complaint	Fire Alarm	Completed	2025-03896   Fire alarm needs service

City of Syracuse

**Parcel History**

01/01/1900 - 04/17/2026  
 Tax Map #: 102.-02-07.0/2  
 Owners: Jeffrey DeRoberts  
 Zoning: MX-5

Address	Date	Transaction	Transaction Type	Status	Description
333 Onondaga St E Condo Two	07/20/16	Permit Application	Electric	Issued	24736   Electrical Waiting on elevator parts 10/5/16,waiting on cert. 7/27/18
333 Onondaga St E Condo Two	07/21/16	Inspection	Inspector Notification	In Progress	
333 Onondaga St E Condo Two	08/04/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	08/18/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	09/01/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	09/15/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	10/05/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	10/26/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	11/09/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	11/23/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	12/07/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	12/21/16	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	01/04/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	01/18/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	02/01/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	02/15/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	03/01/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	03/15/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	03/29/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	04/12/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	04/26/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	05/10/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	05/24/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	06/07/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	06/21/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	07/05/17	Inspection	Progress Inspection	In Progress	

City of Syracuse  
**Parcel History**

<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
333 Onondaga St E Condo Two	07/19/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	08/02/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	08/16/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	08/30/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	09/14/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	09/28/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	10/12/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	10/26/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	11/09/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	12/29/17	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	01/12/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	02/09/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	02/23/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	03/09/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	03/23/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	04/06/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	04/20/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	05/14/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	06/01/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	06/15/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	06/29/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	07/13/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	07/27/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	08/10/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	08/24/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	09/07/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	11/06/18	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	11/20/18	Inspection	Progress Inspection	In Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
333 Onondaga St E Condo Two	12/04/19	Closed Permit	Electric	Canceled	24736   Electrical Waiting on elevator parts 10/5/16,waiting on cert. 7/27/18
333 Onondaga St E Condo Two	10/31/24	Inspection	Complaint Inspection	Fail	
333 Onondaga St E Condo Two	10/31/24	Violation	Section 105.2 Building Permits	Closed	
333 Onondaga St E Condo Two	10/31/24	Violation	Section 105.2 Building Permits	Closed	
333 Onondaga St E Condo Two	10/31/24	Violation	2020 FCNYS- - 105.4 - Stop work orders	Closed	
333 Onondaga St E Condo Two	11/18/24	Inspection	Complaint Re-Inspection	In Progress	
333 Onondaga St E Condo Two	12/10/24	Inspection	Complaint Re-Inspection	In Progress	
333 Onondaga St E Condo Two	01/10/25	Inspection	Complaint Re-Inspection	In Progress	
333 Onondaga St E Condo Two	01/15/25	Permit Application	Com. Reno/Rem/Chg Occ	Issued	53212   int renovation of conference space
333 Onondaga St E Condo Two	02/06/25	Inspection	Complaint Re-Inspection	In Progress	
333 Onondaga St E Condo Two	03/03/25	Inspection	Complaint Re-Inspection	In Progress	
333 Onondaga St E Condo Two	03/27/25	Inspection	Complaint Re-Inspection	In Progress	
333 Onondaga St E Condo Two	04/17/25	Inspection	Complaint Re-Inspection	In Progress	
333 Onondaga St E Condo Two	04/28/25	Permit	Com. Reno/Rem/Chg Occ	Open	53212   int renovation of conference space   Expires 04/28/2026
333 Onondaga St E Condo Two	04/28/25	Inspection	Fire Inspector Notification	In Progress	
333 Onondaga St E Condo Two	04/28/25	Inspection	Inspector Notification	In Progress	
333 Onondaga St E Condo Two	04/30/25	Inspection	Complaint Re-Inspection	Pass	
333 Onondaga St E Condo Two	05/07/25	Completed Complaint	Property Maintenance-Ext	Completed	2024-08133   Interior Construction W/O Necessary Permits (Major Site Plan Review); Debris, Construction Materials, Sheetrock being put up. This is all occuring on the 2nd Floor of the Building.
333 Onondaga St E Condo Two	08/20/25	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	11/19/25	Inspection	Progress Inspection	In Progress	
333 Onondaga St E Condo Two	04/15/26	Inspection	Progress Inspection	In Progress	

## Parcel History

01/01/1900 - 04/17/2026  
Tax Map #: 102.-02-07.0/3  
Owners: Jeffrey DeRoberts  
Zoning: MX-5

Address	Date	Transaction	Transaction Type	Status	Description
333 Onondaga St E Condo Three	05/14/25	Violation	2020 FCNYS- - 907.8.5 - Inspection, testing and maintenance	Closed	
333 Onondaga St E Condo Three	06/10/25	Completed Complaint	Fire Alarm	Completed	2025-03892   Fire alarm needs service

City of Syracuse

**Parcel History**

01/01/1900 - 04/17/2026

Tax Map #: 102.-02-07.0/4

Owners: Jeffrey DeRoberts

Zoning: MX-5

<b>Address</b>	<b>Date</b>	<b>Transaction</b>	<b>Transaction Type</b>	<b>Status</b>	<b>Description</b>
333 Onondaga St E Condo Four	03/25/13	Permit Application	Electric	Issued	10546   SMARTWATT LIGHTING UPGRADE
333 Onondaga St E Condo Four	03/26/13	Inspection	Inspector Notification	Pass	
333 Onondaga St E Condo Four	04/11/13	Permit Application	Electric	Issued	10756   SMARTWATT LIGHTING UPGRADE
333 Onondaga St E Condo Four	04/12/13	Inspection	Inspector Notification	Pass	
333 Onondaga St E Condo Four	04/26/13	Inspection	Final Inspection	Pass	
333 Onondaga St E Condo Four	04/29/13	Completed Permit	Electric	Certificate Issued	10546   SMARTWATT LIGHTING UPGRADE   Certificate of Completion #10546
333 Onondaga St E Condo Four	05/29/13	Inspection	Final Inspection	Pass	
333 Onondaga St E Condo Four	05/31/13	Completed Permit	Electric	Certificate Issued	10756   SMARTWATT LIGHTING UPGRADE   Certificate of Completion #10756

## Parcel History

01/01/1900 - 04/17/2026

Tax Map #: 102.-02-07.0/5

Owners: Dirk J Oudemool

Zoning: MX-5

Address	Date	Transaction	Transaction Type	Status	Description
333 Onondaga St E Condo Five	12/17/13	Permit Application	Electric	Issued	13708   SMARTWATT LIGHTING UPGRADE
333 Onondaga St E Condo Five	12/17/13	Completed Permit	Electric	Certificate Issued	13708   SMARTWATT LIGHTING UPGRADE   Certificate of Completion #13708
333 Onondaga St E Condo Five	02/24/14	Inspection	Final Inspection	Pass	

City of Syracuse

**Parcel History**

01/01/1900 - 04/17/2026  
 Tax Map #: 102.-02-07.0/6  
 Owners: Dirk J Oudemool  
 Zoning: MX-5

Address	Date	Transaction	Transaction Type	Status	Description
333 Onondaga St E Condo Six	07/19/12	Permit Application	Electric	Issued	07514   Other work includes 33 retro kits and 12 r.l.r.b.
333 Onondaga St E Condo Six	07/20/12	Inspection	Inspector Notification	Pass	
333 Onondaga St E Condo Six	09/07/12	Inspection	Final Inspection	Pass	
333 Onondaga St E Condo Six	09/11/12	Completed Permit	Electric	Certificate Issued	07514   Other work includes 33 retro kits and 12 r.l.r.b.   Certificate of Completion #07514
333 Onondaga St E Condo Six	05/14/25	Violation	2020 FCNYS- - 907.8.5 - Inspection, testing and maintenance	Closed	
333 Onondaga St E Condo Six	06/10/25	Completed Complaint	Fire Alarm	Completed	2025-03893   Fire alarm needs service

OFFICE OF ZONING ADMINISTRATION

Sharon F. Owens, Mayor

MaSPR-2026-17

Approval	Status	Reviewer	Comments
Zoning Planner	Waiting on Board	Noah Garcia	No concerns, see Staff Report
Planning Commission	In Review		
DPW Traffic Control	Conditionally Approved	Charles Gafrancesco	MaSPR-2026-17 Conditionally Approved DPW Traffic Control Review complete 4-24-26 No concern with proposed project. <ul style="list-style-type: none"><li>• Applicant must submit MUTCD compliant work zone traffic control (WZTC) plan during permit process if the nature of site work will affect pedestrian or vehicular traffic in the public ROW.</li></ul>
DPW Transportation	Conditionally Approved	Neil Burke	No major concern with project as proposed. Curb-cut on Onondaga St E is shown as being replaced with full-height, do not deviate from plans. Guide rail restricting cross-access with adjoining parcel to the north is shown as being removed, the use for the westerly alley should be clarified/noted on the plans as this is not a parking area, it is unclear if there is a programmed use.

Eng. Mapping-Zoning	Approved	Ray Wills	Work on site should have no impact on Mapping Division assets in the area. Any work in the ROW would require separate review and permits. Any additional permits should be obtained prior to work.
Engineering Design and Construction			
Engineering-SWPPP			
DPW Sanitation and Sewers	Conditionally Approved	Vinny Esposito	Locate all existing utilities and protect. DSNY
Landmark Preservation	Internal Review Complete	Kate Auwaerter	No concerns with plans as provided
Parks and Forestry			