

Roadmap

For Housing Visions Headquarters Project

The applicant will present three companion at this meeting, the Major Site Plan Reviews, MaSPR-2026-14 & 16, the Resubdivision R-2026-27

At this meeting, CPC will review the Major Plan Reviews and Resubdivision applications. As BZA Officially approved the Area Variance application V-2026-5 on June 4, 2026.

All City Reviewing Departments have completed their technical reviews and have Conditional approval/ approved for this project.

The Planning Commission will convene to review and finalize the Major Site Plan Review and the Resubdivision and render its decision for this project.

The applications will be heard in the following order:

MaSPR-2026-14 – Major Site Plan Review - Office building

MaSPR-2026-16 – Major Site Plan Review - Mixed use building

R-2026-27 – Resubdivision



CITY OF SYRACUSE, MAYOR SHARON F. OWENS
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>MaSPR-2026-14</u>	<u>Staff Report – June 8, 2026</u>
Application Type:	Major Site Plan Review
Project Address:	1201 Fayette St E & Walnut Ave, 13210 (Tax Map ID: 030.-21-01.1)
Summary of Proposed Action:	<p>The applicant intends to establish a structure is a 2-story commercial building with a footprint of 13,500 SF.</p> <p>The offices units will occupy the building from the ground floor to the second floor.</p> <p>The Office unit type distribution: Ground floor: 19 Offices, 2 Meeting Rooms, 2 Training Rooms Second floor: 28 Offices, 3 Meeting Rooms. Total gross floor area: 25,326 SF</p> <p>Site changes include reconfiguring 54 on-site off-street parking spaces: 34 parking spaces on 1201 E Fayette St., and 20 parking spaces will be designated on 210 Pine St. Provision of new landscaping and screening improvements.</p> <p>Proposed site area: 1.107 Acres / 48221 SF</p>
Owner/Applicant	Housing Visions Unlimited, Inc (Owner) Andrew Burns, Passero Associates (Applicant & Representative)
Existing Zone District:	Urban Corn (MX-4) Zone District
Surrounding Zone Districts:	The neighboring properties to the east, west, north and south are MX-4 Zone District.
Companion Application(s)	R-2026-27 Resubdivision of two lots to two new lots (1201 E Fayette ST. and 210 Pine St.) MaSPR-2026-16 Construct a 5-story mixed-use building. V-2026-5 Area Variance to seek relief from the minimum 3-story requirement. Approved 6/4/2026
Scope of Work:	<p><u>Exterior work:</u></p> <ol style="list-style-type: none"> (1) Completely demolish of the existing building down to foundation level. (2) Construction of the new commercial building with 13500 SF footprint with two story in a 1.107 acres total lot and 64.70% lot coverage. (3) Construction of new 54 space striped parking area with 3 accessible spaces. (4) Screening of service areas (trash, mechanical delivery). (5) Installation of site lighting meeting cutoff requirements. (6) Planting grass, shrubs and trees along the side and rear setbacks to provide natural buffers between adjacent properties and the new commercial building and parking lot. <p><u>Interior work:</u></p> <ol style="list-style-type: none"> (1) Building of 2 floors 13500 SF commercial footprint used, total 64 offices rooms with gross floor area 25,326 SF. (2) All interior corridors and common areas designed to meet ADA accessibility and NYS Fire Prevention codes.

Facts on Project:

Existing Conditions

- One story building to be demolished.

Nonconformities

- No nonconformities exist on the site or in the proposed new lot and structure.

Dimensional Standards

- The existing lot meets all Dimensional standards of the MX-4 Zone District.
- The placement of the building meets all the setback dimensional standards.
- The building is not comply with the minimum three-story requirements for the MX-4 zone, according to Table 2.10 MX-4 Urban Core Zone District.
- Combined with the site improvements, the building footprint contributes to a total coverage of 64.70 %, significantly improving the site's previous 100% impervious condition.

Use Specific Standards

- N/A

Local Land Use and Residential Compatibility

- The site is Urban Core Zone District (MX-4), where the commercial use types including "Office", "Dwelling, Multi-units" are permitted by right, which reinforce the intent of mixed-use development. The surrounding land uses are public health institutions, commercial buildings, and medium to high density residential housing. The proposed uses will be similar to the existing uses and compatible to the neighborhood.

Off-Street Parking and Loading

- The office building is served by the shared central parking lot. Specific spaces near the Western and Northern entrances are designated for office staff and visitors.
- The primary access to the office building is via the Northern curb cut on East Washington Street, providing a direct route for employees and avoiding the high-traffic intersection of E. Fayette Street and Pine Street.
- Mechanical equipment for the office building is localized on the Western side of the structure, screened by landscaping and architectural features to minimize visibility from the public Right-of-Way.
- The project includes the restoration of curbs along the North and West perimeters, preventing the informal "drive-over" parking that previously characterized the vacant lot.

Landscaping, Buffering, and Screening

- Along the Western boundary (Walnut St), a landscape buffer consisting of Spring Snow Crabapples and Double Play Red Spirea is proposed to soften the transition between the office use and the public street.
- Landscaped islands to the East and South of the office building use Appalachian Red Eastern Redbuds to screen the parking area from the office windows.

Site, Building Design, and Exterior Lighting

- The 2-story office building utilizes modern materials that complement the adjacent larger 5-story mixed-use building while maintaining its own identity as a corporate headquarters.
- Lighting for the office building is provided by building-mounted LED fixtures and parking lot poles. All fixtures are Full Cut-off, ensuring that light is focused downward on entrances and paths, preventing glare for office employees or neighboring properties.

Signage

- Any proposed signage requires separate building permits subject to review by the Zoning Administration, Central Permit Office, and Preservation Planner if applicable.

Historic Preservation

- This property is not on the City’s Historic Properties list and is not required by the Landmark Preservation Board.

Additional Standards, Building Placement, and Transparency

- The façade design for the office building complies with the MX-4 standards, providing at least 20% transparency on the second floor and enhanced glazing on the ground floor to maintain a professional and open street presence.
- The proposed office building is compatible with the surrounding commercial and public health institutions. The placement of main entrance at the North and west of the building keeps the business operations separated from the high-density residential activity of the 5-story building to the Southeast.

Major Site Plan Approval Criteria

Consistency with the General Purpose and Intent of the Ordinance:

The proposed 2-story Commercial building at 1201 E. Fayette St. has been evaluated based on the approval criteria set forth in the City of Syracuse Zoning Ordinance. This building supports the Syracuse Comprehensive Plan 2040 by providing office space for a local non-profit (Housing Visions), ensuring that administrative jobs remain within the city's urban core.

Consistency with Dimensional & Design Development Standard of Zoning Ordinance:

The project meets all applicable dimensional standards for the MX-4 Zone District. While seeking an area variance to grant the building height (2 stories). The building meets other dimensional & design standards, which are consistent with the high-density requirements of the Urban Core. The project successfully reduces the overall lot coverage to 64.70%, which is significantly below the 95% maximum allowable limit, creating more space for managed green areas and infrastructure.

Consistency with the Comprehensive Plan and Other Adopted City Policies and Plans:

The proposed new build building is consistent with the Comprehensive Plan and adopted City policies by supporting reinvestment in removing the vacant building for better development.

Staff Analysis:

	The project supports the Syracuse Comprehensive Plan 2040 by promoting transit-supportive development and reinvesting in the East Fayette corridor. The focus on commercial space directly addresses the city’s critical need for quality, accessible housing near downtown employment hubs and public health institutions.
Staff Recommendation:	Staff recommend approving this project.
Recommend conditions if approved:	<ol style="list-style-type: none"> 1. The applicant shall comply with all general conditions of the City of Syracuse Site Plan Approval. 2. Full-height curbing must be installed along the North and West frontages to prevent any vehicle encroachment onto the public sidewalk. 3. Snow storage shall be maintained on-site in the designated area and shall not encroach into the public right-of-way or adjacent properties. 4. The applicant shall obtain a shared easement for the shared driveway and parking access for two parcels at 1201 E Fayette St(to be 211 Walnut Ave) and 210 Pine St (to be 1201 E Fayette ST). The easement shall be filed successfully at the Onondaga County Clerk's Office. 5. Bike parking should be supplied, utilizing staple-style (no wave-style) racks in conspicuous and well-lit areas near main entrances.
Zoning Procedural History:	N/A
Summary of Zoning History:	No Zoning History is available; the existing commercial office was built in 1986.
Code Enforcement History:	See attached Code Enforcement History
Zoning Violations:	No Zoning Violation per BZA approved Area Variance V-2026-5 on 6/4/2026
Summary of Changes:	This is not a continued application.
Property Characteristics:	<p><u>Existing property characteristics</u> 1201 Fayette St. E The subject property at 1201 Fayette St. E is a regularly shaped parcel with a lot size of 110,947 SF (2.547 Acres). The property has three frontages with 420 FT of frontage on East Fayette St. along the southern boundary. The northern property boundary runs along East Water St. for 420 FT. The eastern boundary is shared with 210 Pine St. for 264 FT and western property line runs along Walnut Ave. for 264 FT.</p> <p><u>Proposed property characteristics after subdivisions</u> R-A The proposed lot R-A will be known as 211 Walnut Avenue, will be a regularly shaped parcel with a lot size of 48,237 SF (1.107 Acres) The property will have one street frontage with 264 FT of frontage on Walnut Ave. on the western boundary. The northern property boundary runs along East Water St. for 182 FT. The eastern boundary is shared with lot R-B for 264 FT and the southern property boundary runs along East Fayette St. for 182 FT.</p> <p>The subjected property is used for two story office building.</p>
SEQR Determination:	Pursuant to the 6 NYCRR §617.4 (iii), The project is a type I Action

**Onondaga County
Planning Board
Referral:**

Pursuant to GML §239-l, m and n, the proposal does not require review by the Onondaga County Planning Board.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review Application
- Full Environmental Assessment Form (Housing Visions HQ FEAF)
- Site Plan Package (HQ Civil Plans) (Sheet C101, C-102, C-103, C-104, C-105, C-106, C-501) Proposed Mixed used Multi Dwelling Units, 1201 E Fayette street, Onondaga County, City of Syracuse, New York; 13210 Drawn by Passero Associates; Dated 03/18/2026; Scale: As shown
- Floor Plan Layout (Sheet, 00) Proposed muti dwelling units, 1201 E Fayette street, Onondaga County, City of Syracuse, New York; 13210 Drawn by Passero Associates; Dated 03/18/2026; Scale: As shown
- Elevation Plan Layout (Sheet 02, 02) proposed elevation of the 5-story building of 144 dwelling units. 1201 E Fayette street, Onondaga County, City of Syracuse, New York; 13210 Drawn by Passero Associates; Dated 03/18/2026; Scale: As shown

Attachments:

Major Site Plan Review Application
Code Enforcement History

Camino Comments from City Departments

Context Maps:

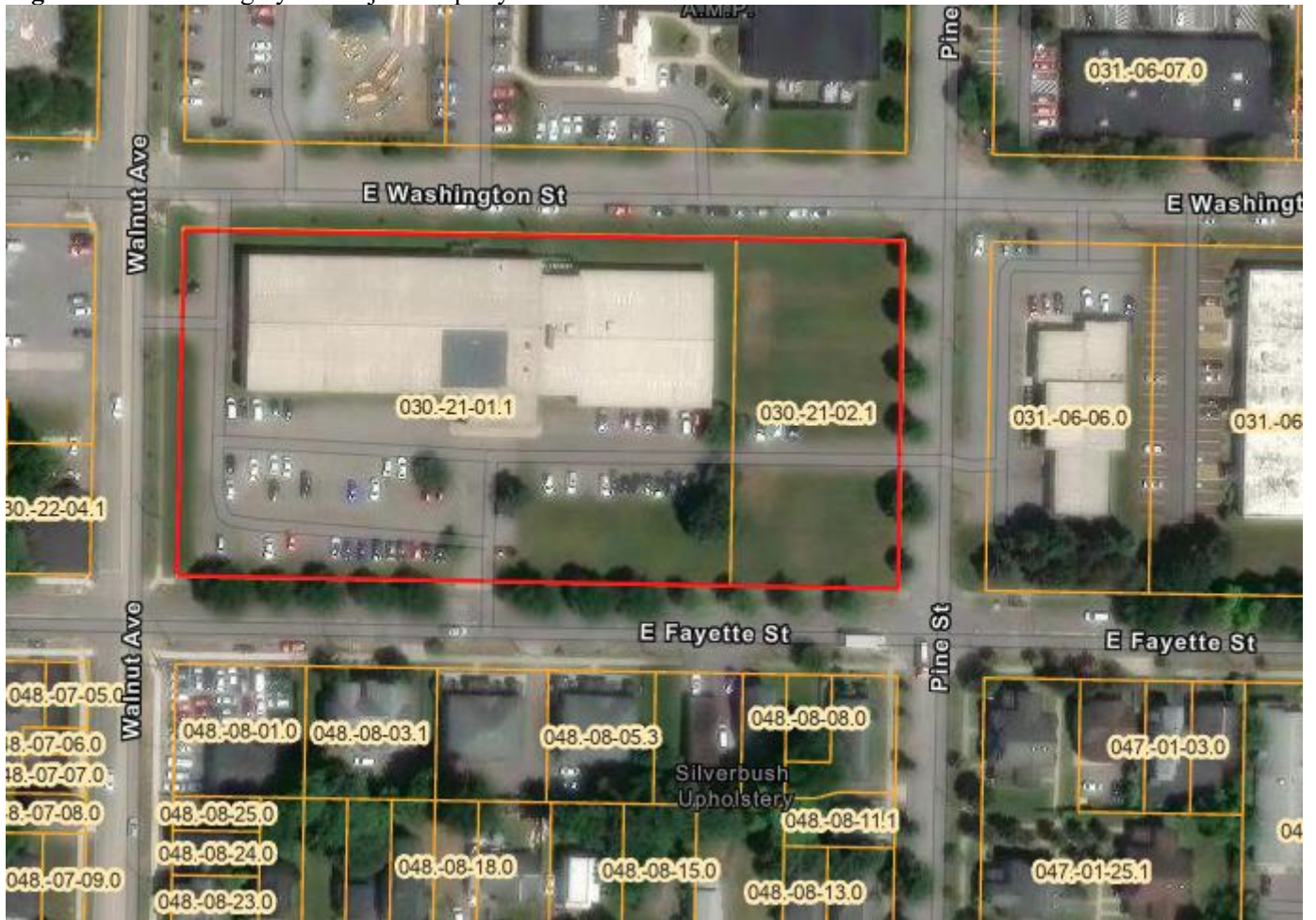
Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>



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<i>MaSPR-2026-16</i>	<i>Staff Report – June 8, 2026</i>
<i>Application Type:</i>	Major Site Plan Review
<i>Project Address:</i>	210 Pine St (Tax Map ID: 030.-21-02.1)
<i>Summary of Proposed Action:</i>	<p>The applicant intends to establish a five-story mixed-use building located at 210 Pine St. containing “Dwelling, Multi-units” land use type for 144 residential units and one “office” land use type.</p> <p>The residential units will occupy the building from the ground floor to the fifth floor. The commercial office unit will be located on the ground floor level of the building.</p> <p>The residential unit type distribution: Ground floor: 20 one-bedroom units and 4 two-bedroom units Second floor: 24 one-bedroom units and 6 two-bedroom units Third floor: 24 one-bedroom units and 6 two-bedroom units Fourth floor: 24 one-bedroom units and 6 two-bedroom units Fifth floor: 24 one-bedroom units and 6 two-bedroom units</p> <p>“Office” and “Dwelling, Multi-units.” land use types are permitted by right under the regulations of the MX-4 Zone District.</p> <p>Site changes include reconfiguring 98 on-site off-street parking spaces (78 spaces for the propose mixed-use building, and 20 spaces for the companion office project MaSPR-2026-14)</p> <p>Provision of new landscaping and screening improvements.</p> <p>Proposed site area: 2.215Acres / 96,479SF</p>
<i>Owner/Applicant</i>	Housing Visions Unlimited, Inc (Owner) Andrew Burns, Passero Associates (Applicant & Representative)
<i>Existing Zone District:</i>	Urban Corn (MX-4) Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the east, west, north and south are MX-4 Zone District.
<i>Companion Application(s)</i>	R-2026-27 Resub division of two lots to two new lots (1201 E Fayette ST. and 210 Pine St.) MaSPR-2026-14 Construct a two-story office building
<i>Scope of Work:</i>	<p><u>Exterior work:</u></p> <ol style="list-style-type: none"> (1) Complete demolish of the existing building down to foundation level. <ol style="list-style-type: none"> 1. Installation of ADA-compliant ramps and pedestrian routes. 2. Providing pedestrian connection from sidewalk to building entrance. (2) Construction of new 98 space striped parking are with 6 accessible spaces per zoning requirements. <ol style="list-style-type: none"> 1. Screening of service areas (trash, mechanical delivery). 2. Installation of site lighting meeting cutoff requirements. 3. Planting grass, shrubs and trees along the side and rear setbacks to provide natural buffers between adjacent properties and the new

	<p>commercial building and parking lot.</p> <p>4.</p> <p><u>Interior work:</u></p> <ol style="list-style-type: none">(1) Building of 5 floors 29000 SF footprint mixed used, total 144 dwelling units. consisting of 116 one-bedroom and 28 two-bedroom apartments.(2) Full elevator service serving all five floors.
<p><i>Facts on Project:</i></p>	<p><u>Existing Conditions</u></p> <ul style="list-style-type: none">- Vacant lot, serving as an accessory parking lot for the existing office building at 1201 E Fayette. <p><u>Nonconformities</u></p> <ul style="list-style-type: none">- No nonconformities exist on the site or in the proposed new lot and structure. <p><u>Dimensional Standards</u></p> <ul style="list-style-type: none">- The existing lot meets all Dimensional standards of the MX-4 Zone District.- The building footprint occupies 29,000 SF. By concentrating density in this specific footprint, the project successfully reduces total site coverage from 95% to 71%, leaving the Northern and Western portions of the lot available for improved circulation and green space. <p><u>Use Specific Standards</u></p> <ul style="list-style-type: none">- The proposed 144 units will be provided 100% for affordable housing under the Housing Vision program. <p><u>Local Land Use and Residential Compatibility</u></p> <ul style="list-style-type: none">- The site is Urban Core Zone District (MX-4), where the commercial use types including “Office”, “Dwelling, Multi-units” are permitted by right, which reinforce the intent of mixed-use development. The surrounding land uses are public health institutions, commercial buildings, and medium to high density residential housing. The proposed uses will be similar to the existing uses and compatible to the neighborhood. <p><u>Off-Street Parking and Loading</u></p> <ul style="list-style-type: none">- To protect the public Right-of-Way (R.O.W), the designated snow storage area is located along the Northern boundary of the site, adjacent to East Washington Street, ensuring that clearing operations do not obstruct the sidewalks on Pine Street or Fayette Streets.- The dedicated Trash Management room (1,352 SF) is integrated into the Northern side of the ground floor. This allows waste collection vehicles to enter from East Washington St and service the building within the private parking lot area without blocking public through-traffic.- The proposed parking lot design will provide a new vehicle circulation path, striped parking space, landscaped islands, better directing the vehicle inflow –

- The parking lot access (curb cut) will be situated at East Washington Street, which is the street that bears relatively lower traffic impacts compared to East Fayette St.

Landscaping, Buffering, and Screening

- The applicant has proposed a robust planting plan along the building's primary frontages. Along East Fayette Street (South) and Pine Street (East), a combination of Red Sunset Maples and ornamental shrubs like Miss Kim Korean Lilac will be installed. These plantings are strategically located within the front setback to soften the building's massing and enhance the pedestrian experience at the primary residential and commercial entrances.
- The parking area located to the North (facing E. Washington St) and West of the building will be screened using landscaped islands. These islands incorporate Appalachian Red Eastern Redbuds and Double Play Red Spirea to break up the expanse of asphalt.

Site, Building Design, and Exterior Lighting

- The 5-story mixed-use building is designed to anchor the Southeastern corner of the site, providing a prominent urban presence at the intersection of East Fayette Street and Pine Street. The building's massing is oriented to create a continuous street wall, which is a key requirement for the MX-4 district to foster a vibrant, walkable environment.
- The site design significantly improves pedestrian safety by restoring curbs and green spaces along the Southern (E. Fayette St) and Eastern (Pine St) frontages. Previously, the lack of defined curb cuts allowed vehicles to encroach onto the sidewalk. The new plan introduces ADA-compliant ramps (Type C) at the Southeastern corner and provides a direct, reinforced concrete pedestrian connection from the public sidewalk to the primary residential lobby on the East side.
- Primary lighting is concentrated in the Northern parking area and at all building entrances (South, East, and North elevations).

Signage

- Any proposed signage requires separate building permits subject to review by the Zoning Administration, Central Permit Office, and Preservation Planner if applicable.

Historic Preservation

- This property is not on the City's Historic Properties list and is not required by the Landmark Preservation Board.

Additional Standards, Building Placement, and Transparency

- In compliance with mixed-use building standard, the building's ground floor exhibits high transparency. The Southeastern corner, which houses the commercial office unit, features large storefront windows providing at least 40% transparency. This design ensures "active frontage," allowing for visual interaction between the interior office space and the public realm, which enhances the safety and vibrancy of the streetscape.
- The building is strategically placed at the Southeastern corner of the site to anchor the intersection of East Fayette St. and Pine St. This placement follows the "Build-to-Line" principle, creating a continuous urban street wall. By

	<p>positioning the 144-unit structure along these primary frontages, the project maximizes the "Urban Core" character and supports the city's goal for a high-density, pedestrian-oriented corridor.</p> <ul style="list-style-type: none">- The primary pedestrian entrance for the residential units is located on the East (Pine St.), while the commercial entrance is at the South-Eastern corner. This separation of uses is clearly defined by the building's architecture. The placement of these entrances ensures that the sidewalk remains active and that pedestrians have clear, safe points of access without interacting with the vehicle circulation at the Northern end of the site.- The design replaces dilapidated and vacant structures with a modern façade that conforms to the minimum height requirements for the MX-4 zone District. The use of high-quality siding, combined with the required transparency percentages, revivifies the streetscape and aligns with the emerging development trends along the East Fayette corridor.
<p><i>Staff Analysis:</i></p>	<p><u>Major Site Plan Approval Criteria</u></p> <p>Consistency with the General Purpose and Intent of the Ordinance: The proposed 5-story mixed-use development at 201 Pine St. is consistent with the intent of the MX-4 zoning district, which promotes high-density, walkable, and mixed-use urban development. The project with 144 affordable residential units and ground floor commercial space, supporting housing availability, economic activity, and reinvestment within the urban core. The development also incorporates appropriate buffering, screening, and compatibility with adjacent residential properties while enhancing the pedestrian environment.</p> <p>Consistency with Dimensional and Design Development Standards: The project complies with all applicable dimensional and design standards of the MX-4 District. The proposed 5-story building with 29,000 SF footprint is appropriate for the Urban Core context and satisfies the district's minimum height requirements. The project reduces impervious lot coverage from 95% to 71%, remaining below the maximum allowable coverage and allowing for improved green open space. The building placement conforms to required build-to-lines along East Fayette St, Washington St. and Pine St. Ground-floor transparency requirements are met, and site improvements include ADA-compliant sidewalks and safe circulation patterns.</p> <p>Consistency with the Comprehensive Plan and City Policies: The proposed development is consistent with the Syracuse Comprehensive Plan and other adopted City policies by supporting reinvestment in underutilized properties, encouraging mixed-use and transit-supportive development, and expanding affordable housing opportunities near downtown employment centers and public institutions. The project advances City goals related to neighborhood revitalization and economic development.</p>
<p><i>Staff Recommendation:</i></p>	<p>Staff recommend approving this project.</p>

<p><i>Recommend conditions if approved:</i></p>	<ol style="list-style-type: none"> 1. The applicant shall comply with the general conditions for approval on the Site Plan application. (See the attached sheet General Conditions for Site Plan Approval) 2. As a condition of approval, all 144 residential units must be Certified by the Neighborhood and Business Department for the designation as affordable housing. 3. The applicant shall obtain a shared easement for the shared driveway and parking access for two parcels at 1201 E Fayette St(to be 211 Walnut Ave) and 210 Pine St (to be 1201 E Fayette ST). The easement shall be filed successfully at the Onondaga County Clerk's Office. 4. The applicant must complete the proposed Curb Restoration and sidewalk improvements along East Fayette and Pine Streets as shown on Sheet C-102. No vehicle encroachment or parking shall be permitted within the public sidewalk area. 5. Snow storage must be maintained exclusively within the designated area at the Northern perimeter of the site and shall not be pushed onto adjacent properties or public streets. 6. The required 13 bike spaces shall be incorporated on the site plan or floor plan. Per DPW requirement, utilizing staple-style (no wave-style) racks in conspicuous and well-lit areas near main entrances
<p><i>Zoning Procedural History:</i></p>	<p>N/A</p>
<p><i>Summary of Zoning History:</i></p>	<p>Vacant lot, no Zoning History is available</p>
<p><i>Code Enforcement History:</i></p>	<p>No code enforcement history is available</p>
<p><i>Zoning Violations:</i></p>	<p>The proposed lot has no zoning violations.</p>
<p><i>Summary of Changes:</i></p>	<p>This is not a continued application.</p>
<p><i>Property Characteristics:</i></p>	<p><u>Existing property characteristics</u> The subject property at 210 Pine. is a rectangular-shaped parcel with a lot size of 33,759 SF (0.775Acres). The property has three street frontages. To the North, the property line border East Washington St. 127.74 FT. To the East, the property line border is Pine St. 264.02 FT. to the South, the property line border to East Fayette st. 127.74 FT. the subjected property is used as a parking lot for the 1201 East Fayette St.</p> <p><u>Proposed Property Characteristics After Resubdivision:</u> The subjected property at 1201 E Fayette St. after subdivision is a rectangular-shaped parcel with lot size of 2.215 Acres / 96,479 SF. The property has three street frontages after resubdivision. To the North, the property line border East Washington St. 365.35 FT. To the East, the property line border is Pine St. 264.02 FT. to the South, the property line border to East Fayette st. 365.35 FT. the subjected property is used as a mixed used dwelling muti units.</p>
<p><i>SEQR Determination:</i></p>	<p>Pursuant to the 6 NYCRR §617.4 (iii), The project is a type I Action</p>
<p><i>Onondaga County</i></p>	<p>Pursuant to GML §239-1, m and n, the proposal does not require review by the</p>

Planning Board Referral:

Onondaga County Planning Board.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review Application
- Full Environmental Assessment Form (Housing Visions HQ FEF)
- Site Plan Package (HQ Civil Plans) (Sheet C101, C-102, C-103, C-104, C-105, C-106, C-501) Proposed Mixed used Multi Dwelling Units, 1201 E Fayette street, Onondaga County, City of Syracuse, New York; 13210 Drawn by Passero Associates; Dated 03/18/2026; Scale: As shown
- Floor Plan Layout (Sheet, 00) Proposed muti dwelling units, 1201 E Fayette street, Onondaga County, City of Syracuse, New York; 13210 Drawn by Passero Associates; Dated 03/18/2026; Scale: As shown
- Elevation Plan Layout (Sheet 02, 02) proposed elevation of the 5-story building of 144 dwelling units. 1201 E Fayette street, Onondaga County, City of Syracuse, New York; 13210 Drawn by Passero Associates; Dated 03/18/2026; Scale: As shown

Attachments:

Major Site Plan Review Application
Code Enforcement History

Camino Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.
Image Source: City of Syracuse Neighborhood and Business Development, Syracuse Zoning Map



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<u>R-2026-27</u>	<u>Staff Report – June 8, 2026</u>
Application Type:	Resubdivision
Project Address:	1201 Fayette St. E (030.-21-01.1) and 210 Pine St (030.-21-02.1)
Summary of Proposed Action:	<p>The applicant intends to subdivide two existing lots into two new lots for the future construction of a two-story office building with a 13,500 SF footprint and 54 parking spaces on Lot R-A. The applicants also intend to build a five story, 144 unit, mixed use building with a 29,000 SF footprint with 78 parking spaces, a small playground, and sidewalks on Lot R-B.</p> <p>Total square footage of New Lot R-A: 1.107 Acres / 48,237 SF Total square footage of New Lot R-B: 2.215 Acres / 96,479 SF</p>
Owner/Applicant	Housing Visions Unlimited Inc. / Diana Jakimoki (Owner) Andrew Burns, Passero Associates (Applicant & Representative)
Existing Zone District:	Urban Corn (MX-4) Zone District
Surrounding Zone Districts:	The neighboring properties to the east, west, north and south are MX-4 Zone District
Companion Application(s)	MaSPR-2026-14 MaSPR-2026-16 V-2026-27
Scope of Work:	The applicant proposes subdivide two vacant lots into two new lots.
Facts on Project & Staff Analysis:	<p><u>Dimensional Standards</u></p> <p>Lot R-A:</p> <ul style="list-style-type: none"> - The proposed resubdivided lot meets the Dimensional Standards of the MX-4 Urban Core Mixed Use Zone District pursuant to the Syracuse Zoning Ordinance Art. 2 Sec. 2.10 B for Commercial Office uses. - There are no lot area requirement for the type of “Commercial Office” proposed use thus conforming for their proposed use type. - There are not lot width minimum for this Zone District. - The Proposed use will require a variance as the MX-4 Zone District has a height minimum of three-stories and the applicants have proposed a two-story office building. <p>Lot R-B:</p> <ul style="list-style-type: none"> - The proposed resubdivided lot meets the Dimensional Standards of the MX-4 Urban Core Mixed Use Zone District pursuant to the Syracuse Zoning Ordinance Art. 2 Sec. 2.10 B for Mixed-Use Development. - There are no lot area requirement for the type of “Mixed-Use Development” proposed thus conforming for their proposed use type. - There are not lot width minimum for this Zone District. - The Proposed use meets MX-4 Zone District maximum height of 8 stories as the applicants are proposing a five-story mixed use building. <p><u>Facts on Project</u></p> <ul style="list-style-type: none"> - The proposed project involves the demolition of the existing building located at 1201 East Fayette Street. - The land uses proposed “Mixed-Use Development” & “Commercial Office “ are permitted by right in the MX-4 Zone District.

R-2026-27

	<ul style="list-style-type: none"> - The proposed resubdivision will allow the construction of a large office building and 144 Apartments with shared parking totaling 126 spaces. - The Onondaga County Planning Agency has determined the new 9-1-1 street address for lot R-A will be 211 Walnut Avenue and lot R-B will be 1201 East Fayette Street.
<i>Staff Recommendation:</i>	Staff recommends approving this project.
<i>Recommended Conditions if Approved:</i>	1. Applicant shall successfully file the resubdivision map of R-2026-27 in the Onondaga County Clerk's office within 62 days of resubdivision approval.
<i>Zoning Procedural History:</i>	See MaSPR-2026-14 & MaSPR-2026-16
<i>Summary of Zoning History:</i>	See MaSPR-2026-14 & MaSPR-2026-16
<i>Code Enforcement History:</i>	See attached Code Enforcement history.
<i>Zoning Violations:</i>	The proposed lot has no zoning violations.
<i>Summary of Changes:</i>	This is not a continued application.
<i>Property Characteristics:</i>	<p><u>Existing Lot</u> 1201 Fayette St. E The subject property at 1201 Fayette St. E is a regularly shaped parcel with a lot size of 110,947 SF (2.547 Acres). The property has three frontages with 420 FT of frontage on East Fayette St. along the southern boundary. The northern property boundary runs along East Water St. for 420 FT. The eastern boundary is shared with 210 Pine St. for 264 FT and western property line runs along Walnut Ave. for 264 FT.</p> <p>210 Pine St The subject property at 210 Pine. is a rectangular-shaped parcel with a lot size of 33,759 SF (0.775 Acres). The property has three street frontages. To the North, the property line border East Washington St. 127.74 FT. To the East, the property line border is Pine St. 264.02 FT. to the South, the property line border to East Fayette st. 127.74 FT. the subjected property is used as a parking lot for the 1201 East Fayette St.</p> <p><u>Proposed Lots</u> R-A The proposed lot R-A is a regularly shaped parcel with a lot size of 48,237 SF (1.107 Acres) The property will have one street frontage with 264 FT of frontage on Walnut Ave. on the western boundary. The northern property boundary runs along East Water St. for 182 FT. The eastern boundary is shared with lot R-B for 264 FT and the southern property boundary runs along East Fayette St. for 182 FT.</p> <p>R-B The proposed lot R-B is a rectangular-shaped parcel with lot size of 2.215 Acres / 96,479 SF. The property has three street frontages after resubdivision. To the North, the property line border East Washington St. 365.35 FT. To the East, the property line border is Pine St. 264.02 FT. to the South, the property line border to East Fayette st. 365.35 FT. the subjected property is used as a mixed-use dwelling with multi units.</p>
<i>SEQR Determination:</i>	Pursuant to the 6 NYCRR §617.4 (iii), The project is a type I Action

R-2026-27

**Onondaga County
Planning Board
Referral:**

Pursuant to GML §239-l, m and n, the proposal does not require review by the Onondaga County Planning Board.

Application Submittals: The application submitted the following in support of the proposed project:

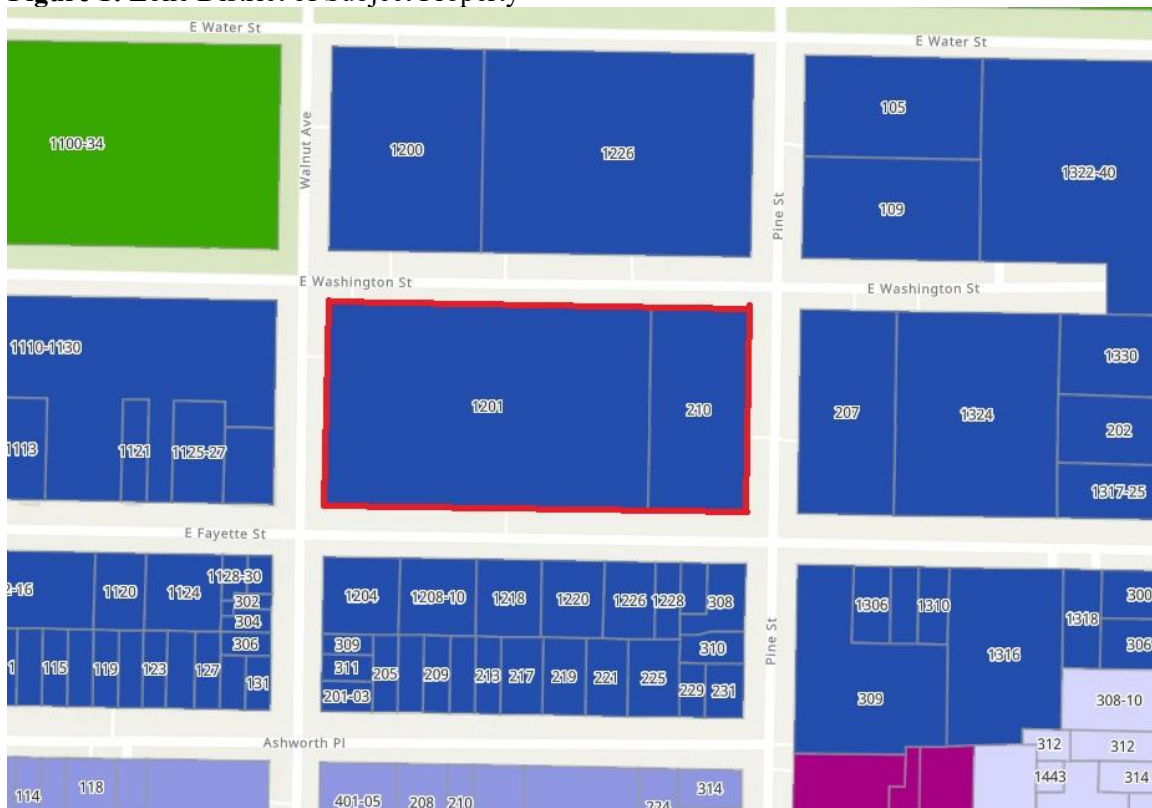
- Resubdivision application
- Full Environmental Assessment Form Part 1
- “Proposed Resubdivision on Lots 59, 60, 61, 62 & 63 Block 12 of the Fairview Tract to be New Lots 59A & 63A, Known as No. 225 & No. 229 Croly St., City of Syracuse, County of Onondaga State of New York”
Drawn by Michael J. McCully, Stamped by Michael J. McCully Land Surveying PLLC. Dated 9/11/25. Scale 1” = 20’

Attachments

- Resubdivision Application
- IPS Comments from City Departments
- Code Enforcement History

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, Syracuse Zoning Map

ON THIS SITE **MASPR-2026-14, MASPR-2026-16 AND R-2026-27** ARE MAJOR SITE PLAN REVIEWS AND RESUBDIVISION APPLICATIONS TO (A) REALIGN THE EXISTING LOT LINES AT 1201 E FAYETTE ST AND 210 PINE ST ;AND (B) TO DEMOLISH THE EXISTING OFFICE BUILDING TO CONSTRUCT A TWO-STORY OFFICE BUILDING AND A FIVE-STORY 144 DWELLING UNIT MIXED-USE BUILDING. THIS MATTER WILL BE DISCUSSED AT A CITY PLANNING COMMISSION MEETING ON MAY 18TH, 2026, AT 6:00 P.M. IN THE COMMON COUNCIL CHAMBERS, CITY HALL, SYRACUSE, NEW YORK.

May 8, 2026, 1:01 PM



Office of Zoning Administration

CITY OF SYRACUSE, MAYOR SHARON F. OWENS

Jacob R. Dishaw
Zoning Administrator

Conor Rourke
Land Use & Zoning
Attorney

Haohui Pan
Zoning Planner II

Noah Garcia
Zoning Planner II

Rebeca Baker
Zoning Planner I

Masihullah Omry
Zoning Planner II

Andrew Burns
242 West Main Street
Rochester NY, 14614
4/15/2026

Re: Application Completeness for City Planning Commission

Dear Andrew Burns,

On 4/15/2026, Nate Pan determined the proposed project MaSPR-2026-14, MaSPR-2026-16, R-2026-27, V-2026-7 to be **complete**.

In addition, please submit following documents/ information as necessary supplementary materials for Zoning staff review.

The proposed project will be sent to all involved agencies for review. Once all reviewers from City Departments complete their review and all concerns have been addressed, the proposed project will be scheduled for the next available City Planning Commission (CPC) meeting for a public hearing. No evidence, except items specifically required by the Board or offered for a reconsideration or modification, shall be accepted after a hearing is closed for public comment or testimony.

All landowners and applicants shall appear in person at the hearing, or by a properly authorized representative or agent. An authorized agent who is thoroughly familiar with all aspects of the appeal and who is able to testify as to all issues may appear if he or she holds a properly signed and executed document showing that they have authority to proceed on behalf of the landowner or applicant. Proof of signed and executed document must be submitted to Nate Pan at least six (6) business days before the public hearing and must be notarized. Failure to have representation appear before the City Planning Commission two consecutive meetings will result in your project proposal to be denied. Any updates to deliverables (such as site plan, changes in proposed work etc.) must be submitted to Nate Pan at least six (6) business days before the date of the hearing.

If the proposed project is held open for another public hearing and/or meeting to resolve any outstanding concerns, updated plans or any other requested documents shall be submitted to Zoning Administration staff NO FEWER than six (6) days prior to the hearing. Failure to submit by this deadline shall cause the item to be removed from the next meeting agenda.

GROWTH. DIVERSITY. OPPORTUNITY FOR ALL.

Office of Zoning Administration 300 South State Street, Suite 700 Syracuse, NY 13202
Office 315 448 8640 zoning@syr.gov www.syr.gov

February 17, 2026

Zhitong Wu
Director of Zoning
City of Syracuse
300 South State Street, Suite 700
Syracuse, NY 13202

**Re: Housing Visions Headquarters
Letter of Intent – Site Plan Review
210 Pine Street, 1201 East Fayette Street
Onondaga County, Syracuse, New York**

Dear Mr. Wu,

On behalf of our client Housing Visions Unlimited, Inc., we respectfully submit a Site Plan Review Application, Subdivision Application and an Area Variance Application for the above project with the goal of initiating the review process.

Project Description

The Housing Visions Headquarters project is located along East Washington Street, Pine Street, East Fayette Street, and Walnut Street right of Ways in the southeast quadrant of the City of Syracuse. The project consists of the re-subdivision of 1201 East Fayette Street and 210 Pine Street (Tax Account Numbers 030.000-0021-001.001 & 030.000-0021-002.001) to facilitate the redevelopment of the lots.

- Proposed Lot R-A is situated on approximately 1.107 acres and will include a two-story office building and associated parking.
- Proposed Lot R-B is situated on approximately 2.215 acres and will include a five-story mixed-use building with 144 dwelling units.

Both lots are designed to provide pedestrian friendly frontage, stormwater management systems and landscaped open space.

Project Location

Both sites are located within the MX-4 Urban Core District which encourages active streetscapes and accommodate higher density residential development and well-integrated nonresidential applications. The surrounding area includes a mix of residential, commercial and institutional uses with proximity to public transit and community amenities.

Site Plan Review Application

Site Plan Review is requested for both the proposed office building on Lot R-A and the mixed-use residential building on Lot R-B. The Site Plan Review process will allow the Planning Board to evaluate building layout, site circulation, parking, pedestrian access, landscaping, lighting, utilities, stormwater management, and architectural design.

The proposed site plans support a pedestrian-oriented streetscape by providing continuous sidewalk connections throughout the site. A concrete sidewalk is proposed around the perimeter of the original parcel, with walkways connecting building entrances to adjacent public sidewalks and parking areas. These improvements will help ensure safe pedestrian access while maintaining efficient vehicular circulation. The plans also incorporate stormwater management and landscaped open space consistent with the intent of the MX-4 Urban Core District.

Subdivision Application

A Subdivision Application is included to re-subdivide the existing parcels located at 1201 East Fayette Street and 210 Pine Street into two separate lots. This re-subdivision is necessary to facilitate the proposed redevelopment by creating distinct lots for the office and residential components of the project.

The proposed subdivision complies with the City of Syracuse Subdivision Regulations and applicable zoning standards. Each resulting lot will maintain frontage on a public street and will meet applicable lot configuration requirements. The subdivision does not create any new zoning nonconformities and will allow each parcel to function independently with its own access, utilities, and parking.

Area Variance Application

An Area Variance Application is being submitted for the proposed office building on Lot R-A, which does not meet the minimum building height requirement of the MX-4 Urban Core District, as defined in Article 2, Section 2.10 of the City of Syracuse Zoning Ordinance. The ordinance requires a minimum of three stories for all proposed buildings; however, the office building is proposed as a two-story structure.

The requested area variance will not produce an undesirable change in the character of the neighborhood nor create a detriment to nearby properties. The surrounding area includes a mix of commercial, institutional, and residential uses with varying building heights, and the proposed two-story office building is compatible with this existing development pattern.

The requested relief is the minimum variance necessary to allow reasonable use of the property. The proposed building height reflects the functional needs of office use, and compliance with the minimum height requirement would require the addition of a floor that is not operationally necessary.

The applicant has evaluated feasible alternatives, and no reasonable alternative exists that would allow the office building to comply with the minimum height requirement without resulting in unnecessary excess floor area or inefficient building design.

The requested variance will not have an adverse impact on physical or environmental conditions in the neighborhood. The project complies with all other zoning and development standards, and potential impacts related to traffic, utilities, stormwater, and neighborhood character have been evaluated through the SEQRA processes.

Comprehensive Plan Consistency

The proposed project is consistent with the goals and policies of the City of Syracuse Comprehensive Plan. The project supports reinvestment in existing urban neighborhoods by redeveloping underutilized parcels within the MX-4 Urban Core District.

The mixed-use and residential components promote higher-density development in an area served by existing infrastructure, public transit, and community amenities. The project enhances the streetscape through site improvements while contributing to economic development and housing opportunities within the City.

In support of this application, we are submitting the following for your consideration:

- Letter of Intent
- Site Plan Review Application – Apartment Building
- Site Plan Review Application – Office Building
- Resubdivision Application
- Area Variance Application – Office Building
- Signed SEQRA Full Environmental Assessment Form (FEAF)
- Site and Surrounding Area Photos
- Instrument Survey
- Subdivision Map
- Civil Site Plans
- Architectural Elevations
- Stormwater Pollution Prevention Plan (SWPPP)
- Engineer's Report

If you have any questions or require additional information, please contact me at (585) 4851 5843. Thank you for your consideration.

Sincerely,

A handwritten signature in blue ink that reads "Andrew C. Burns". The signature is written in a cursive style with a blue ink color.

Andrew Burns
Professional Engineer | Project Manager



For Office Use Only	
Zone District:	_____
Application Number:	____ - ____ - ____
Date:	_____

Office of Zoning Administration
 300 S State St, Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syr.gov.net

Site Plan Review Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name: Housing Visions Headquarters - Mixed Use Building	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 210 Pine Street, 1201 East Fayette Street	
Tax Map ID#: 030.000-0021-002.001, 030.000-0021-001.001	Lot size (sq. ft.): 96,479 S.F. (2.215 AC)
Current use of property: Office & Vacant	Proposed: Mixed-Use
Current number of dwelling units (if applicable): N/A	Proposed: 144
Current number of affordable dwelling units (if applicable): N/A	Proposed: 144
Current onsite parking (if applicable): 0	Proposed: 72
Zone District (base and any overlay) of property: MX-4 Urban Core	
Companion zoning applications (if applicable, list any related zoning applications): Subdivision Application	
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor	
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes	
Detailed description of the project (required): The Housing Visions Headquarters project is located in the City of Syracuse, NY 13210. The proposed project involves demolition of the existing building located at 1201 East Fayette Street and the re-subdivision of two lots (030.000-0021-001.001 & 030.000-0021-002.001). Proposed Lot R-A will be 1.107 acres with a two story office building with a 13,500 S.F. footprint and 54 parking spaces. Proposed Lot R-B will be 2.215 acres with a five story, 144 unit, mixed use building with a 29,000 S.F. footprint with 78 parking spaces and playground.	



Site Plan Review Application

Office of Zoning Administration
300 S State St, Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syrgov.net

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.
Print owner's name: Housing Visions Unlimited, Inc.
Signature: [Signature] Date: 2/17/26
Mailing address: 1201 East Fayette Street Syracuse, NY 13210
Print authorized agent's name: Passero Associates | Andrew Burns Date: 2/17/26
Signature: [Signature]
Mailing address: 242 West Main St. S100, Rochester, NY 14614
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Please submit one copy of each of the following:

- APPLICATION - filled out completely, dated, and signed by property owner as instructed
STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR) - Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed
PHOTOGRAPHS (COLOR) of the PROJECT SITE - keyed to a property survey or site plan
PHOTOGRAPHS (COLOR) of the STREETScape - including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan
APPLICATION FEE - \$0

Please submit PDFs of plans into one PDF package containing all applicable submittal requirements detailed below. For projects with multiple sites, separate site plan review applications must be submitted for each project site. Hard copies of plans may be submitted in person. All plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation.

- AS BUILT PROPERTY SURVEY(S) of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
SITE PLAN(S) illustrating site alterations and post project conditions that are/will be different from the as built property survey including:



For Office Use Only	
Zone District:	_____
Application Number:	_____ - _____ - _____
Date:	_____

Office of Zoning Administration
 300 S State St, Suite 700
 Syracuse, NY 13202
 Phone: (315) 448-8640
 Email: zoning@syr.gov.net

Site Plan Review Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

General Project Information

Business/project name: Housing Visions Headquarters - Office	
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 210 Pine Street, 1201 East Fayette Street	
Tax Map ID#: 030.000-0021-002.001, 030.000-0021-001.001	Lot size (sq. ft.): 48,237 S.F. (1.107 AC)
Current use of property: Office & Vacant	Proposed: Office
Current number of dwelling units (if applicable): N/A	Proposed: N/A
Current number of affordable dwelling units (if applicable): N/A	Proposed: N/A
Current onsite parking (if applicable): 88	Proposed: 54
Zone District (base and any overlay) of property: MX-4 Urban Core	
Companion zoning applications (if applicable, list any related zoning applications): Area Variance Application - Building Height Subdivision Application	
Type of Site Plan: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor	
Project construction (check all that apply): <input checked="" type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes	
Detailed description of the project (required): The Housing Visions Headquarters project is located in the City of Syracuse, NY 13210. The proposed project involves demolition of the existing building located at 1201 East Fayette Street and the re-subdivision of two lots (030.000-0021-001.001 & 030.000-0021-002.001). Proposed Lot R-A will be 1.107 acres with a two story office building with a 13,500 S.F. footprint and 54 parking spaces. Proposed Lot R-B will be 2.215 acres with a five story, 144 unit, mixed use building with a 29,000 S.F. footprint with 78 parking spaces and playground.	

City of Syracuse
Office of Zoning Administration

RESUBDIVISION / LOT ALTERATION APPLICATION

One Park Place, 300 S State St *Suite 700* Syracuse, NY 13202

315-448-8640 * zoning@syr.gov *

[**www.syr.gov/Departments/Zoning-Administration**](http://www.syr.gov/Departments/Zoning-Administration)

Office Use Filing Date: Case: Zoning District:

REQUESTED (Check applicable and provide the subdivision name, existing and proposed number of lots, and total area.)

	<u>Subdivision Name</u>	<u>Number of Lots</u>	<u>Total Area</u>
<input checked="" type="checkbox"/> Resubdivision:	Housing Visions Headquarters	2	3.322 ac
<input type="checkbox"/> Lot Alteration:			

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) 210 Pine Street	030.21-02.1	Housing Visions Unlimited, Inc.	
2) 1201 East Fayette Street	030.21-01.1	Housing Visions Unlimited, Inc.	
3)			
4)			

As listed in the Department of Assessment property tax records at <http://syr.gov.net/Assessment.aspx> - 315-448-8280.

COMPANION ZONING APPLICATION(S) (List any related City Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

1) Site Plan Review 2) Board of Zoning Appeals 3)

PROJECT CONSTRUCTION (Check all that apply and briefly describe, as applicable.)

<input checked="" type="checkbox"/> Demolition (full and partial):	Demolition of the existing building and parking lot on site
<input checked="" type="checkbox"/> New Construction:	Construction of a five story apartment and two story office building
<input type="checkbox"/> Façade (Exterior) Alterations:	
<input checked="" type="checkbox"/> Site Changes:	Construction of sidewalks, driveway entrances and site features

PROJECT INFORMATION (Briefly describe, as applicable.)

Project Name:	Housing Visions Headquarters
Current Land Use(s):	Office Building & Vacant
Proposed Land Use(s):	Office Building & Mixed Use
Number of Dwelling Units:	144 units
Days and Hours of Operation:	24/7
Number of Onsite Parking Spaces:	132 spaces


PROJECT DESCRIPTION (Provide a brief description of the project, including purpose or need, and justification.)

The Housing Visions Headquarters project is located in the City of Syracuse, NY 13210. The proposed project involves demolition of the existing building located at 1201 East Fayette Street and the re-subdivision of two lots (030.000-0021-001.001 & 030.000-0021-002.001). Proposed Lot R-A will be 1.107 acres with a two story office building with a 13,500 S.F. footprint and 54 parking spaces. Proposed Lot R-B will be 2.215 acres with a five story, 144 unit, mixed use building with a 29,000 S.F. footprint with 78 parking spaces and playground.

City of Syracuse Office of Zoning Administration

PROPERTY OWNER(S) (required)

As listed in Department of Assessment property tax records (<http://syrgov.net/Assessment.aspx> - 315-448-8280). If not listed as the owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a letter describing the legal arrangement. If the property owner is a Corporation or Organization, the person signing must provide member verification. **Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.**

Diana	Jakimoski		Housing Visions Unlimited, Inc.		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
1201 E Fayette St		Syracuse	NY	13210	<i>Phone:</i>
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature: 			Date: 2/17/26		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
			<i>Phone:</i>		
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
			<i>Phone:</i>		
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
			<i>Phone:</i>		
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

*** OWNER SIGNATURE DECLARATION**

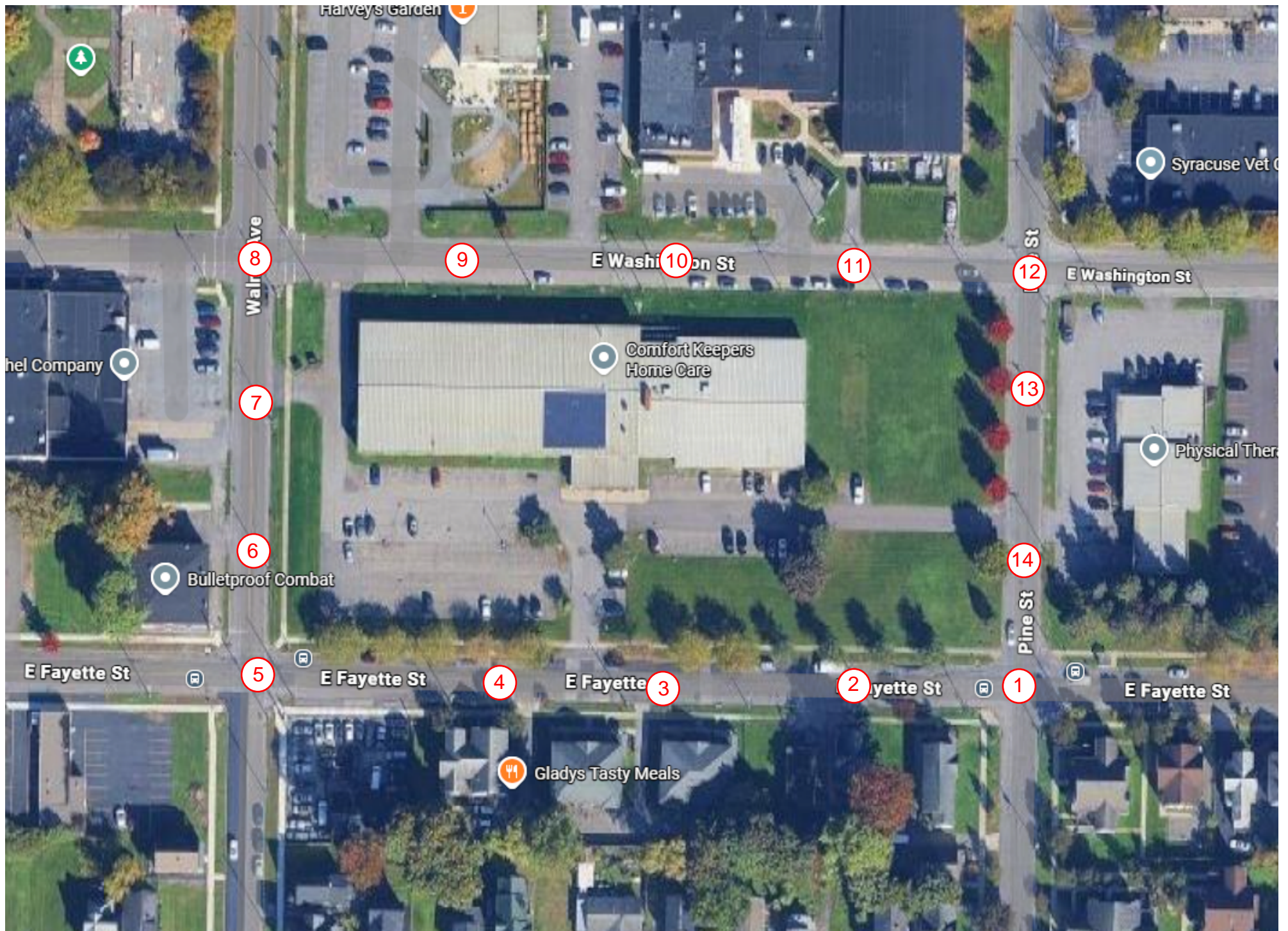
I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

Diana	Jakimoski		Housing Visions Unlimited, Inc.		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
1201 East Fayette St		Syracuse	NY	13210	
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
			<i>Phone:</i>		
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>

REPRESENTATIVE(S)/CONTACT(S) (if applicable)

Andrew	Burns	Project Manager	Passero Associates		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
242 West Main Street	Suite 100	Rochester	NY	14614	
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
			<i>Phone:</i>		
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>



Harveys Garden 1

Syracuse Vet C

Walr Ave

E Washi on St

St

E Washington St

hel Company

Comfort Keepers Home Care

Physical Ther

Bulletproof Combat

E Fayette St

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Pine St

Gladys Tasty Meals







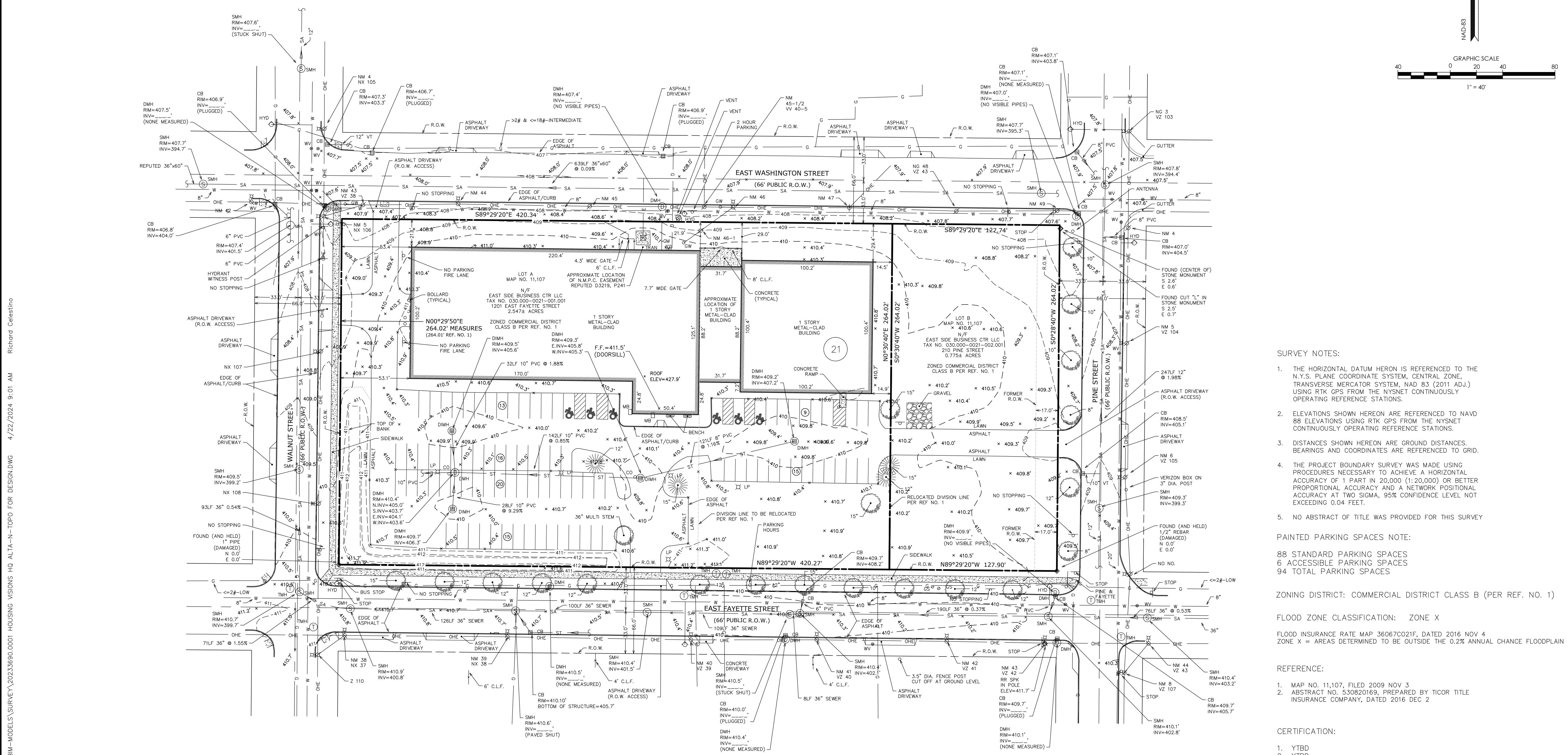
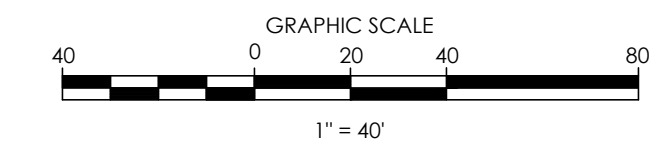
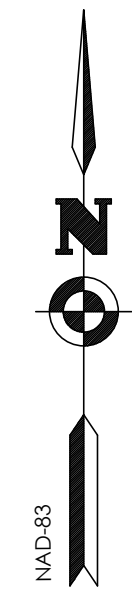




Passero Associates
Rochester, NY Fernandina Beach, FL
www.passero.com

ABBREVIATION TABLE	
A.G.	ABOVE GROUND
C.I.	CAST IRON
CNC.	CONCRETE
E.O.P.	EDGE OF PAVEMENT
MEAS.	MEASURES
R.O.W.	RIGHT OF WAY

LEGEND	
CB	CATCHBASIN
CO	CLEANOUT (UNKNOWN TYPE)
DCO	CLEANOUT DRAINAGE SEWER
SCO	CLEANOUT SANITARY SEWER
END SECTION	END SECTION DRAINAGE PIPE
GV	GAS VALVE
HYD	HYDRANT
LP	LIGHTPOLE
MH	MANHOLE (UNKNOWN TYPE)
EMH	MANHOLE ELECTRIC
MDI	MANHOLE DRAINAGE INLET
DMH	MANHOLE DRAINAGE SEWER
SMH	MANHOLE SANITARY SEWER
TMH	MANHOLE TELE/COMM
SP	SIGN POST (SINGLE)
SP	TRAFFIC LIGHT SPAN POLE
WS	WATER SERVICE
WV	WATER VALVE



SURVEY NOTES:

- THE HORIZONTAL DATUM HERON IS REFERENCED TO THE N.Y.S. PLANE COORDINATE SYSTEM, CENTRAL ZONE, TRANSVERSE MERCATOR SYSTEM, NAD 83 (2011 ADJ.) USING RTK GPS FROM THE NYSNET CONTINUOUSLY OPERATING REFERENCE STATIONS.
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD 88 ELEVATIONS USING RTK GPS FROM THE NYSNET CONTINUOUSLY OPERATING REFERENCE STATIONS.
- DISTANCES SHOWN HEREON ARE GROUND DISTANCES. BEARINGS AND COORDINATES ARE REFERENCED TO GRID.
- THE PROJECT BOUNDARY SURVEY WAS MADE USING PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 20,000 (1:20,000) OR BETTER PROPORTIONAL ACCURACY AND A NETWORK POSITIONAL ACCURACY AT TWO SIGMA, 95% CONFIDENCE LEVEL NOT EXCEEDING 0.04 FEET.
- NO ABSTRACT OF TITLE WAS PROVIDED FOR THIS SURVEY

PAINTED PARKING SPACES NOTE:

88 STANDARD PARKING SPACES
6 ACCESSIBLE PARKING SPACES
94 TOTAL PARKING SPACES

ZONING DISTRICT: COMMERCIAL DISTRICT CLASS B (PER REF. NO. 1)

FLOOD ZONE CLASSIFICATION: ZONE X

FLOOD INSURANCE RATE MAP 36067C021F, DATED 2016 NOV 4
ZONE X = AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

REFERENCE:

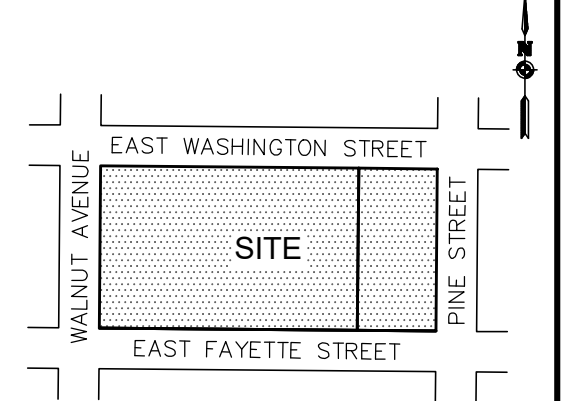
- MAP NO. 11,107, FILED 2009 NOV 3
- ABSTRACT NO. 530820169, PREPARED BY TICOR TITLE INSURANCE COMPANY, DATED 2016 DEC 2

CERTIFICATION:

- YTB
- YTB
- YTB
- YTB

WE, PASSERO ASSOCIATES, CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. FIELD WORK WAS COMPLETED ON 2024 MAR 25.

Revisions			
No.	Date	By	Description



City of Syracuse - Not to Scale

Passero Associates
242 WEST MAIN STREET, SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 Fax: (585) 760-8580
Principal-in-Charge David L. Cox, PE
Project Manager Robert A. Vento, PLS
Drafted by R.D.C.

Client:
Housing Visions
Diana Jakimoski
1201 East Fayette Street
Suite 26
Syracuse, NY 13201
(585) 472-3820

ALTA/NSPS LAND TITLE SURVEY

1201 EAST FAYETTE STREET
LOT A, MAP NO. 11,107, 2,547± ACRES
TAX NO. 030.000-021-001.001

210 PINE STREET
LOT B, MAP NO. 11,107, 0.775± ACRES
TAX NO. 030.000-021-002.001

CITY OF SYRACUSE, ONONDAGA COUNTY, NEW YORK STATE

Project No. 20233690.0001	
Drawing No. ALTA-1	Sheet No. 1 of 1
Scale: 1" = 40'	
Date 2024 SPRING	

ROBERT A. VENTO, N.Y.S. P.L.S. NO. 049701 DATE
bventof@passero.com

Y:\PROJECTS-NEW\2023\20233690\20233690.0001\01_CAD-BIM-MODELS\SURVEY\20233690.0001\ALTA-1-TOPO FOR DESIGN.DWG 4/22/2024 9:01 AM Richard Celestino

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL INKED OR EMBOSSED SEAL AND INKED SIGNATURE SHALL BE CONSIDERED A TRUE AND VALID COPY.

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REFERENCE:

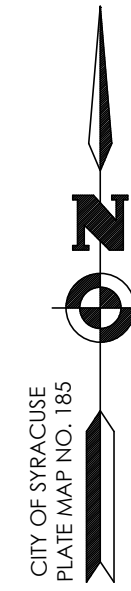
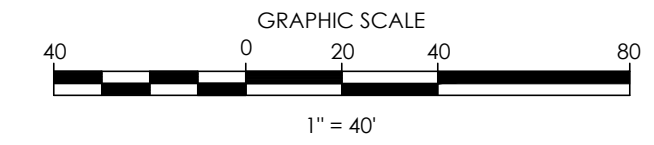
- MAP PREPARED BY LAND LINES SURVEYING, P.C. ENTITLED "RESUBDIVISION OF LOTS 117-120 & LOTS 174-185 OF THE ORIGINAL BLOCK NO. 212" MAP NO. 11,107, FILED NOVEMBER 3, 2009
- MAP PREPARED BY C.T. MALE ASSOCIATES, P.C. ENTITLED, "RESUBDIVISION MAP OF LOTS D-1 & D-2 OF BLOCK NO. 206 INTO NEW LOT D-3 OF BLOCK NO. 206" MAP NO. 11,119, FILED DECEMBER 1, 2009
- ABSTRACT NO. 530820169, PREPARED BY TICOR TITLE INSURANCE COMPANY, DATED DECEMBER 2, 2016 ABSTRACT NO. 530820169
- SITE PLAN PREPARED BY PASSERO ASSOCIATES, ENTITLED "HOUSING VISIONS HEADQUARTERS" DATED NOVEMBER 12, 2025 BEING PROJECT NO. 20233690.0003
- DEEDS FILED IN THE ONONDAGO COUNTY CLERK'S OFFICE SHOWN HEREON
- CITY OF SYRACUSE PLATE MAP NO. 185
- NO ABSTRACT PROVIDED

SURVEY NOTES:

THE HORIZONTAL DATUM IS REFERENCED TO THE CITY OF SYRACUSE PLATE MAP NO. 185, BEARINGS SHOWN HERON ARE REFERENCED TO SAID MAP NO. 185. DISTANCES SHOWN ARE GROUND. SURVEY WORK FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.

THE VERTICAL DATUM IS REFERENCED TO NAVD-88

HORIZONTAL AND VERTICAL DATUM WERE MEASURED USING RTK GPS ON THE NYS NETWORK.



Passero Associates
Rochester, NY Fernandina Beach, FL
www.passero.com

ABBREVIATION TABLE	
A.G.	ABOVE GROUND
C.I.	CAST IRON
CNC.	CONCRETE
E.O.P.	EDGE OF PAVEMENT
MEAS.	MEASURES
R.O.W.	RIGHT OF WAY

LEGEND	
CB	CATCHBASIN
CO	CLEANOUT (UNKNOWN TYPE)
DCO	CLEANOUT DRAINAGE SEWER
SCO	CLEANOUT SANITARY SEWER
END SECTION	END SECTION DRAINAGE PIPE
GV	GAS VALVE
HYD	HYDRANT
LP	LIGHTPOLE
MH	MANHOLE (UNKNOWN TYPE)
EMH	MANHOLE ELECTRIC
MH	MANHOLE DRAINAGE INLET
DMH	MANHOLE DRAINAGE SEWER
SMH	MANHOLE SANITARY SEWER
TMH	MANHOLE TELE/COMM
SIGN POST	SIGN POST (SINGLE)
SP	TRAFFIC LIGHT SPAN POLE
TREE	TREE CONIFEROUS
TREE	TREE DECIDUOUS
PP	UTILITY POLE
GW	UTILITY POLE ANCHOR WIRE
WS	UTILITY POLE WITH LIGHT
WV	WATER VALVE

ONONDAGA COUNTY HEALTH DEPARTMENT:

CITY OF SYRACUSE ASSESSOR:

CITY OF SYRACUSE PLANNING COMMISSION:

CITY OF SYRACUSE DEPARTMENT OF ENGINEERING:

Revisions

No.	Date	By	Description

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City of Syracuse - Not to Scale

Passero Associates

242 WEST MAIN STREET, SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 Fax: (585) 760-8580
Principal-in-Charge Gary W. Passero, PE
Project Manager Alan J. Snyder, PLS
Drafted by Evan J. Corteville

Client:
Housing Visions Consultants, Inc.
1201 East Fayette Street, Suite 26
Syracuse, NY 13210
ATTENTION: DIANA JAKIMOSKI
PHONE: (315) 472-3820

**HVC HQ SUBDIVISION,
A RE-SUBDIVISION**
OF
LOT NO.S 117-120 & 174-185
OF BLOCK NO. 212 AND OTHER LANDS
INTO NEW LOTS A & B

LANDS NOW OR FORMERLY OF:
EAST SIDE BUSINESS CTR, LLC

TAX ACCT. NO.S'
030.000-0021-001.001 &
036.000-0021-002.001

CITY OF SYRACUSE, ONONDAGA
COUNTY, NEW YORK STATE

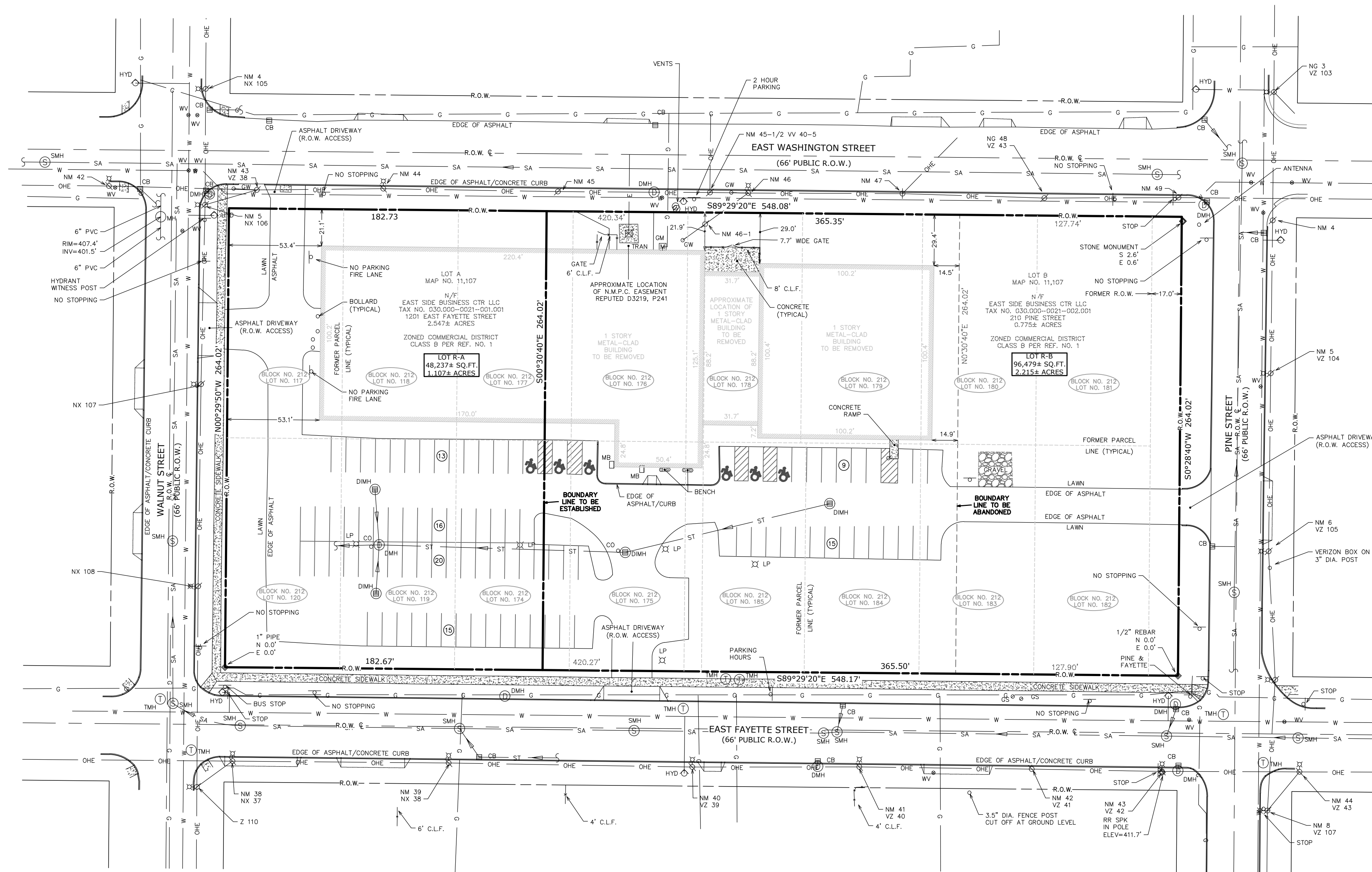
Project No.
20233690.0003

Drawing No.	Sheet No.
SUB-1	1 of 1

Scale:
1" = 40'

Date
FEBRUARY, 2026

ALAN J. SNYDER N.Y.S.P.L.S. NO. 051080 DATE
asnyder@passero.com



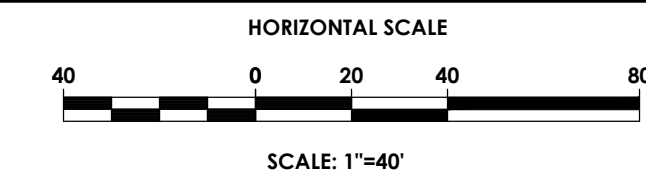
CERTIFICATION:

WE, PASSERO ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED USING PORTIONS OF THE REFERENCE MATERIAL AS LISTED HEREON AND FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED MARCH 25, 2024. THIS PARCEL IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES OF RECORD. NO CERTIFICATION IS EXTENDED TO INFORMATION NOT REFERENCED.

- Y.TBD
- Y.TBD
- Y.TBD
- Y.TBD

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL INKED OR EMBOSSED SEAL AND INKED SIGNATURE SHALL BE CONSIDERED A TRUE AND VALID COPY.

CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE AGENCIES LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

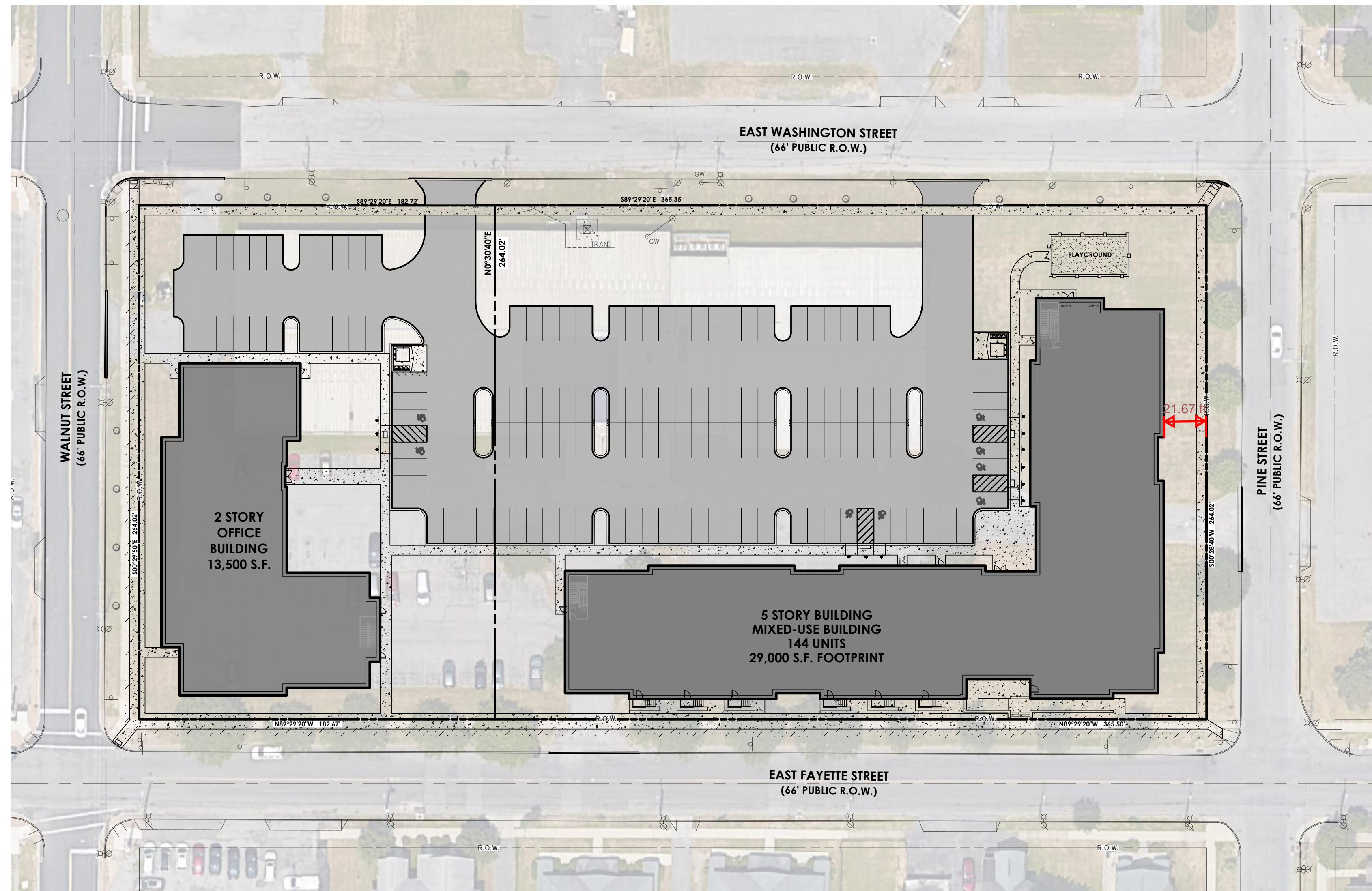


HOUSING VISIONS HEADQUARTERS

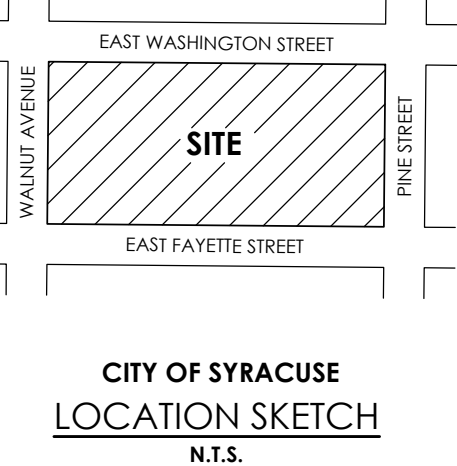
SITE DEVELOPMENT PLANS
CITY OF SYRACUSE | ONONDAGA COUNTY | NEW YORK
PN: 20233690.0003

DRAWING INDEX

- C 101 COVER
- C 102 SITE PLAN
- C 103 EXISTING CONDITIONS / DEMOLITION PLAN
- C 104 UTILITY PLAN
- C 105 GRADING & EROSION CONTROL PLAN
- C 106 LANDSCAPING & LIGHTING PLAN
- C 201 NOTES
- C 202 - 206 DETAILS



SITE DATA			
1. TAX ACCOUNT NUMBER:	030-21-01.1, 030-21-02.1		
2. PARCEL ADDRESS:	1201 E FAYETTE STREET, SYRACUSE, NY 13210 210 PINE STREET, SYRACUSE, NY 13210		
MUNICIPALITY:	CITY OF SYRACUSE		
COUNTY:	ONONDAGA		
3. TOTAL PARCEL AREA:	LOT R-A: ± 1.107 ACRES (± 48,237 S.F.) LOT R-B: ± 2.215 ACRES (± 96,479 S.F.)		
AREA OF DISTURBANCE:	± 3.22 ACRES		
4. EXISTING ZONING:	MX-4 URBAN CORE		
PROPOSED ZONING:	NO CHANGE		
5. EXISTING USE:	OFFICE BUILDING		
6. PROPOSED USE:	MIXED-USE BUILDING		
7. AREA REQUIREMENTS:			
ZONING DISTRICT: MX-4 URBAN CORE			
	REQUIRED	PROPOSED OFFICE	PROPOSED MIXED-USE
LOT			
WIDTH	NO MIN	182.72'	365.35'
AREA	NONE	1.107 ACRES	2.215 ACRES
COVERAGE (MAX)	95%	64.70%	70.80%
SETBACK			
FRONT, REAR, SIDE	0'		
BUILDING			
HEIGHT (MIN/MAX)	3 STY/8 STY	2 STORY	5 STORY
PARKING			
STALLS QTY	MULTI-UNIT: .5 SPACE/UNIT= 72 OFFICE 1 SPACE/500 SF= 54 TOTAL = 126 SPACES	54 SPACES	78 SPACES
STALL SIZE - PERPENDICULAR	8.5' x 18'	8.5' x 18'	8.5' x 18'
DRIVE AISLE WIDTH - 90 DEG	24'	24'	24' & 26'
NOTES:			
	NO	YES	YES
8. STATE REGULATED WETLANDS (NYSDEC ERM):	X		
9. FEDERALLY REGULATED WETLANDS (USFWS NWI):	X		
10. FLOOD PLAIN (FEMA NFHL): FIRM PANEL: 36067C0217F DATED: 11/4/2016	X		
11. PUBLIC WATER PROVIDED BY:	CITY OF SYRACUSE		
12. ELECTRIC SERVICE PROVIDED BY:	NYSEG		
14. SANITARY SEWER PROVIDED BY:	CITY OF SYRACUSE		
15. STORM SEWER & DRAINAGE WILL BE: (MAINTAINED BY THE OWNER)	PRIVATE		
16. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY			



CITY OF SYRACUSE
LOCATION SKETCH
N.T.S.

STAMP:

CLIENT:
HOUSING VISIONS UNLIMITED, INC.
1201 E. FAYETTE STREET
SYRACUSE, NY 13210

Passero Associates
242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

PROJECT MANAGER: Andrew Burns, PE
PROJECT ENGINEER: Andrew Burns, PE
DESIGNER: Carole Harvey

NO.	DATE	BY	DESCRIPTION

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COVER

1201 E. FAYETTE ST.

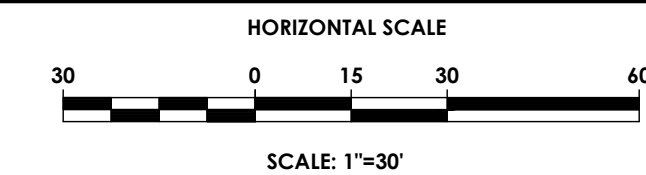
HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse
COUNTY: Onondaga STATE: NY

PROJECT NO.:
20233690.0003

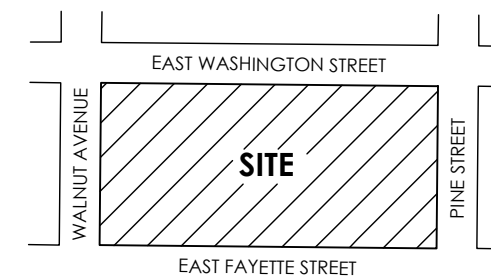
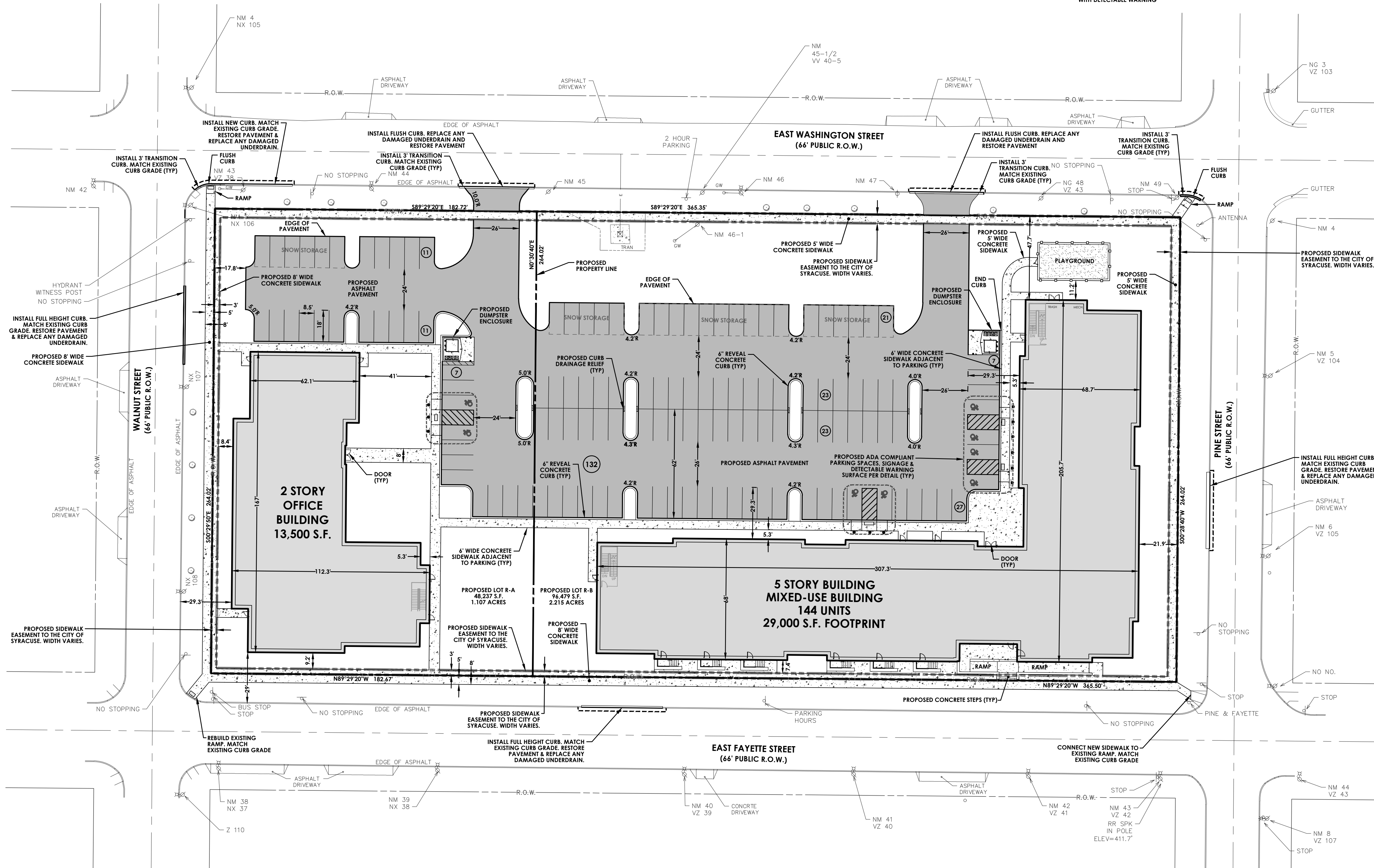
DRAWING NO.:
C-101

DATE:
FEBRUARY 2026



LEGEND

- PROPERTY LINE
- - - R.O.W.
- - - EXISTING CENTERLINE
- - - SAWCUT LINE
- - - EXISTING CURB
- - - PROPOSED CURB
- - - PROPOSED CONCRETE
- ▭ PROPOSED BUILDING
- - - PROPOSED SIDEWALK EASEMENT
- - - EXISTING EASEMENT
- ▲ PROPOSED SIGN
- ▲ PROPOSED ACCESS RAMP WITH DETECTABLE WARNING



CITY OF SYRACUSE
LOCATION SKETCH
N.T.S.

STAMP:

CLIENT:
HOUSING VISIONS UNLIMITED, INC.
1201 E. FAYETTE STREET
SYRACUSE, NY 13210

Passero Associates

242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

PROJECT MANAGER: Andrew Burns, PE
PROJECT ENGINEER: Andrew Burns, PE
DESIGNER: Carole Horney

NO.	DATE	BY	DESCRIPTION

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SITE PLAN

1201 E. FAYETTE ST.

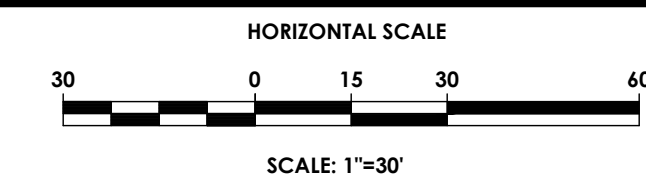
HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse
COUNTY: Onondaga STATE: NY

PROJECT NO.: **20233690.0003**

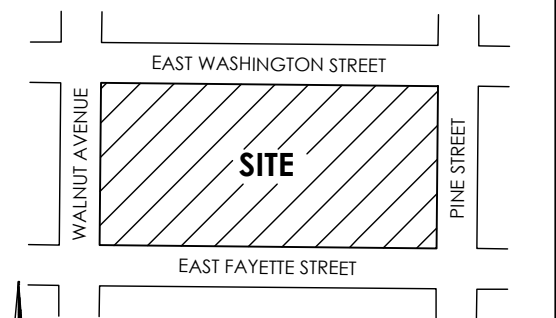
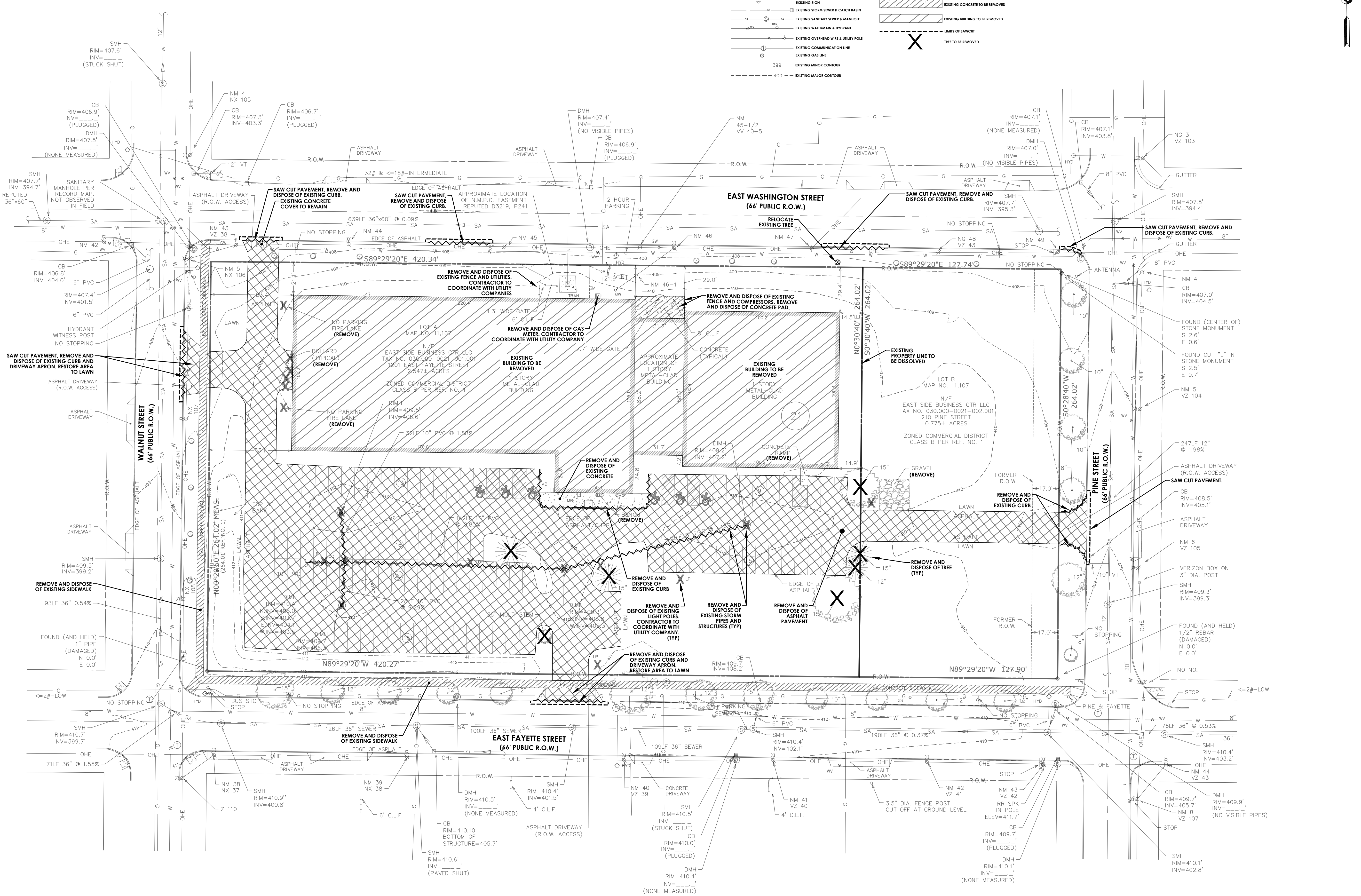
DRAWING NO.: **C-102**

DATE: **FEBRUARY 2026**



LEGEND

- PROPERTY LINE
- EXISTING FENCE LINE
- EXISTING CURB
- EXISTING BUILDING
- EXISTING CONCRETE
- EXISTING SIGN
- EXISTING STORM SEWER & CATCH BASIN
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING WATERMAIN & HYDRANT
- EXISTING OVERHEAD WIRE & UTILITY POLE
- EXISTING COMMUNICATION LINE
- EXISTING GAS LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING FEATURE TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED
- LIMITS OF SAWCUT
- TREE TO BE REMOVED



CITY OF SYRACUSE
LOCATION SKETCH
N.T.S.

STAMP:

CLIENT:
HOUSING VISIONS UNLIMITED, INC.
1201 E. FAYETTE STREET
SYRACUSE, NY 13210

Passero Associates
242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

NO.	DATE	BY	DESCRIPTION

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EXISTING CONDITIONS & DEMOLITION PLAN
1201 E. FAYETTE ST.

HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse
COUNTY: Onondaga STATE: NY

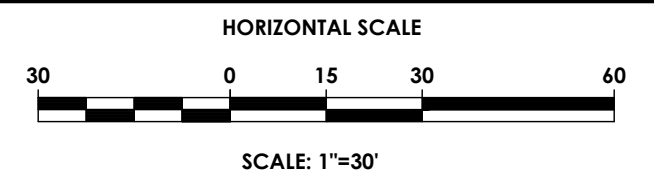
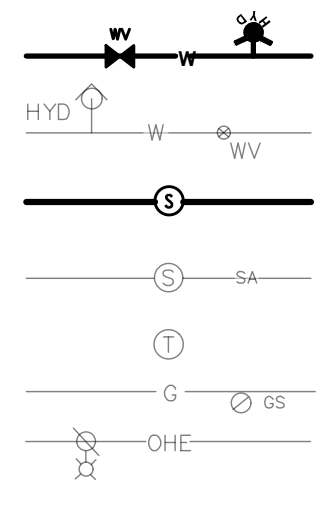
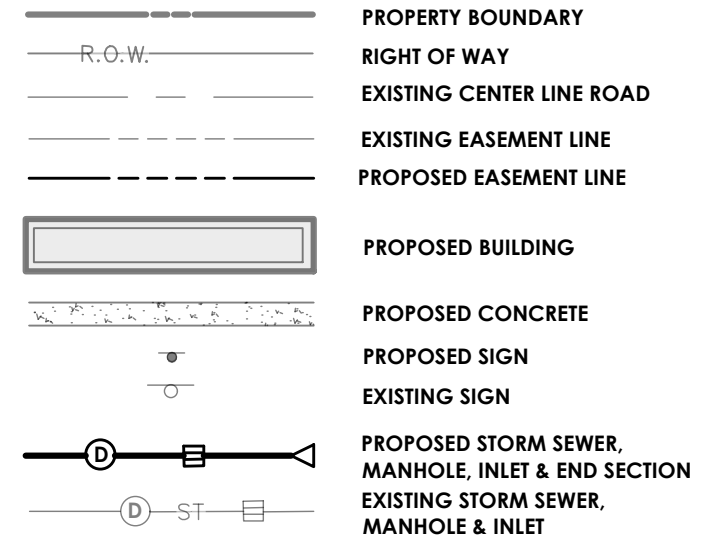
PROJECT NO.: **20233690.0003**

DRAWING NO.: **C-103**

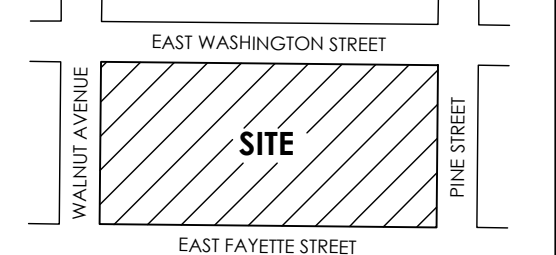
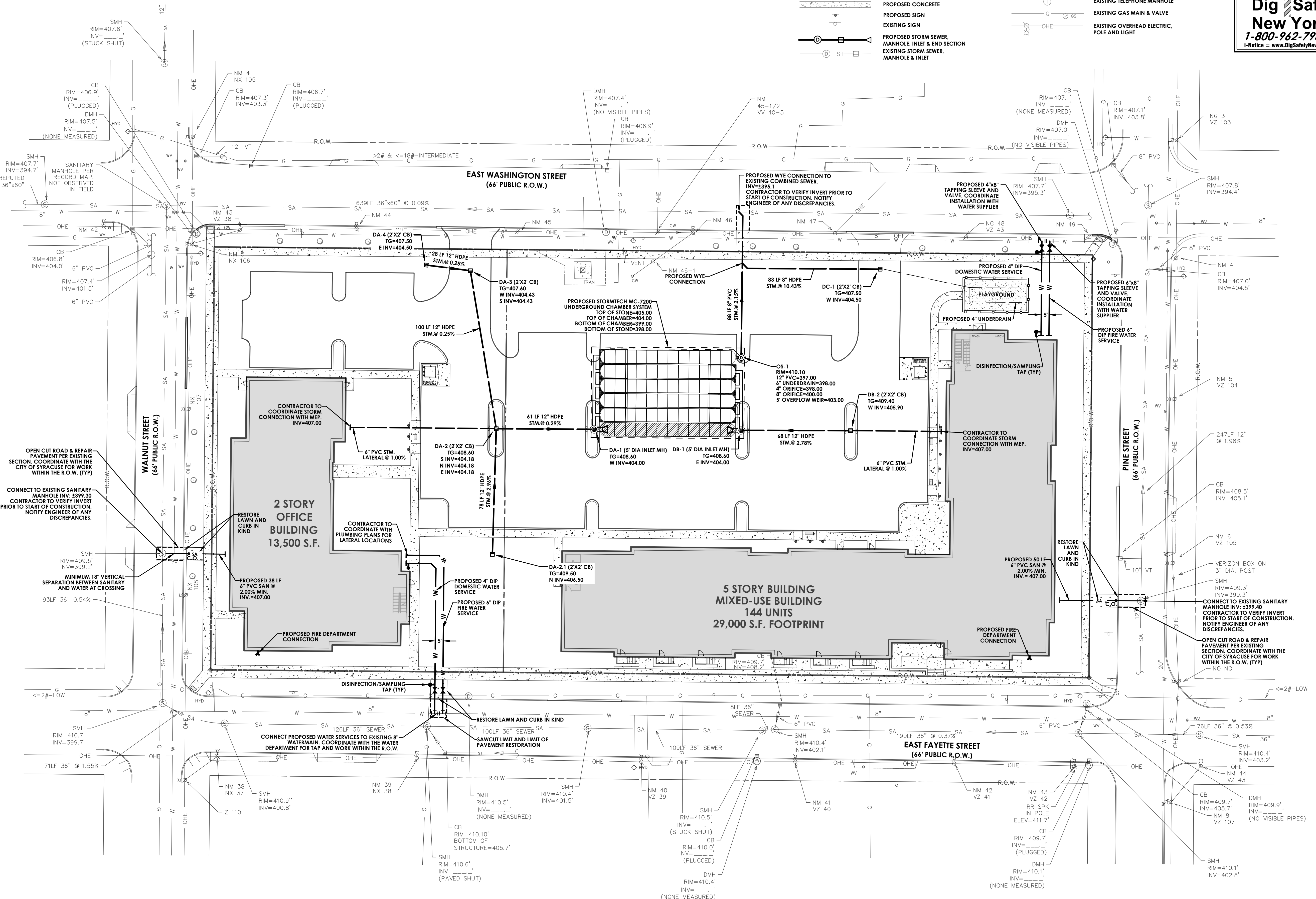
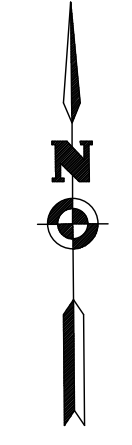
DATE: **FEBRUARY 2026**

Y:\PROJECTS-NEW\2023\233690\CAD-BIM-MODELS\CIVIL\2023\233690_UTILITY.DWG 2/16/2026 11:37 AM Jacob Lewis

LEGEND



If you excavate anywhere in New York State, except NYC or Long Island, call Dig Safely. New York 1-800-962-7962 i-Notice = www.DigSafelyNewYork.com



CITY OF SYRACUSE LOCATION SKETCH N.T.S.

STAMP:

CLIENT: HOUSING VISIONS UNLIMITED, INC. 1201 E. FAYETTE STREET SYRACUSE, NY 13210

Passero Associates

242 WEST MAIN ST., SUITE 100 ROCHESTER, NY 14614 (585) 325-1000 FAX: (585) 325-1691

PROJECT MANAGER: Andrew Burns, PE DESIGNER: Andrew Burns, PE CAROLE HORNEY

Table with columns: NO., DATE, BY, DESCRIPTION. Contains a few rows of data.

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UTILITY PLAN

1201 E. FAYETTE ST.

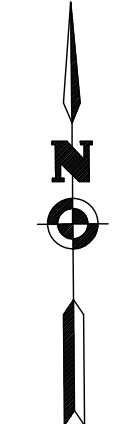
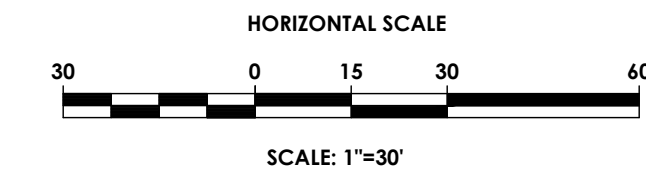
HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse COUNTY: Onondaga STATE: NY

PROJECT NO.: 20233690.0003

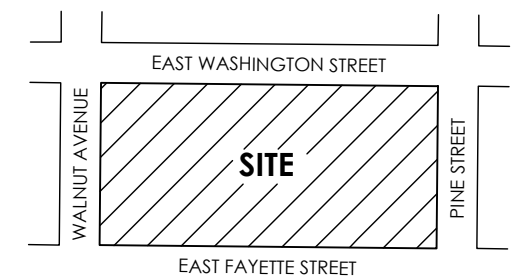
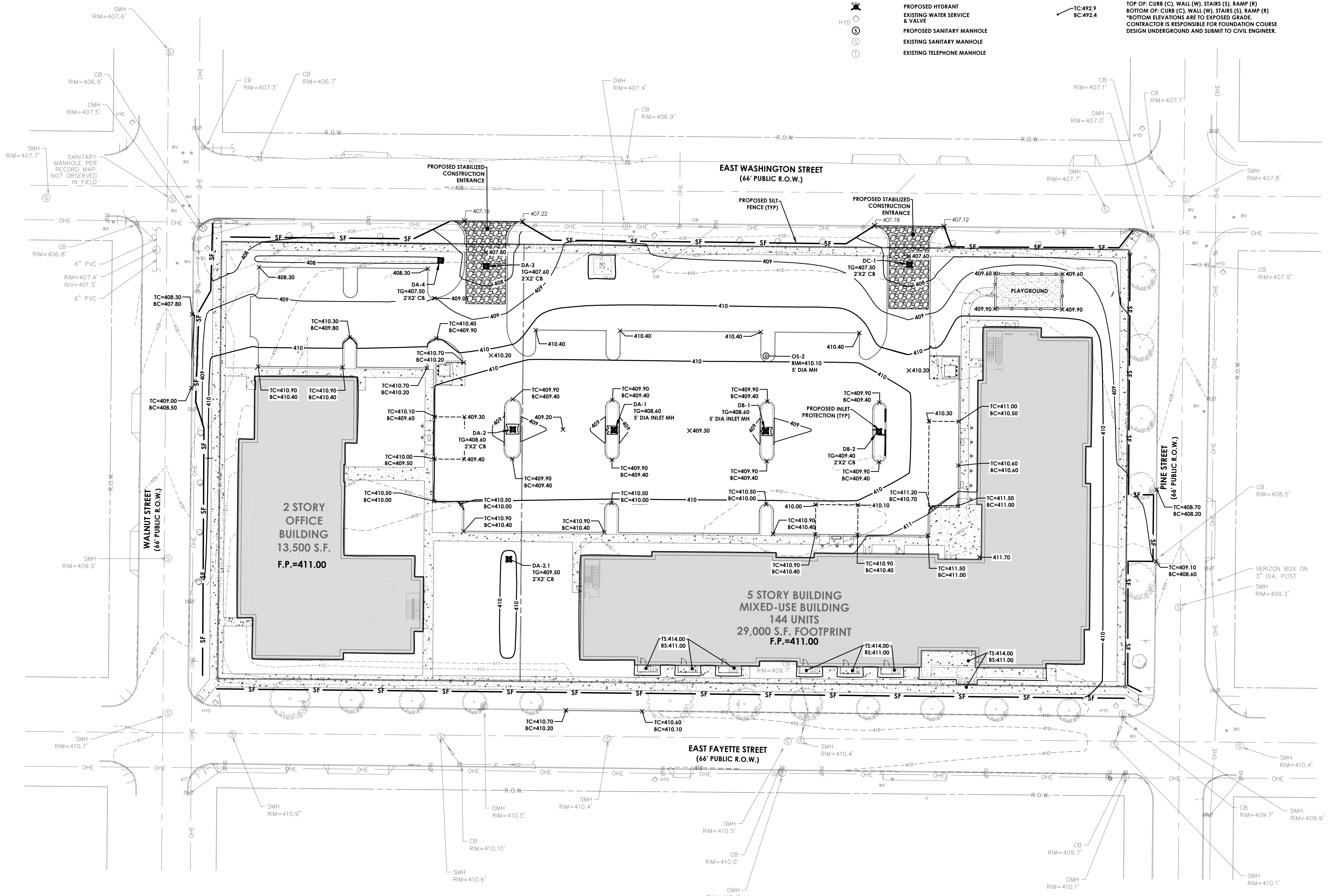
DRAWING NO.: C-104

DATE: FEBRUARY 2026



LEGEND

- PROPERTY BOUNDARY
- - - RIGHT OF WAY
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- PROPOSED SIGN
- EXISTING SIGN
- ⊕ PROPOSED STORM MANHOLE, INLET & END SECTION
- ⊕ EXISTING STORM MANHOLE & INLET
- ⊕ PROPOSED HYDRANT
- ⊕ EXISTING WATER SERVICE & VALVE
- ⊕ PROPOSED SANITARY MANHOLE
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING TELEPHONE MANHOLE
- OHE
- SF
- - - 399
- - - 400
- - - 399
- - - 400
- 400.6 x
- 401.60 x
- TC:492.9
- BC:492.4
- EXISTING OVERHEAD ELECTRIC, POLE AND LIGHT
- PROPOSED SILT FENCE AND INLET PROTECTION
- - - EXISTING MINOR CONTOUR
- - - EXISTING MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- - - PROPOSED MAJOR CONTOUR
- - - EXISTING SPOT ELEVATION
- - - PROPOSED SPOT ELEVATION
- TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- BOTTOM OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- *BOTTOM ELEVATIONS ARE TO EXPOSED GRADE.
- CONTRACTOR IS RESPONSIBLE FOR FOUNDATION COURSE DESIGN UNDERGROUND AND SUBMIT TO CIVIL ENGINEER.



CITY OF SYRACUSE
LOCATION SKETCH
N.T.S.

STAMP:

CLIENT:
HOUSING VISIONS UNLIMITED, INC.
1201 E. FAYETTE STREET
SYRACUSE, NY 13210

Passero Associates

242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

PROJECT MANAGER Andrew Burns, PE
PROJECT ENGINEER Andrew Burns, PE
DESIGNER Carole Horney

NO.	DATE	BY	DESCRIPTION

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GRADING & EROSION CONTROL PLAN
1201 E. FAYETTE ST.

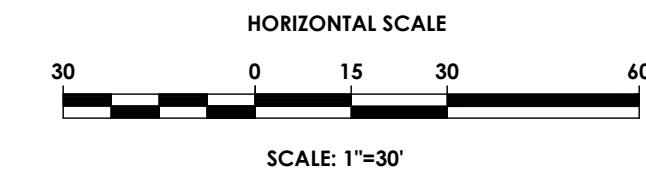
HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse
COUNTY: Onondaga STATE: NY

PROJECT NO.: 20233690.0003

DRAWING NO.: C-105

DATE: FEBRUARY 2026



LEGEND:

- PROPERTY BOUNDARY
- PROPOSED LIGHT POLE
- PROPOSED BUILDING MOUNTED LIGHT
- 0.5 FC
- 1 FC
- FOOT CANDLE COUNTOURS

**SEE DRAWINGS C201 & C203 FOR ,
INSTALLATION NOTES, DETAILS AND
COMPLETE PLANT SCHEDULE**

PLANT SCHEDULE

SYMBOL CODE QTY COMMON NAME

TREES

	MA	6	ADIRONDACK CRABAPPLE
	CC	7	APPALACHIAN RED EASTERN REDBUD
	PA	1	BLOODGOOD LONDON PLANE TREE
	PP	8	FAT ALBERT COLORADO SPRUCE
	CF	4	FLOWERING DOGWOOD
	GT	4	IMPERIAL® HONEY LOCUST
	AR	5	RED SUNSET® MAPLE
	LS	3	SLENDER SILHOUETTE SWEETGUM
	JC	7	SPARTAN JUNIPER
	MS	6	SPRING SNOW CRABAPPLE

SHRUBS

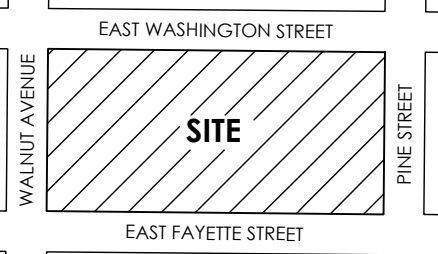
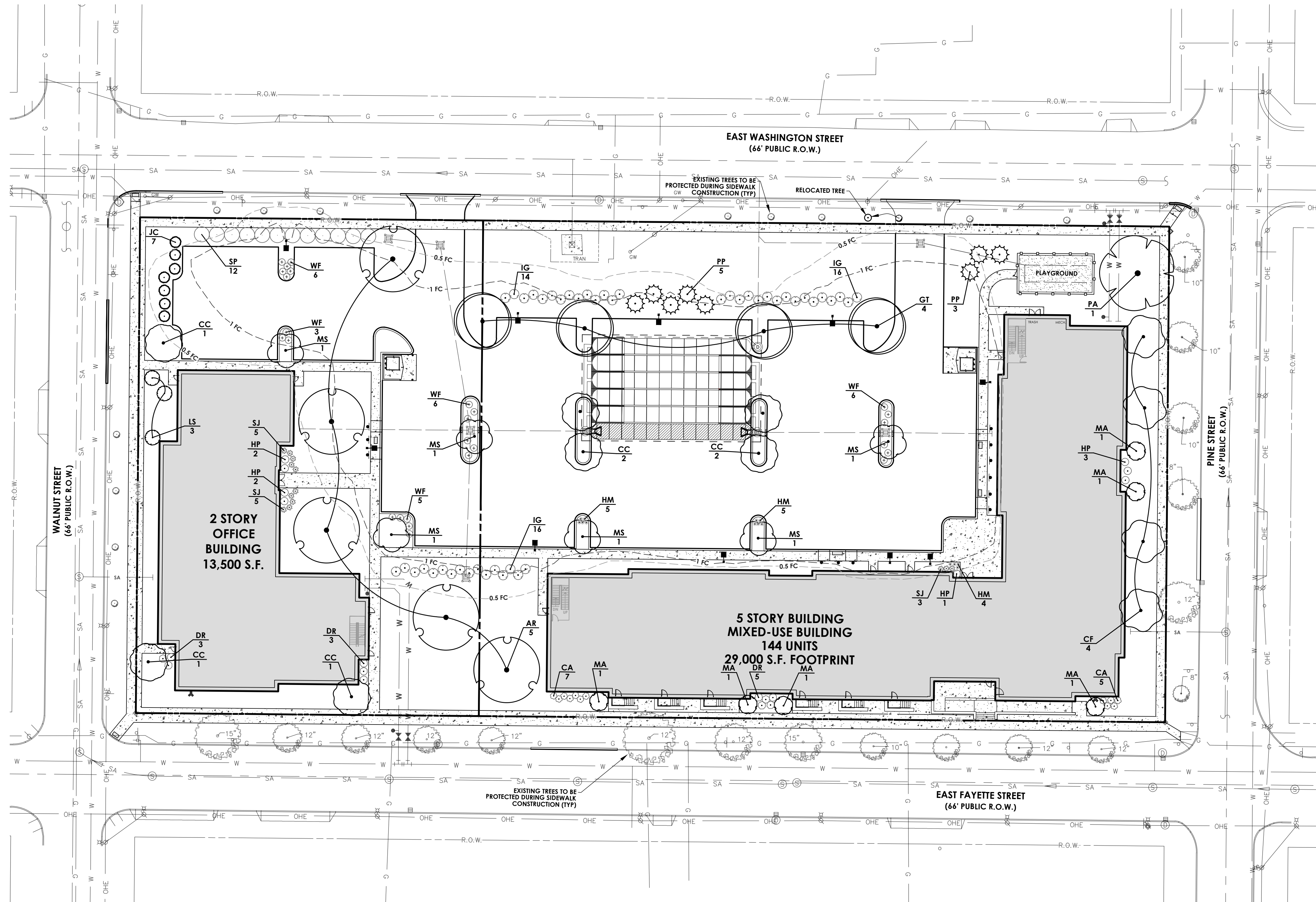
	HP	8	BOBO® PANICLE HYDRANGEA
	SJ	13	DOUBLE PLAY® RED SPIREA
	CA	12	HUMMINGBIRD SUMMERSWEET
	IG	46	INKBERRY HOLLY MALE
	DR	11	KODIAK® BLACK HONEYSUCKLE
	WF	26	MAGICAL ROBIN WEIGELA
	SP	12	MISS KIM KOREAN LILAC

PERENNIALS

	HM	14	STELLA DE ORO DAYLILY
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NOTES:

- IRRIGATION ALLOWANCE AND COORDINATION HANDLED BY GENERAL CONTRACTOR.
- ALL LANDSCAPING REQUIRES A TWO YEAR GUARANTEE.



**CITY OF SYRACUSE
LOCATION SKETCH
N.T.S.**

STAMP:

CLIENT:
HOUSING VISIONS UNLIMITED, INC.
1201 E. FAYETTE STREET
SYRACUSE, NY 13210

Passero Associates

242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

PROJECT MANAGER Andrew Burns, PE
PROJECT ENGINEER Andrew Burns, PE
DESIGNER Carole Horvey

NO. DATE BY DESCRIPTION

NO.	DATE	BY	DESCRIPTION

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**LANDSCAPING &
LIGHTING PLAN**

1201 E. FAYETTE ST.

HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse
COUNTY: Onondaga STATE: NY

PROJECT NO.:
20233690.0003

DRAWING NO.:
C-106

DATE:
FEBRUARY 2026

GENERAL NOTES:

- 1. CONTRACTOR IS RESPONSIBLE TO CALL CENTRAL STAKE-OUT @ 1-800-962-7962 PRIOR TO BEGINNING DEMOLITION.
2. CONTRACTOR TO KEEP ROAD CLEAR & CLEAN DURING DEMOLITION AND SHALL COORDINATE WITH THE CITY OF SYRACUSE AND THE OWNER.
3. CONTRACTOR IS RESPONSIBLE TO REMOVE NON- CONCRETE/MASONRY MATERIALS FROM THE PROJECT SITE.
4. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL UTILITIES AND CONDUITS ON SITE DURING CONSTRUCTION.
5. ANY EXISTING UTILITIES OR CONDUITS THAT ARE TO BE ABANDONED AND ARE NOT LOCATED IN THE AREA OF PROPOSED IMPROVEMENTS MAY BE CUT, CAPPED AND/OR FILLED.
6. ANY ABANDONMENT OF EXISTING ELECTRICAL, NATURAL GAS FACILITIES OR OTHER UTILITY SHALL BE COORDINATED WITH A REPRESENTATIVE FROM THE UTILITY COMPANY.
7. THE CITY RIGHT OF WAY SHALL NOT BE USED AS A STAGING AREA BY THE CONTRACTOR, UNLESS APPROVAL RECEIVED FROM THE CITY OF SYRACUSE. IF APPROVAL GRANTED, ALL SURFACES SHALL BE RESTORED TO A CONDITION DETERMINED BY THE CITY, WITHOUT EXCEPTION.
8. ALL PROPOSED SIGNS SHALL BE IN ACCORDANCE WITH MUTCD, LATEST EDITION.
9. ALL SITE FILL AREAS SHALL BE COMPACTED TO 95 % ORIGINAL DENSITY PER STANDARD PROCTOR TEST.
10. ALL DEMOLISHED BUILDING AND PAVEMENT AREAS (ASPHALT OR CONCRETE) NOT COVERED BY NEW CONSTRUCTION ARE TO BE RETURNED TO GRASS. SEE TOPSOIL AND SEEDING NOTES ON THIS SHEET.
11. CONTRACTOR TO OBTAIN R.O.W. WORK PERMIT AND ROAD CUT PERMIT PRIOR TO CONSTRUCTION.

DEMOLITION NOTES:

- 1. CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 PRIOR TO BEGINNING DEMOLITION.
2. WITHIN LIMIT LINES, ALL AT GRADE UTILITIES SUCH AS TRANSFORMERS, GENERATORS, HVAC UNITS, THE UNITS CONCRETE PAD AND ANY FENCING THAT SURROUNDS THE UNIT, TO BE REMOVED.
3. PRIOR TO ANY DEMOLITION TAKING PLACE, CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE WORK AREA OR THOSE EXPECTED TO BE AFFECTED BY NEW WORK, AND SUBSURFACE FEATURES.
4. CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS, RELOCATIONS, SERVICE INSTALLATIONS WITH THE LOCAL UTILITY COMPANIES.
5. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
6. ALL EXISTING FEATURES TO BE REMOVED ARE NOT SHOWN ON SUBSEQUENT PLANS FOR CLARITY.
7. CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES TO REMAIN. DAMAGE TO EXISTING FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
8. ALL SURFACES THAT ARE DISTURBED DUE TO UTILITY CONSTRUCTION, OUTSIDE OF THE MAJOR WORK AREAS, ARE TO BE RESTORED TO PRE-CONSTRUCTION CONDITION, IN ACCORDANCE WITH THE ASPHALT AND CONCRETE SECTION DETAILS INCLUDED IN THESE PLANS. LAWN AREAS ARE TO BE RE-ESTABLISHED WITH 4 INCHES OF TOPSOIL (MINIMUM) AND HYDROSEED.
9. ANY MATERIALS CONTAINING ASBESTOS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. NOTE THIS MAY INCLUDE UNDERGROUND UTILITIES.
10. ALL UTILITIES NOT SLATED FOR DEMOLITION ARE TO REMAIN FUNCTIONAL UPON COMPLETION OF DEMOLITION. THIS INCLUDES BYPASS PUMPING, IF NECESSARY.
11. EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL, COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.
12. AREAS OF ASPHALT AND CONCRETE REMOVAL SHALL BE SAWCUT WITH A NEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.
13. CONTRACTOR RESPONSIBLE FOR OBTAINING ALL DEMOLITION PERMITS AND INCLUDE ALL FEES ASSOCIATED WITH THOSE PERMITS, IN HIS BID.
14. IF ANY ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION, THE OWNER AND THE CONTRACTOR(S) SHALL IMMEDIATELY NOTIFY THE TOWN, ONONDAGA COUNTY HEALTH DEPARTMENT AND NYSDEC BEFORE CONTINUING THE DEMOLITION PROCESS.
15. ALL MATERIALS SHALL BE RECYCLED, WHEN APPROPRIATE.
16. THE CONTRACTOR SHALL OBTAIN ALL SEWER PERMITS PRIOR TO DEMOLITION.
17. ALL SPOIL MATERIALS FROM DEMOLITION OR EARTHWORK, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTORS EXPENSE.
18. ALL EXISTING STRUCTURES THAT ARE ABANDONED IN PLACE, SHALL BE REMOVED TO A DEPTH OF 2 FEET BELOW FINISHED GRADE. STRUCTURES SHALL BE FILLED WITH CRUSHED STONE, (MEETING NYS DOT STANDARD SPECIFICATION SECTION 304) COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST.

UTILITY NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY CONNECTIONS WITH MECHANICAL/ARCHITECTURAL DRAWINGS FOR LOCATION, PENETRATION, AND SIZES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH ALL SUBCONTRACTORS FOR PROPER UTILITY CONNECTION LOCATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY DESCRIBED TO ENGINEER AND ARCHITECT.
2. THE DEVELOPER AND HIS/HER CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRICAL, CABLE, TELEPHONE AND ANY OTHER UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET WITH APPROPRIATE AGENCY. PASSERO ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PERFORMANCE OF UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET.
3. IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL (AS NEEDED) IF THE EXISTING LATERAL IS NOT IN GOOD CONDITION.
4. ALL EXISTING SANITARY LATERALS NOT BEING USED SHALL BE PLUGGED BY BRICK AND SEALED WITH CONCRETE.

WATER SERVICE NOTES

- 1. WATER SERVICE LINES (LATERALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATION AND SPECIFICATIONS OF THE WATER DEPT.
2. WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET COVER FROM FINISHED GRADE IN PAVED AREAS.
3. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
4. WATER SERVICE MATERIAL SHALL BE COPPER OR DIP.
5. COORDINATE WITH WATER SUPPLIER ON ALL CONNECTIONS OR ABANDONMENTS.

SEWER USE LAW

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR ONONDAGA COUNTY SEWER USE LAW.

SANITARY NOTES

- 1. SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE STATE, COUNTY AND LOCAL MUNICIPALITY
2. MATERIALS
- LATERALS - 6" MIN. INSTALLED AT 3/8" PER FOOT MIN. PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
- JOINTING MATERIALS - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS, GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
3. ALL SANITARY SEWER INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE SPECIFICATIONS, REGULATIONS, AND POLICIES OF THE SEWER DISTRICT.
4. ALL LATERALS SHALL HAVE A CLEANOUT AT THE PROPERTY LINE OR EASEMENT LINE.
5. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER/COMBINATION SEWER. (FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS). ALL DISCHARGES TO THE SANITARY / COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE COUNTY SEWER USE LAW.
6. SEPARATION - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

CONSTRUCTION SEQUENCE FOR GRADING AND EROSION CONTROL

- 1. INSTALL EROSION CONTROL MEASURES, INCLUDING SILT FENCE
2. CLEAR AND GRUB THE PROJECT IMPROVEMENTS AREAS.
3. STRIP TOPSOIL AND STOCKPILE FOR LATER USE.
4. GRADE IMPROVEMENTS AREAS WITHIN THE PROJECT SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE.
5. REPLACE TOPSOIL AND FINE GRADE.
6. SEED ALL DISTURBED AREAS WITHIN 10 DAYS AFTER FINAL GRADING. CONTRACTOR IS RESPONSIBLE TO RESEED IF GRADING IS UNSATISFACTORY.
7. UPON APPROVAL OF THE CITY, REMOVE ALL TEMPORARY SITUATION CONTROLS.
8. SLOPES SHALL NOT EXCEED 1" VERTICAL TO 3" HORIZONTAL MAX. MAINTAIN 1"4 WHERE POSSIBLE.
9. MINIMUM 4" OF TOPSOIL IS TO BE PLACED ON ALL GRASS AREAS.
10. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITIONS AOB. CONTRACTOR SHALL PROVIDE FOR THIS COST IN HIS CONTRACT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITUATION AND EROSION CONTROL MEASURES FROM INSTALLATION THROUGH MAINTENANCE AND REMOVAL AFTER REVEGETATION HAS BEEN ESTABLISHED.
12. ALL EROSION AND SEDIMENT CONTROL METHODS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL
13. GRADE ALL AREAS AROUND BUILDING TO CREATE POSITIVE DRAINAGE FLOW AWAY FROM THE FOUNDATION AT A MINIMUM OF 2%.

EROSION CONTROL NOTE:

AT THE VERY MINIMUM, EROSION CONTROL SHALL BE AS SHOWN ON THE GRADING & EROSION CONTROL PLAN. EROSION CONTROL MAY CONSIST OF SEDIMENT TRAPS AND/OR ENVIRONMENTAL FENCES. THE CONTRACTOR AND THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INTEGRITY, MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES UNTIL NO LONGER DEEMED NECESSARY BY THE CITY OR ITS REPRESENTATIVE.

TEMPORARY SEEDING NOTE

PROVIDE THE FOLLOWING SEED MIXTURES DURING CONSTRUCTION (WEATHER DEPENDENT):
TEMPORARY SEEDING:
RYEGRASS (ANNUAL OR PERENNIAL) @ 30LBS. PER AC. OR 0.7 LBS. PER 1000 SF.

AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH OR SODDED. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN(S).

GRADING NOTE

GRADE ALL AREAS AROUND BUILDING TO CREATE POSITIVE DRAINAGE FLOW AWAY FROM THE FOUNDATION AT A MINIMUM OF 2%.

LANDSCAPING NOTES:

- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN AND STATE DESIGN STANDARDS AND CODES.
2. IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
3. STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK"; ANSI Z60.1 (LATEST EDITION) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE THE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS DELIVERED AND INSTALLED ON THIS PROJECT.
4. ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
5. ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY IN THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
6. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AN MEET SIZE REQUIREMENTS AS INDICATED ON THE PLANT LIST.
7. ALL TREES MUST BE STRAIGHT-TRUNKED, INJURY FREE, HAVE A FULL, SYMMETRICAL CROWN (HEAD) AND MEET ALL REQUIREMENTS SPECIFIED (E.G. SINGLE STEM, MULTI-STEM, HEAVY BRANCHED, ETC.).
8. ANY PROPOSED DEVIATION TO THE LANDSCAPE PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS. THE BID PRICE SUBMITTED WILL ASSUME THAT ALL PLANT MATERIALS DELINEATED WILL BE SUPPLIED AND INSTALLED. ANY DISCREPANCIES IN THE QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR DESIGN LANDSCAPE ARCHITECT (OWNER'S REPRESENTATIVE) PRIOR TO COMPLETING A BID PRICE.
10. ALL GRADING AND UTILITY WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
11. THE FINAL LOCATION OF TREES AND OTHER LANDSCAPING SHALL BE DETERMINED IN THE FIELD BASED ON UTILITY STAKEOUT AND SHALL NOT CONFLICT WITH TRAFFIC SIGNS AND/OR UTILITIES. STAKE OUT SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
12. ANY CONCERNS RELATED TO SITE CONDITIONS AND/OR PLANT LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. PLANTING BACKFILL MIXTURE: 4 PARTS TOPSOIL (ON-SITE OR IMPORTED), 1 PART PEAT MOSS, 1/2 PART WELL ROTTED MANURE AND 10 LBS. 5-0-5 PLANTING FERTILIZER, MIXED THOROUGHLY PER CUBIC YARD.
14. MULCH ALL PLANT BEDS, AND INDIVIDUAL TREES IN LAWN AREAS WITH SHREDED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3") INCHES UNLESS OTHERWISE SPECIFIED ON PLANTING DETAILS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT DUE TO SITE CONDITIONS.
15. ANY PLANT WHICH TURNS BROWN, DEFOOLIATES OR DIES PRIOR TO FINAL ACCEPTANCE BY THE OWNER OR DESIGN LANDSCAPE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH THE SAME PLANT (SPECIES, VARIETY AND SIZE) AS SPECIFIED ON THE PLANT SCHEDULE (LIST).
16. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIALS AND LAWN AREAS UNTIL THE PROJECT HAS RECEIVED FINAL ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: WATERING, MULCHING, FERTILIZING, SPRAYING (FUNGICIDE, PESTICIDE, ANTI-DESICCANT), AS WELL AS RAISING PLANTS THAT HAVE SETTLED TOO DEEP OR REQUIRE STRAIGHTENING.
17. UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, THE LANDSCAPE MATERIALS SHALL BE GUARANTEED FOR TWO (2) YEARS. THE GUARANTEE SHALL BE INCLUSIVE OF ALL MATERIAL AND LABOR COSTS. AT THE END OF THE GUARANTEE PERIOD THE OWNERS REPRESENTATIVE WILL INSPECT ALL PLANT MATERIALS. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REQUIRED REPLACEMENTS WITH PLANT MATERIALS MEETING THE SPECIFICATIONS (E.G. SPECIES, SIZE AND CHARACTER).
18. ALL AREAS DISTURBED BY SITE GRADING AND/OR UTILITY INSTALLATION SHALL RECEIVE APPROVED TOPSOIL (BASED ON APPROVED SAMPLES SUBMITTED BY THE CONTRACTOR) AND SPREAD TO A DEPTH NOT LESS THAN SIX (6) INCHES AFTER COMPACTION. TOPSOIL PLACED FOR LAWNS SHALL BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. THIS IS EXCLUDING FOUNDATION PLANT BEDS, AND ENTRANCE AREAS.
19. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE SITE PLAN ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE TO CALL FOR A UTILITY STAKEOUT PRIOR TO COMMENCING PLANT INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES WHICH OCCURS AS A RESULT OF LANDSCAPE INSTALLATION OPERATIONS.
20. EXISTING TREES INDICATED TO BE REMOVED SHALL OCCUR UNDER THE SITE CONTRACT FOR THIS PROJECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANTINGS OR RESTORATION OF THE DISTURBED AREA (LAWNS, PLANT BEDS, ISLANDS).
21. PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL TREE AND PLANT BED AREAS.
22. ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE, CONCRETE, OR OTHER BORDER IS SPECIFIED.

TOPSOIL AND SEEDING NOTES:

- 1. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPREADING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS (BEDS AND ISLANDS).
2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
3. REMOVE ALL EXISTING VEGETATION DURING GRADING PROCES.
4. APPLY MINIMUM OF FOUR (4) INCHES OF CLEAN TOPSOIL (IMPORTED OR SCREEN ON-SITE) AND FINE GRADE, LEAVING TOPSOIL IN A LOOSE AND FRIABLE CONDITION FOR SEEDING.
5. LIME SOIL OR ADD OTHER ORGANIC AMENDMENTS AS NECESSARY TO ACHIEVE A SOIL PH BETWEEN 5.5 - 7.0.
6. LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
7. SEEDING SHOULD BEGIN IMMEDIATELY UPON COMPLETION OF FINE GRADING. SEED SHOULD BE PRESSED INTO THE SOIL TO CREATE GOOD SEED-TO-SOIL CONTACT, NO DEEPER THAN THE THICKNESS OF THE SEED.
8. FERTILIZING, APPLY 10-0-10 FERTILIZER EVENLY AT THE RATE OF 20 POUNDS PER 1000 SQ FT. NO FERTILIZER CONTAINING PHOSPHORUS IS PERMITTED ON SITE.
9. SEED SHOULD BE APPLIED EITHER BY HAND BROADCASTING OR HYDRO SEEDING. TWO PASSES SHALL BE MADE IN PERPENDICULAR DIRECTIONS TO INSURE PROPER COVERAGE.
10. LAWN SEED MIX

MIX A: SEEDING RATE: 6 LBS./1,000 SQ.FT
LOW MAINTENANCE FESCUE LAWN
PREFERRED SEED : LOW MAINTENANCE GRASS SEED MIX OR APPROVED EQUAL

25% FIRELY HARD FESCUE
25% BIG HORN GT HARD/SHEEP
20% INTRIGUE CHEWINGS FESCUE
20% QUATRO SHEEP FESCUE
10% MINOTAUR HARD FESCUE

MIX B: SEEDING RATE: 4LBS./1,000 SQ.FT
OCCASIONAL WET - WET LOCATIONS:
20% RED TOP 20% VIRGINIA WILD RYEGRASS
20% AUKALI GRASS 20% FOX SEDGE
10% AUTUMN BENTGRASS 10% FOWL BLUEGRASS

- 11. DRY APPLICATION MULCH
A. STRAW MULCH SHOULD BE APPLIED TO NEWLY SEEDED AREAS WITHIN 12 HOURS IF HYDRO MULCH IS NOT UTILIZED.
B. DRY APPLICATION, STRAW: STALKS OF OATS, WHEAT, RYE OR OTHER APPROVED CROPS WHICH ARE FREE OF NOXIOUS WEEDS. WEIGHT SHALL BE BASED ON A 15 PERCENT MOISTURE CONTENT.
C. DRY APPLICATION: WITHIN ONE DAY AFTER SEEDING, COVER THE SEEDED AREAS WITH A UNIFORM BLANKET OF STRAW MULCH AT THE RATE OF 100 POUNDS PER 1000 SQ FT OF SEEDED AREA.
12. HYDRO APPLICATION: APPLY APPROVED MULCH IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDED RATES OF APPLICATION. APPLY SEEDING MATERIALS WITH AN APPROVED HYDRO SEEDER.

A. COLORED WOOD CELLULOSE FIBER PRODUCT SPECIFICALLY DESIGNED FOR USE AS A HYDRO-MECHANICAL APPLIED MULCH. ACCEPTABLE PRODUCT: CONWED HYDRO MULCH, CONWED FIBERS, 231 4TH STREET SW, HICKORY, NC

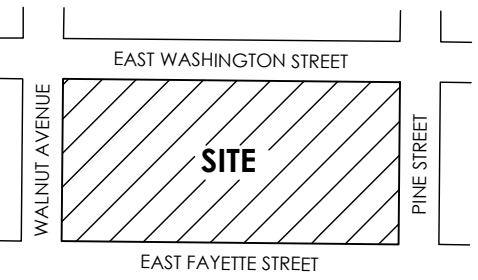
- 13. FILL TANK WITH WATER AND AGITATE WHILE ADDING SEEDING MATERIALS. USE SUFFICIENT FERTILIZER, MULCH, AND SEED TO OBTAIN THE SPECIFIED APPLICATION RATE. ADD SEED TO THE TANK AFTER THE FERTILIZER AND MULCH HAVE BEEN ADDED. MAINTAIN CONSTANT AGITATION TO KEEP CONTENTS IN HOMOGENEOUS SUSPENSION. PROLONGED DELAYS IN APPLICATION OR AGITATION THAT MAY BE INJURIOUS TO THE SEED WILL BE THE BASIS OF REJECTION OF MATERIAL REMAINING IN TANK.
14. DISTRIBUTE UNIFORMLY A SLURRY MIXTURE OF WATER, SEED, FERTILIZER, AND MULCH AT A MINIMUM RATE OF 57 GALLONS PER 1000 SQ FT (2500 GALLONS PER ACRE). THE OWNER AND PROJECT REPRESENTATIVE MAY ORDER THE AMOUNT OF WATER INCREASED IF DISTRIBUTION OF SEEDING MATERIALS IS NOT UNIFORM.

TEMPORARY CONSTRUCTION AREA SEEDING NOTES:

- 1. THE AREA MUST BE ROUGH GRADED AND SLOPES PHYSICALLY STABLE.
2. SEEDING MUST TAKE PLACE WITHIN 24 HOURS OF DISTURBANCE OR SCARIFICATION OF THE SOIL WILL BE NEEDED PRIOR TO SEEDING.
3. TYPICALLY FERTILIZER OR LIME IS NOT USED FOR TEMPORARY SEEDINGS.
4. ANY SEEDING METHOD MAY BE USED THAT PROVIDES UNIFORM APPLICATION OF SEED TO THE AREA.
5. SEEDING

Table with 3 columns: PLANTING SEASON, SPECIES, RATE IN LBS./ACRE. Rows include Spring/Summer/Early Fall with RyeGrass (Annual or Perennial) at 30 lbs/acre, and Late Fall/Early Winter with Winter Rye (Cereal Rye) at 100 lbs/acre.

*MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/ACRE. WOOD FIBER HYDROMULCH OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL MAY BE USED IF APPLIED ACCORDING TO SPECIFICATIONS.



CITY OF SYRACUSE LOCATION SKETCH N.T.S.

STAMP:

CLIENT: HOUSING VISIONS UNLIMITED, INC. 1201 E. FAYETTE STREET SYRACUSE, NY 13210

Passero Associates

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PROJECT MANAGER: Andrew Burns, PE
PROJECT ENGINEER: Andrew Burns, PE
DESIGNER: Carole Horney

Table with 4 columns: NO., DATE, BY, DESCRIPTION. The table is mostly empty.

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NOTES & DETAILS

1201 E. FAYETTE ST.

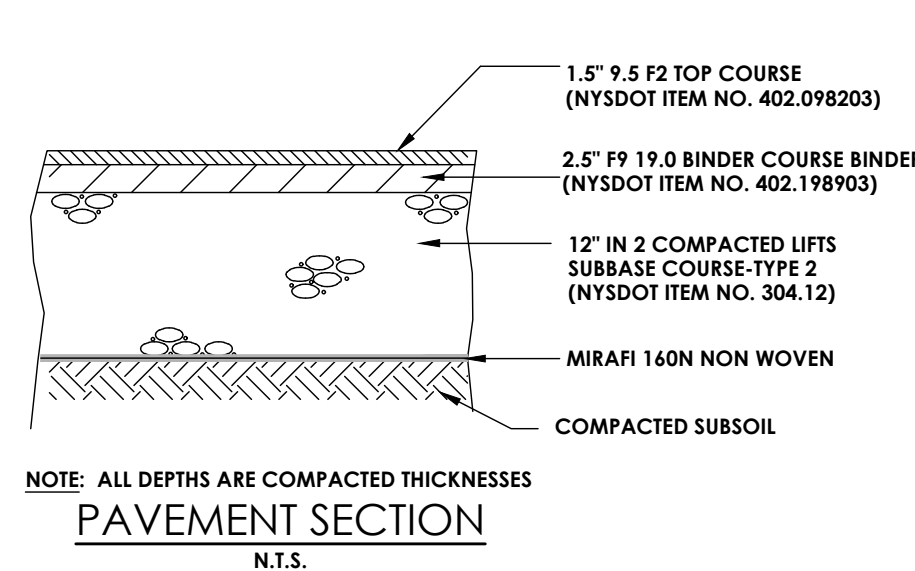
HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse COUNTY: Onondaga STATE: NY

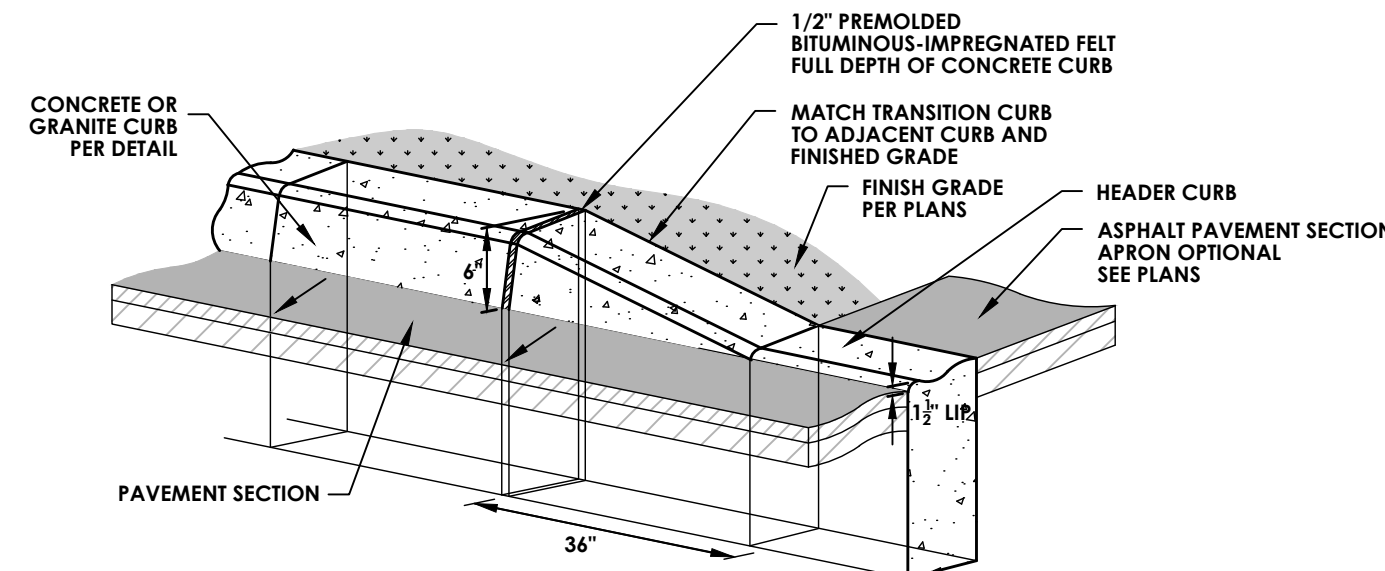
PROJECT NO.: 20233690.0003

DRAWING NO.: C-201

DATE: FEBRUARY 2026

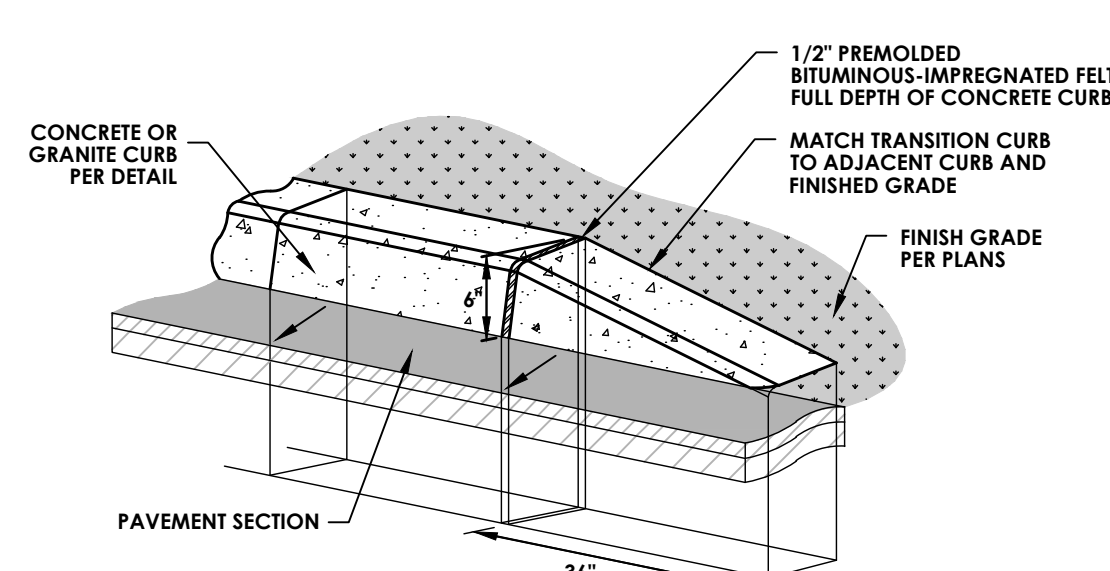


NOTE: ALL DEPTHS ARE COMPACTED THICKNESSES
PAVEMENT SECTION
N.T.S.



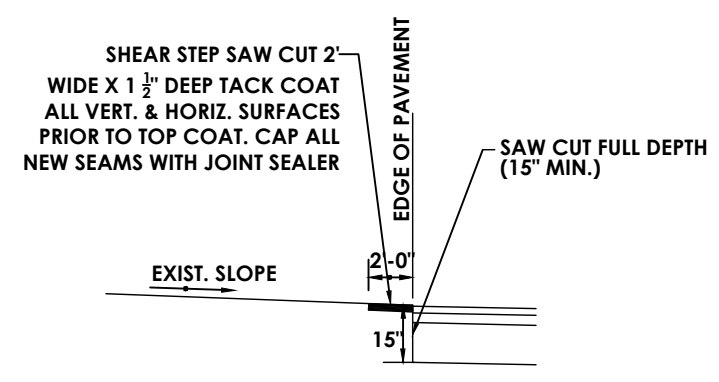
NOTE: 1. TRANSITION CURB LENGTHS SHALL BE 36\"/>

TRANSITION CURB TO HEADER CURB
N.T.S.

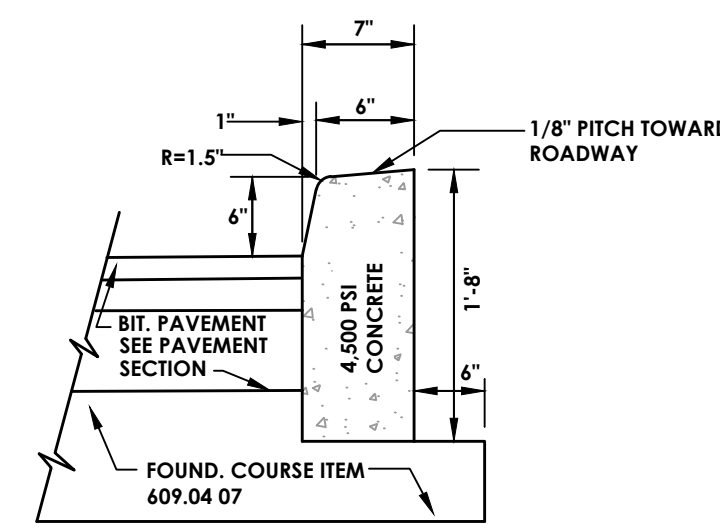


NOTE: 1. TRANSITION CURB LENGTHS SHALL BE 36\"/>

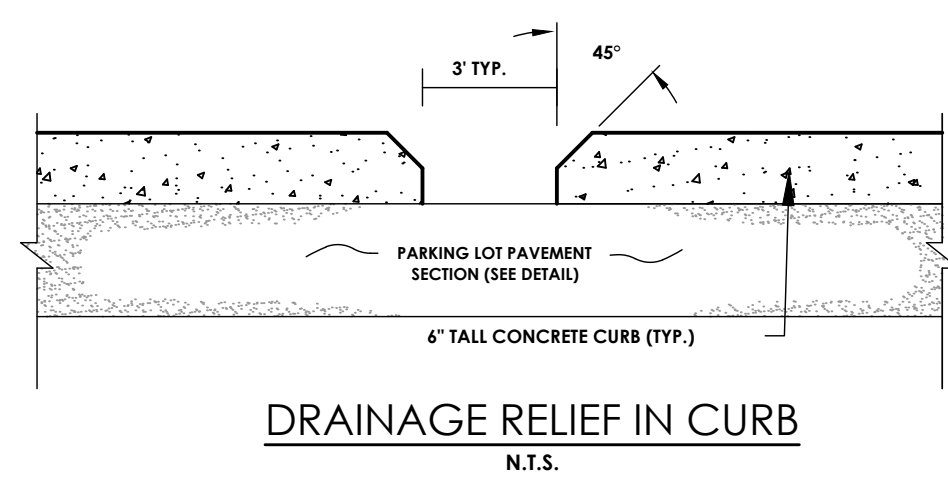
TRANSITION CURB TO GRADE
N.T.S.



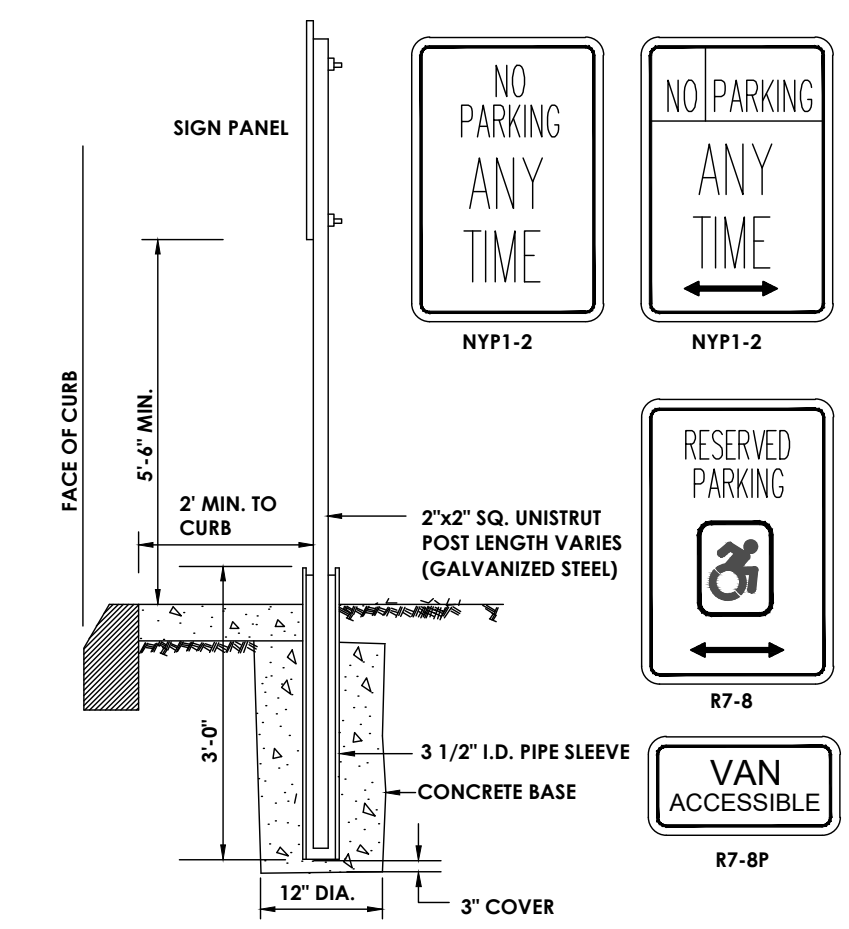
(FOR CONNECTION TO EXISTING PAVEMENT)
PAVEMENT KEY DETAIL
N.T.S.



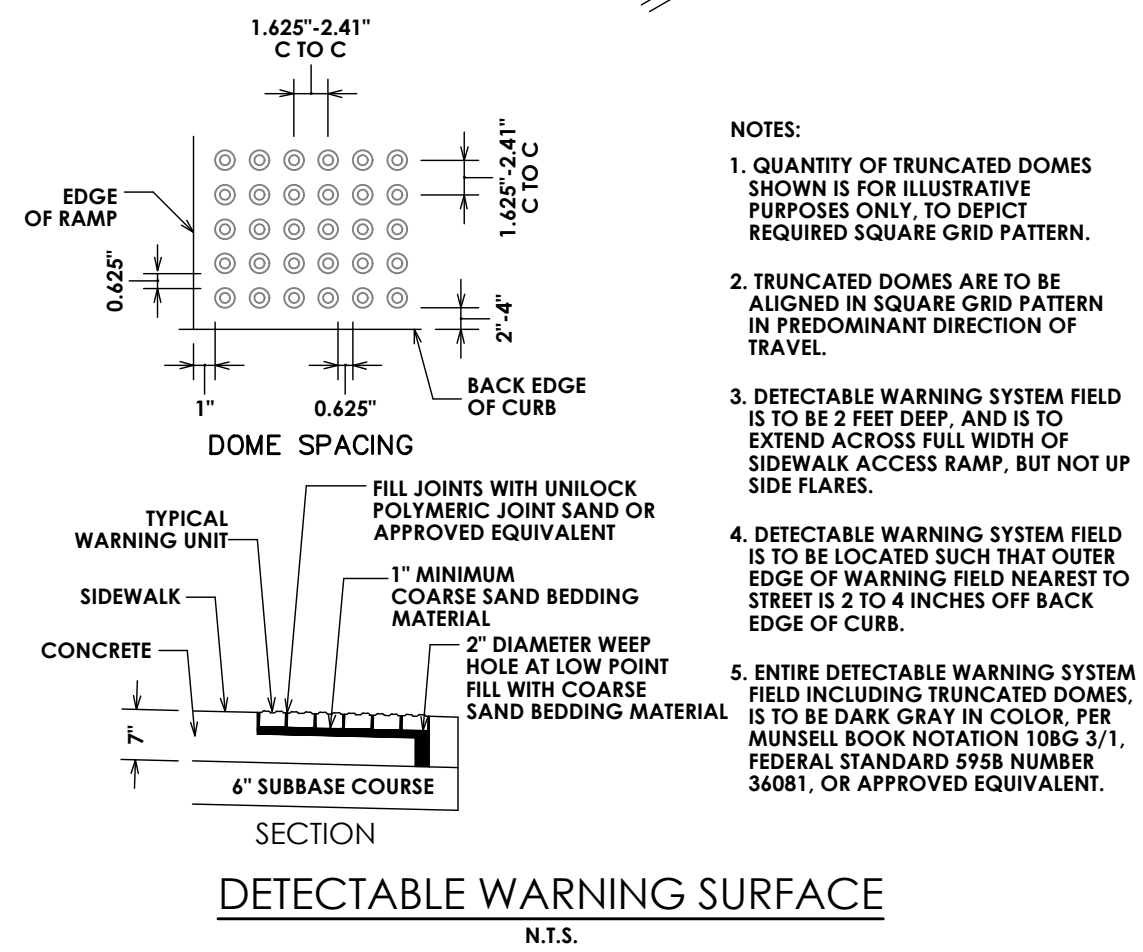
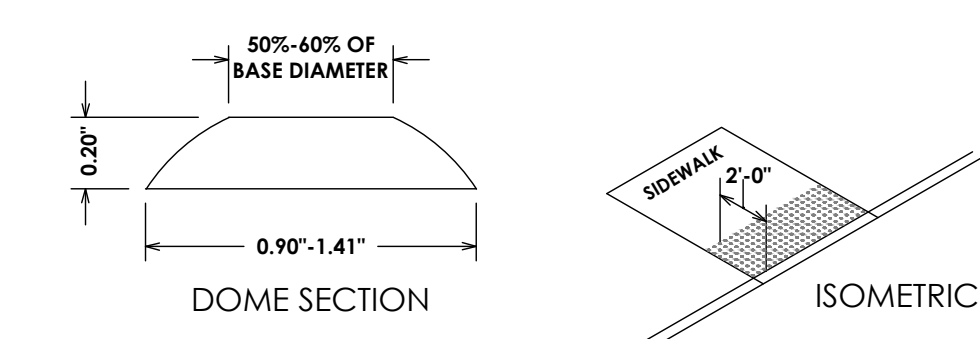
CONCRETE CURB DETAIL
N.T.S.



DRAINAGE RELIEF IN CURB
N.T.S.

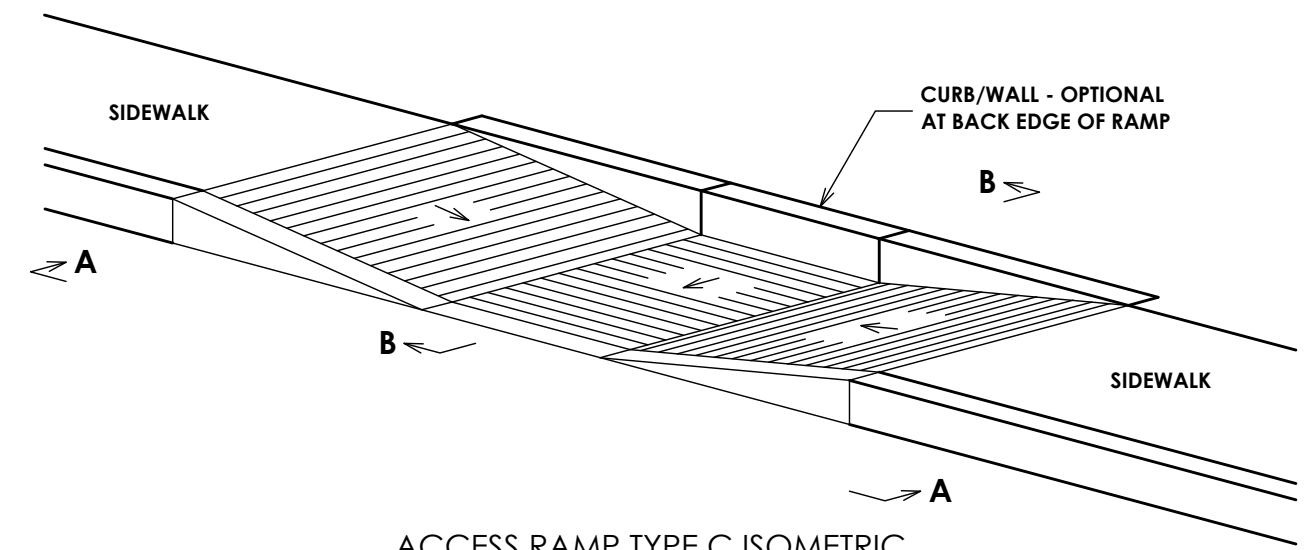


TYPICAL POST MOUNT HANDICAP SIGN INSTALLATION
(SIGN IN LANDSCAPE AREA OR SIDEWALK)
N.T.S.

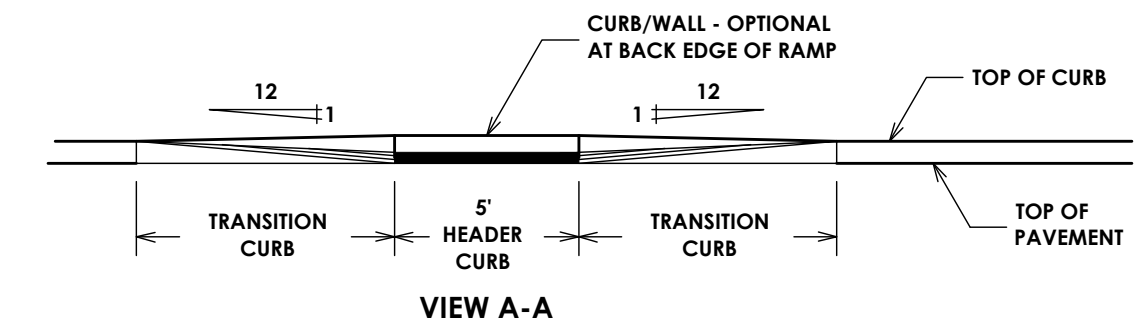


- NOTES:
1. QUANTITY OF TRUNCATED DOMES SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY. TO DEPICT REQUIRED SQUARE GRID PATTERN.
 2. TRUNCATED DOMES ARE TO BE ALIGNED IN SQUARE GRID PATTERN IN PREDOMINANT DIRECTION OF TRAVEL.
 3. DETECTABLE WARNING SYSTEM FIELD IS TO BE 2 FEET DEEP, AND IS TO EXTEND ACROSS FULL WIDTH OF SIDEWALK ACCESS RAMP, BUT NOT UP SIDE FLARES.
 4. DETECTABLE WARNING SYSTEM FIELD IS TO BE LOCATED SUCH THAT OUTER EDGE OF WARNING FIELD NEAREST TO STREET IS 2 TO 4 INCHES OFF BACK EDGE OF CURB.
 5. ENTIRE DETECTABLE WARNING SYSTEM FIELD INCLUDING TRUNCATED DOMES, IS TO BE DARK GRAY IN COLOR, PER MUNSSELL BOOK NOTATION 10B 3/1, FEDERAL STANDARD 595B NUMBER 36081, OR APPROVED EQUIVALENT.

DETECTABLE WARNING SURFACE
N.T.S.

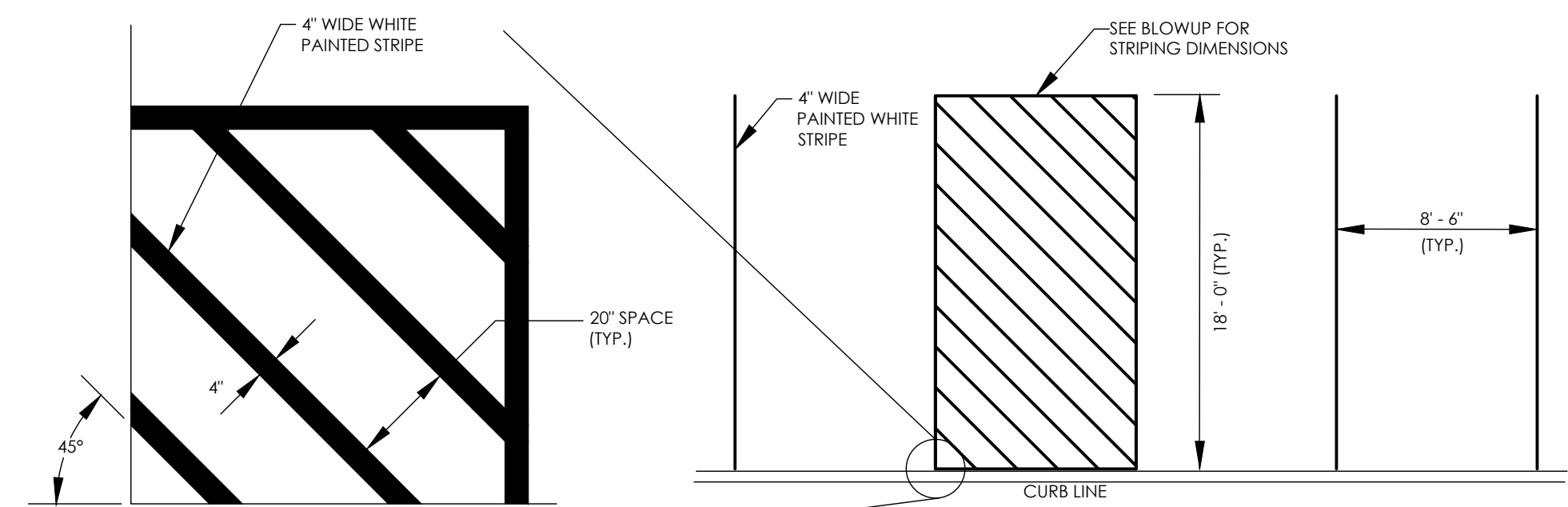


ACCESS RAMP TYPE C ISOMETRIC

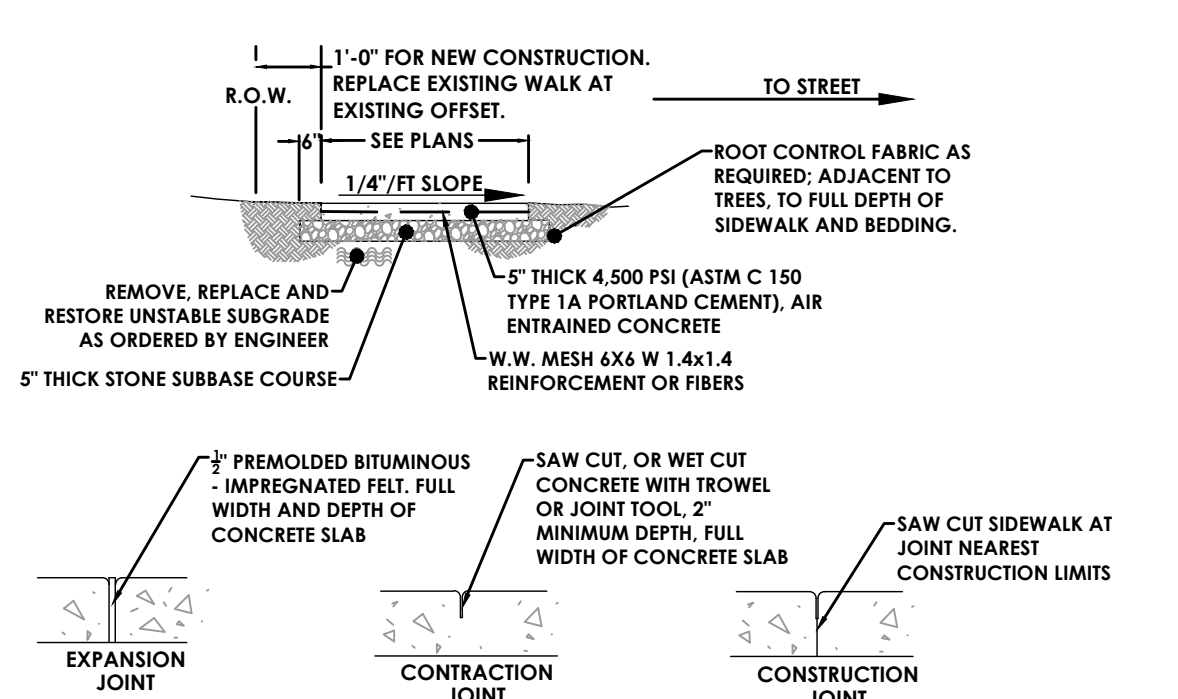


- NOTES:
1. 1:12 IS MAXIMUM SLOPE OF ACCESS RAMP AND SIDE FLARES.
 2. SURFACE OF ACCESS RAMP IS TO BE STABLE, FIRM AND SLIP-RESISTANT. TEXTURE SURFACE WITH COARSE BROOM RUNNING TRANSVERSE TO SLOPE OF ACCESS RAMP.

SIDEWALK ACCESS RAMP
N.T.S.

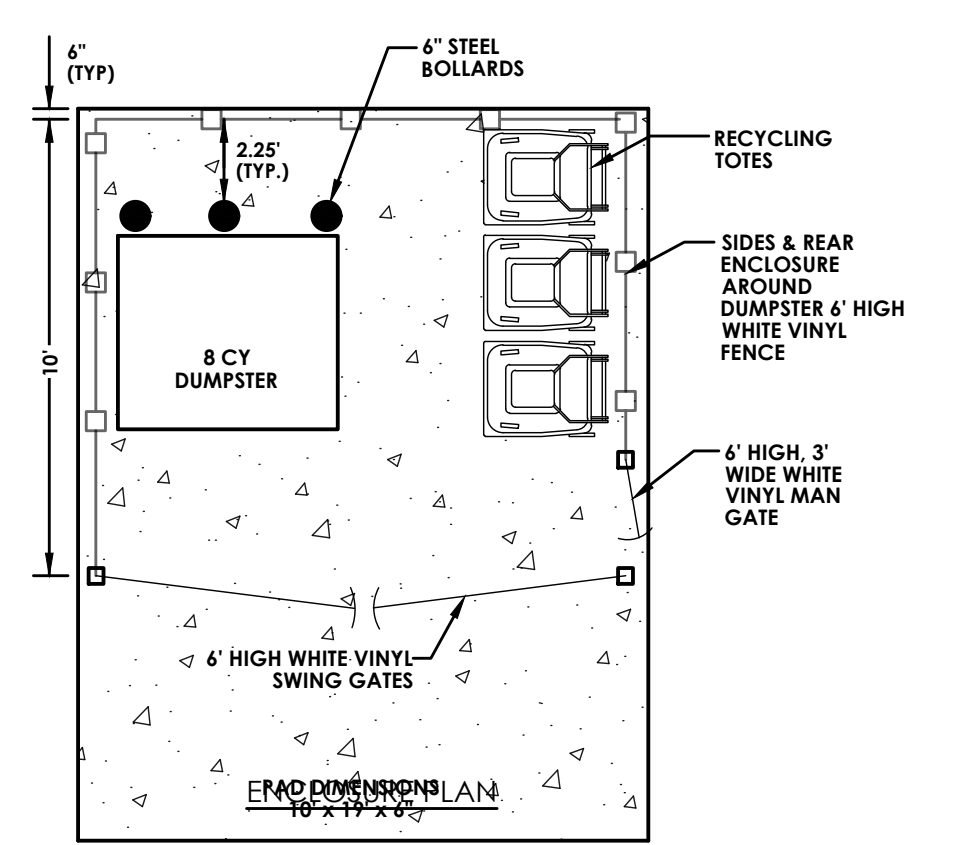
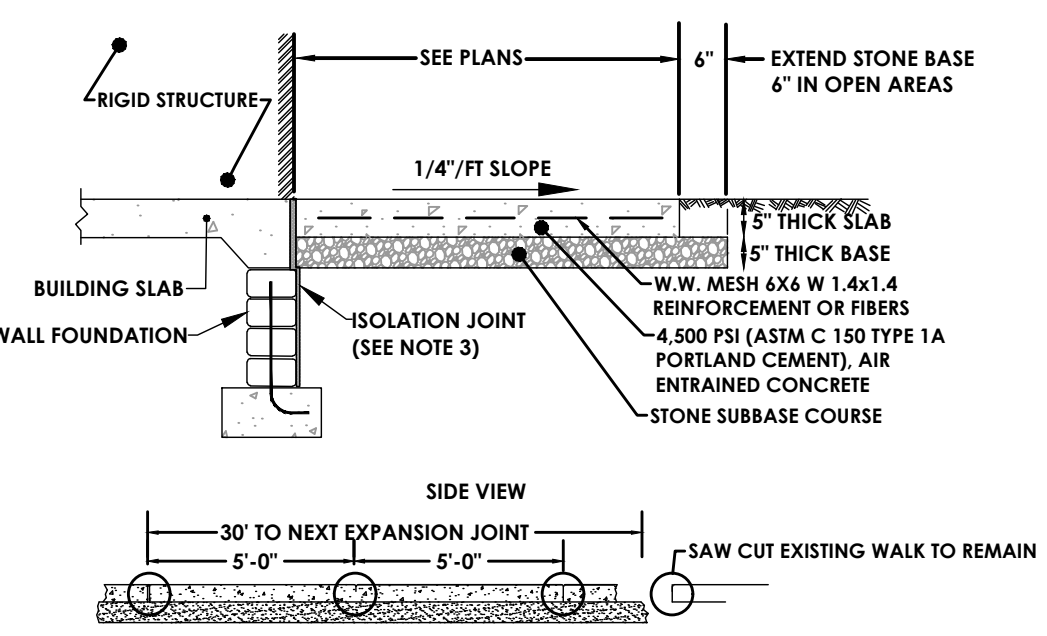


TYPICAL PARKING PAVEMENT MARKING LAYOUT
N.T.S.

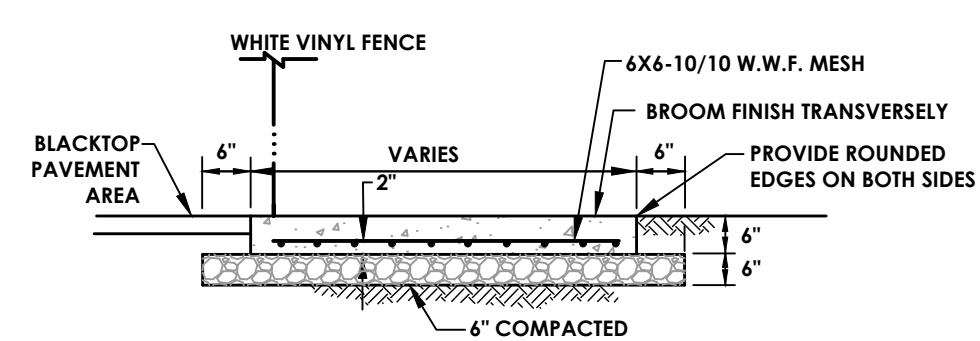


- NOTES:
1. THE GRAVEL OR STONE BASE SHALL BE ON A WELL GRADED AND COMPACTED SUBGRADE. THE GRAVEL OR STONE SHALL BE THOROUGHLY COMPACTED.
 2. CONCRETE SIDEWALKS ADJACENT TO DRIVEWAYS SHALL BE INCREASED TO A 6\"/>

TYPICAL SIDEWALK
N.T.S.

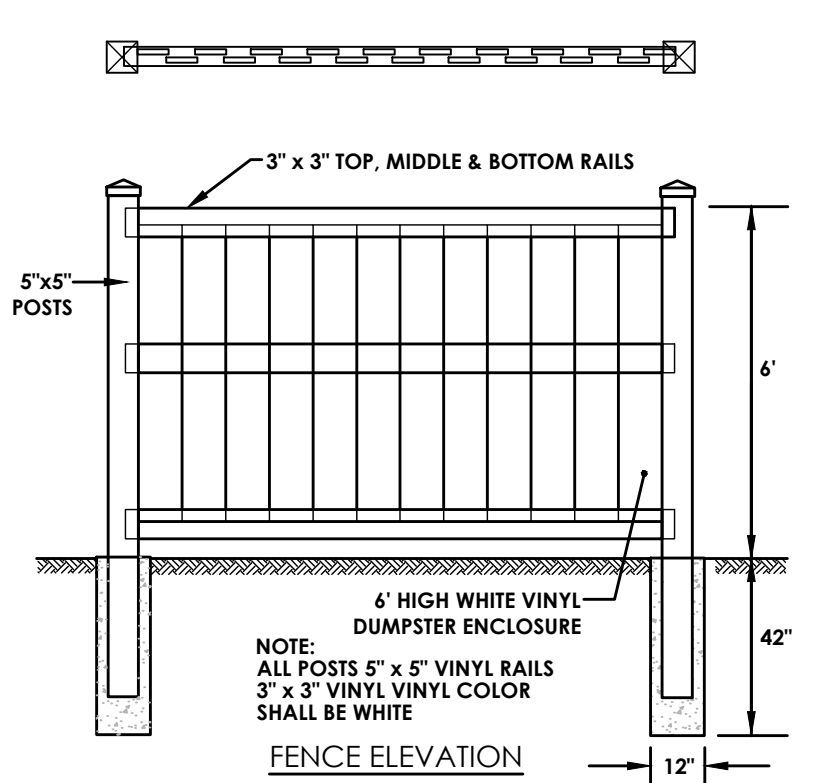


DUMPSTER ENCLOSURE
N.T.S.

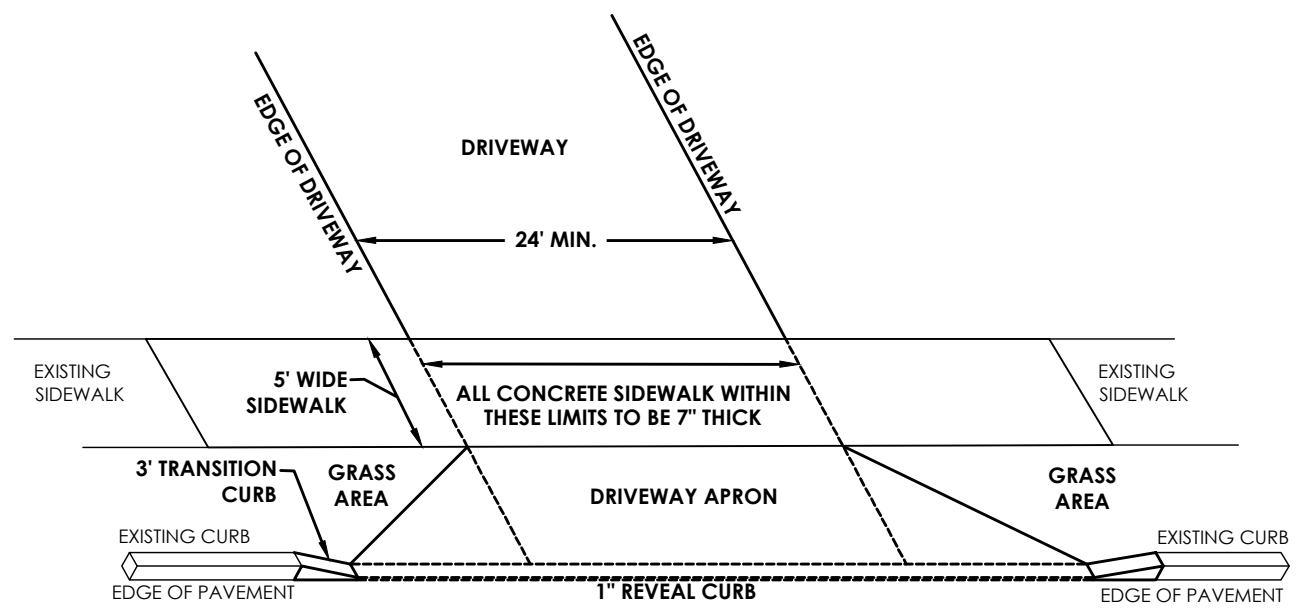


1. CONCRETE SHALL BE 4000 P.S.I. CLASS A* AIR ENTRAINED CONCRETE.
2. FULL DEPTH EXPANSION JOINTS SHALL BE PROVIDED EVERY 25' DUMMY OR MARKED JOINTS SHALL BE AT 5' FOOT SPACING.

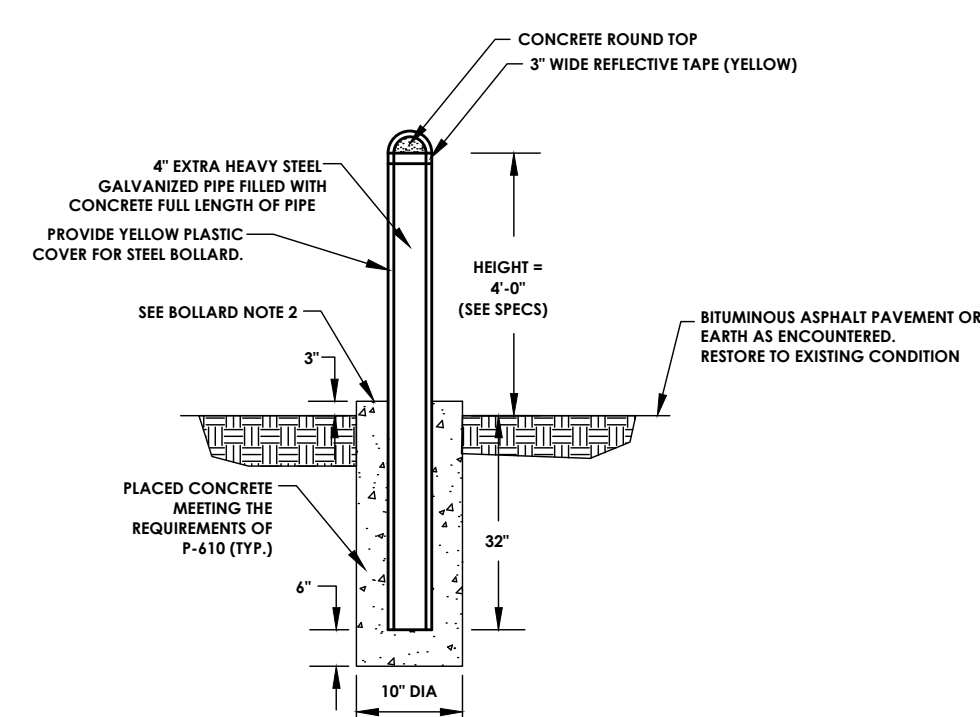
CONCRETE DUMPSTER PAD
N.T.S.



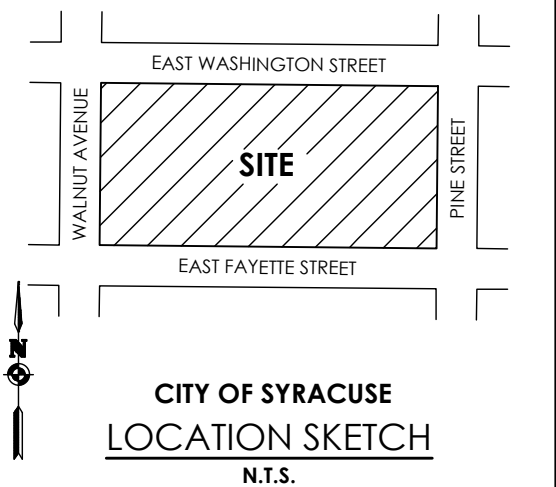
FENCE ELEVATION



DRIVEWAY APRON
N.T.S.



BOLLARD
N.T.S.



STAMP:

CITY OF SYRACUSE
LOCATION SKETCH
N.T.S.

CLIENT:
HOUSING VISIONS UNLIMITED, INC.
1201 E. FAYETTE STREET
SYRACUSE, NY 13210

Passero Associates

242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

PROJECT MANAGER Andrew Burns, PE
PROJECT ENGINEER Andrew Burns, PE
DESIGNER Carole Horvay

NO.	DATE	BY	DESCRIPTION

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DETAILS

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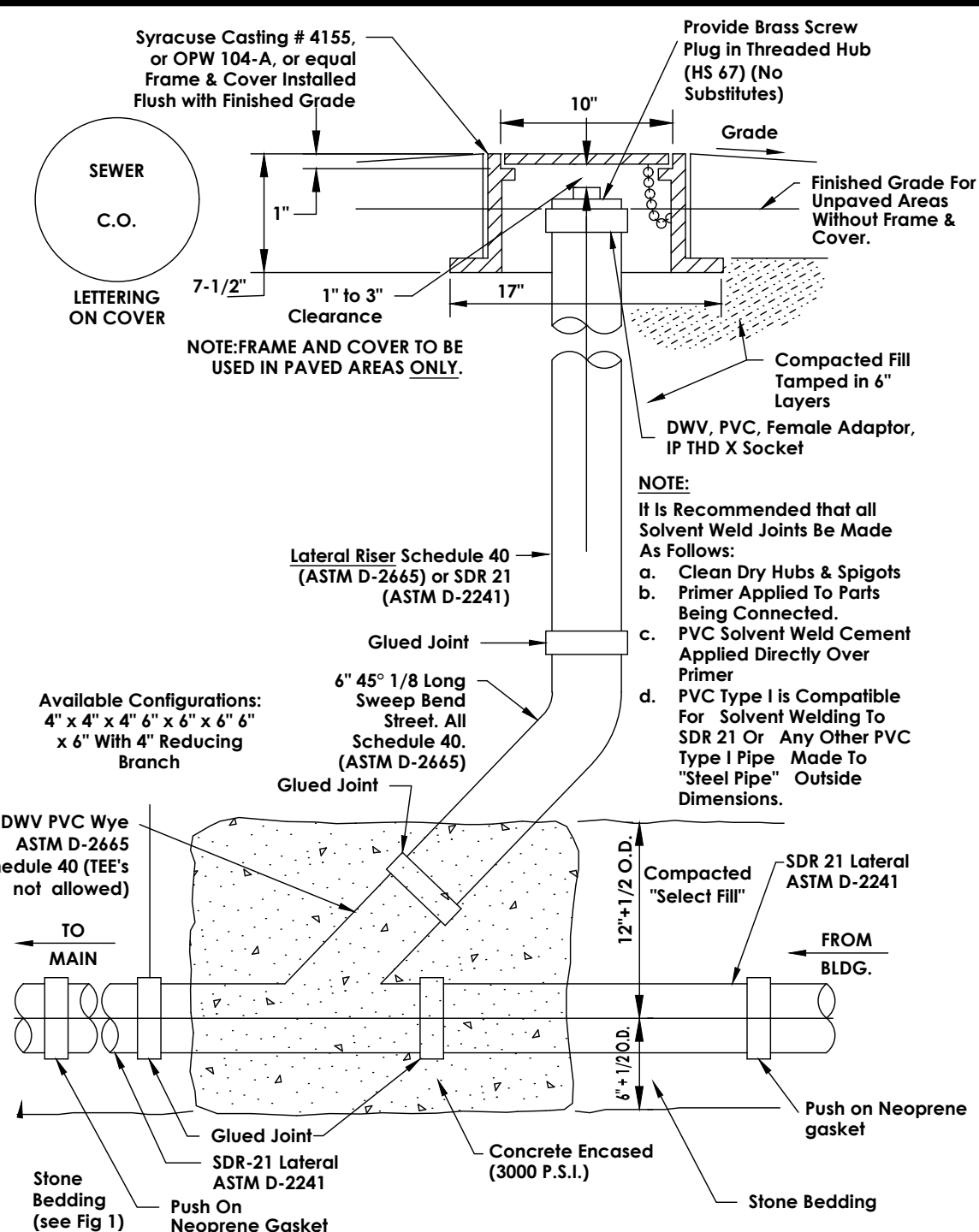
HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse
COUNTY: Onondaga STATE: NY

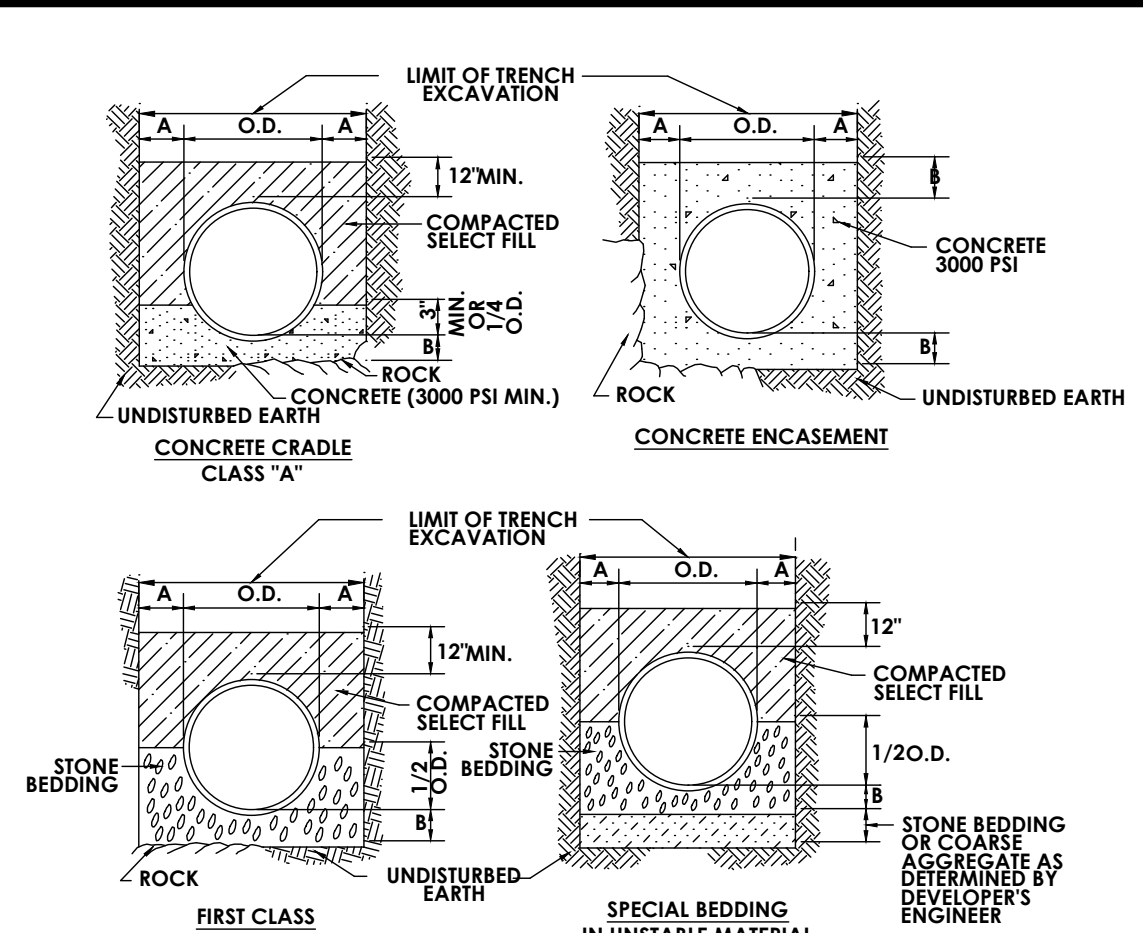
PROJECT NO.: 20233690.0003

DRAWING NO.: C-202

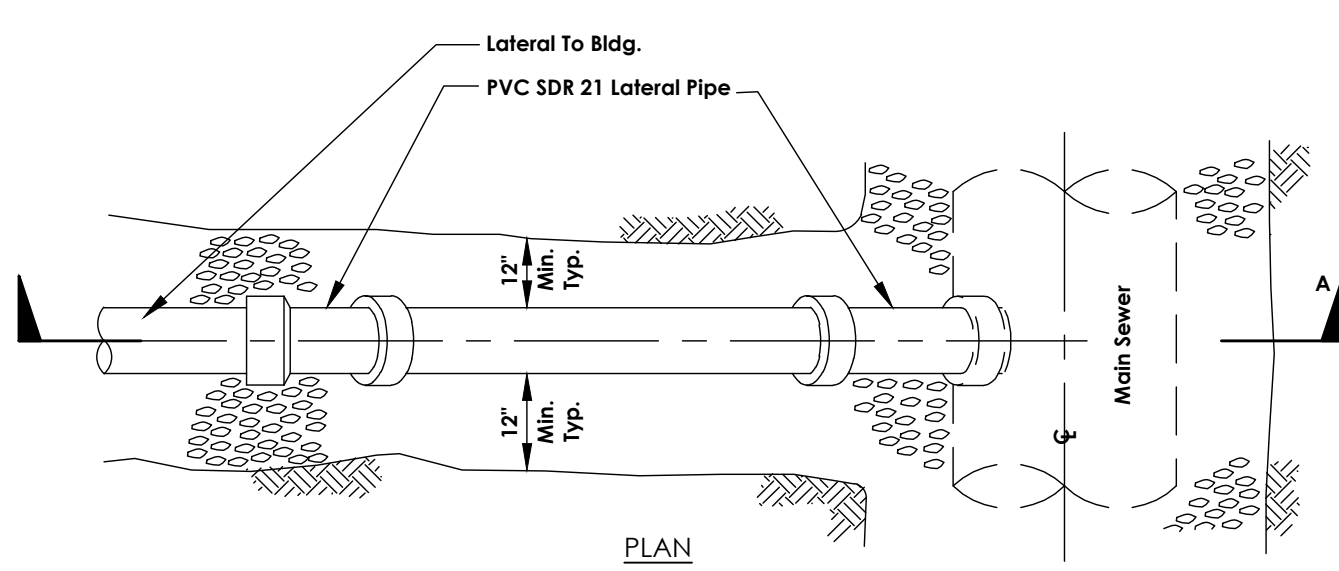
DATE: FEBRUARY 2026



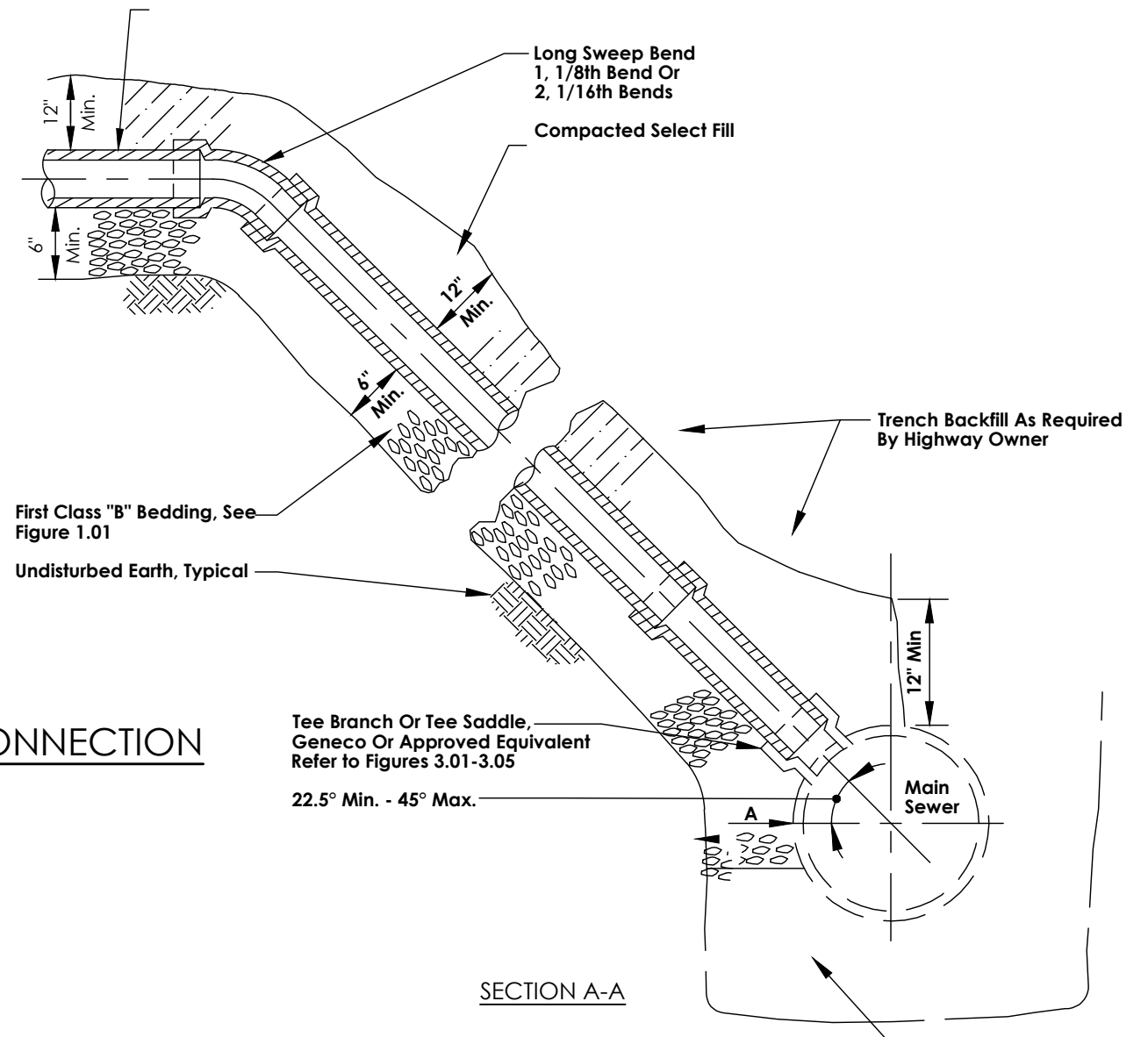
6" P.V.C. CLEANOUT DETAIL FOR LATERAL CONNECTION
N.T.S.



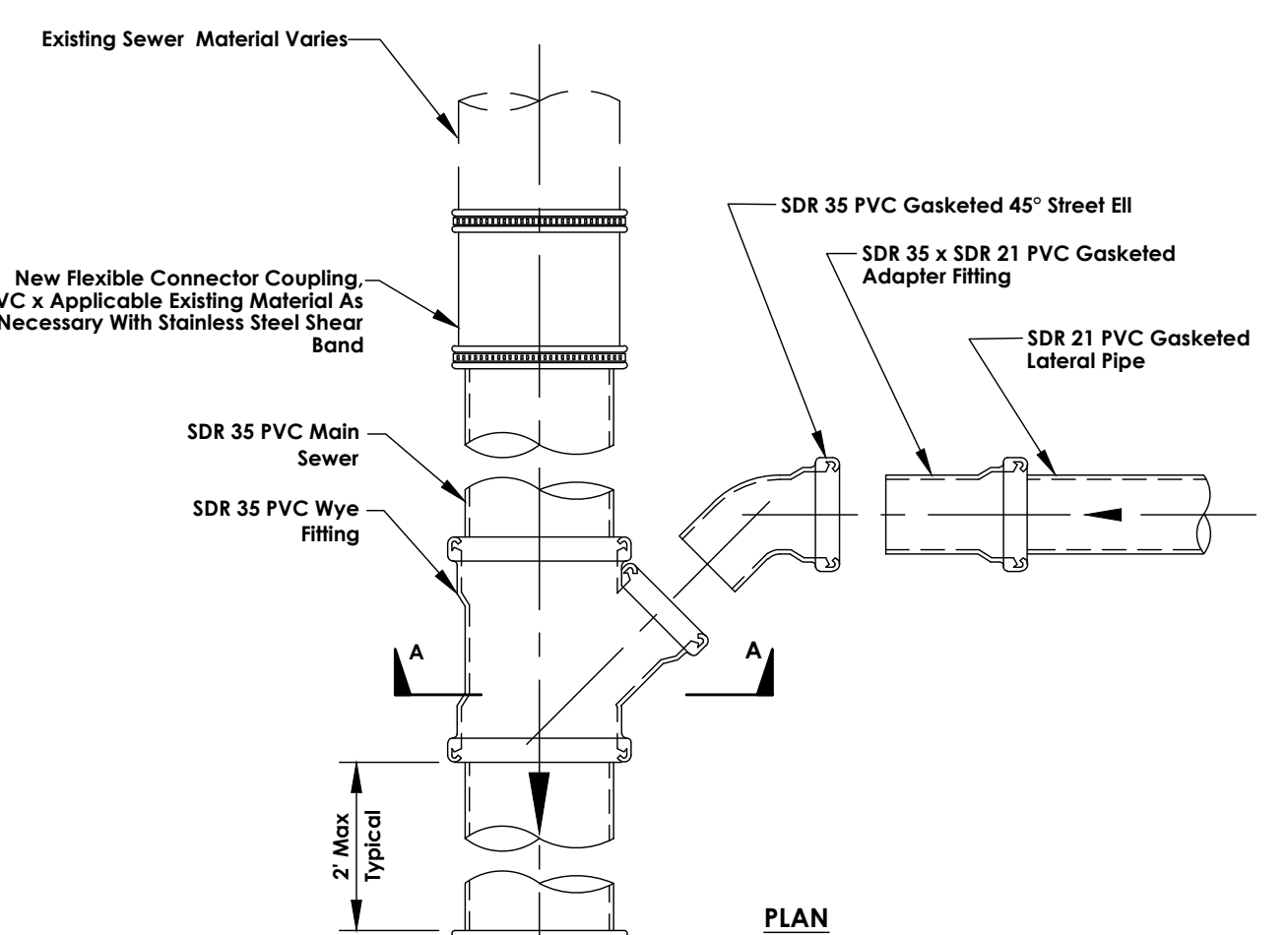
- STORM SEWER/SANITARY SEWER BEDDING**
N.T.S.
- TRENCH BACKFILL SHALL BE AS REQUIRED BY THE HIGHWAY OWNER.
 - SELECT FILL SHALL BE SAND, GRAVEL, AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSION.
 - STONE BEDDING SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION, JAN 2, 1990 EDITION, AS REVISED, SUBSECTION 703-0201 "CRUSHED STONE". PRIMARY SIZE 1 OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
 - COARSE AGGREGATE SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION, JAN 2, 1990 EDITION, AS REVISED, SUBSECTION 703-0201 "CRUSHED STONE". PRIMARY SIZE 3 AND/OR 4.
 - THIS FIGURE APPLIES TO SANITARY MAINLINE AND LATERAL PIPE INSTALLATION AS WELL AS FORCE MAINS.
- | PIPE DIA. | DIM. A | DIM. B |
|------------|--------|--------|
| UP TO 18" | 1.0' | 4" |
| 21" TO 36" | 1.5' | 9" |
| OVER 36" | 1.5' | 12" |



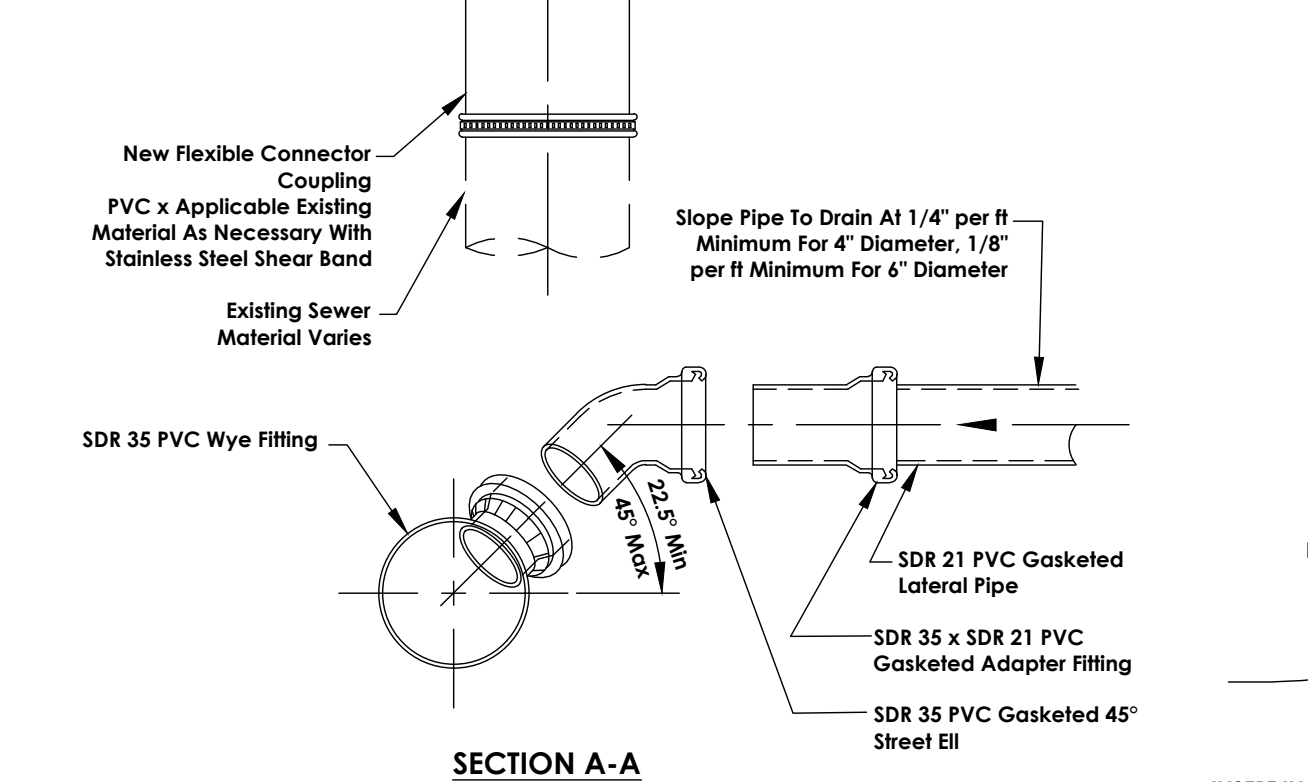
LATERAL RISER CONNECTION
N.T.S.



SECTION A-A
See Figure 1.01 - Bedding Details



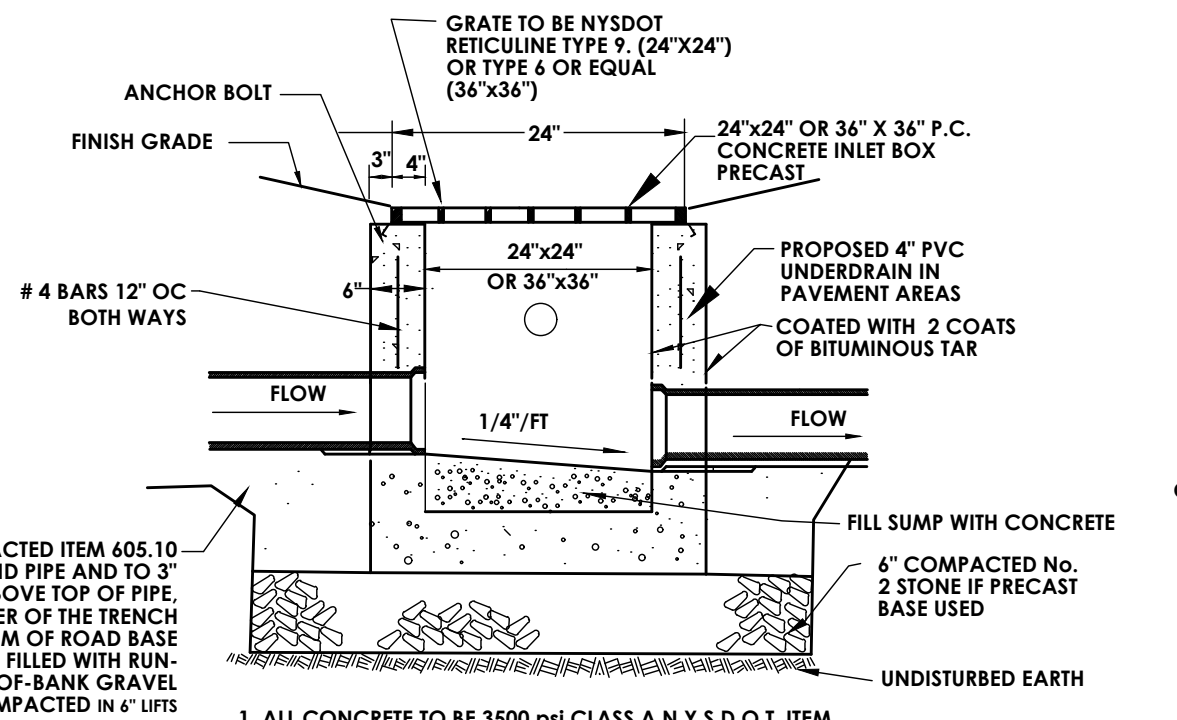
PLAN



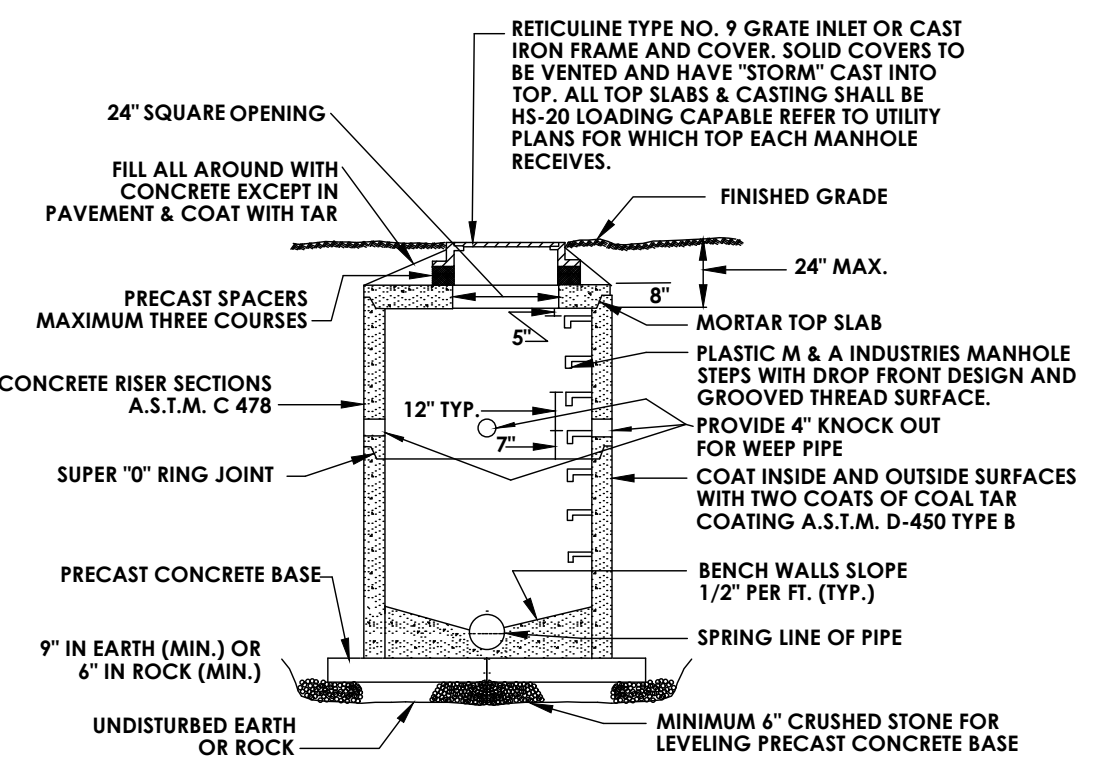
SECTION A-A

- NOTES:**
- Main sewer pipe, lateral pipe, wye and other fittings shall be gasketed type fittings. Solvent weld joints are not allowed, except at cleanouts, see Figures 4.01-4.07.
 - See Figure 1.01 for pipe bedding and backfill.
 - This detail does not apply to existing PVC sewers. See Figure 3.04 for connection to existing PVC sewer.

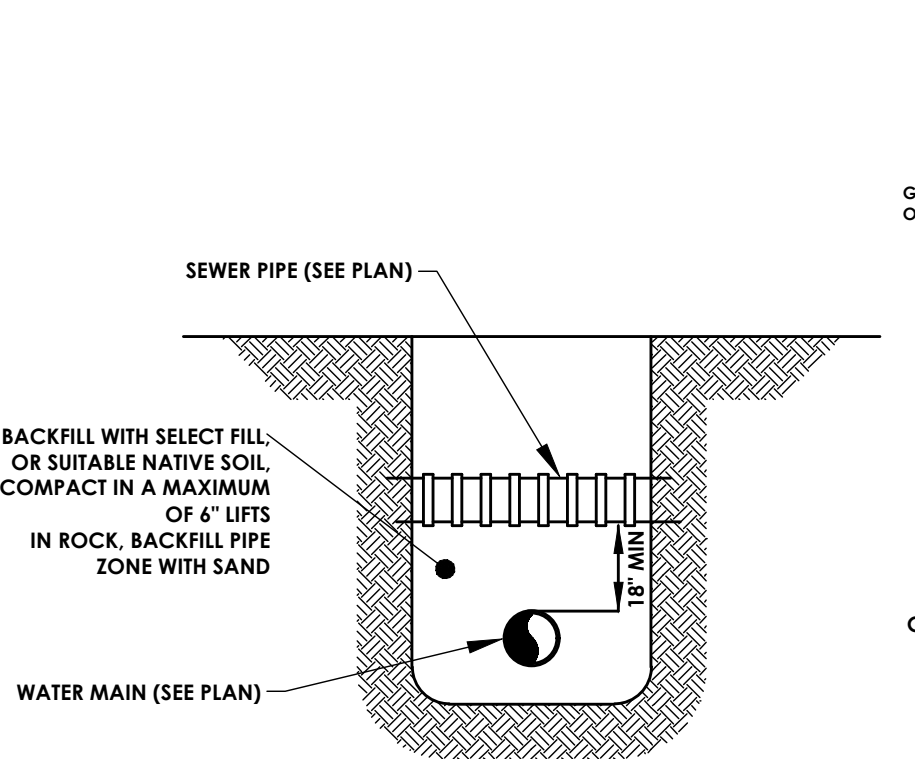
NEW LATERAL WYE CONNECTION TO EXISTING NON-PVC SEWER
N.T.S.



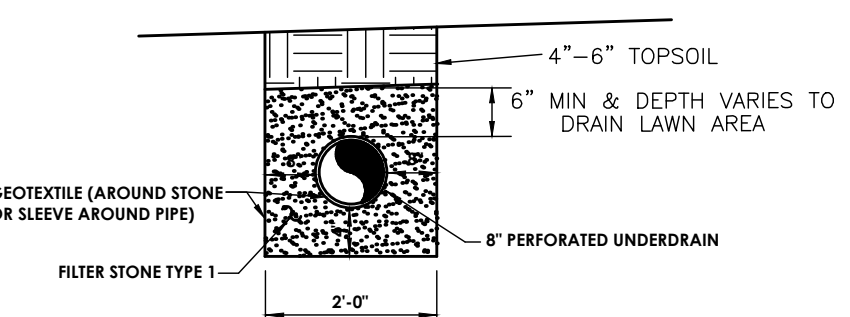
STANDARD CATCH BASIN
N.T.S.



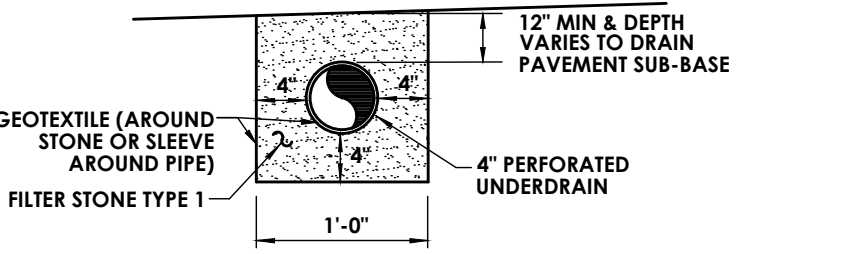
STANDARD STORM MANHOLE
N.T.S.



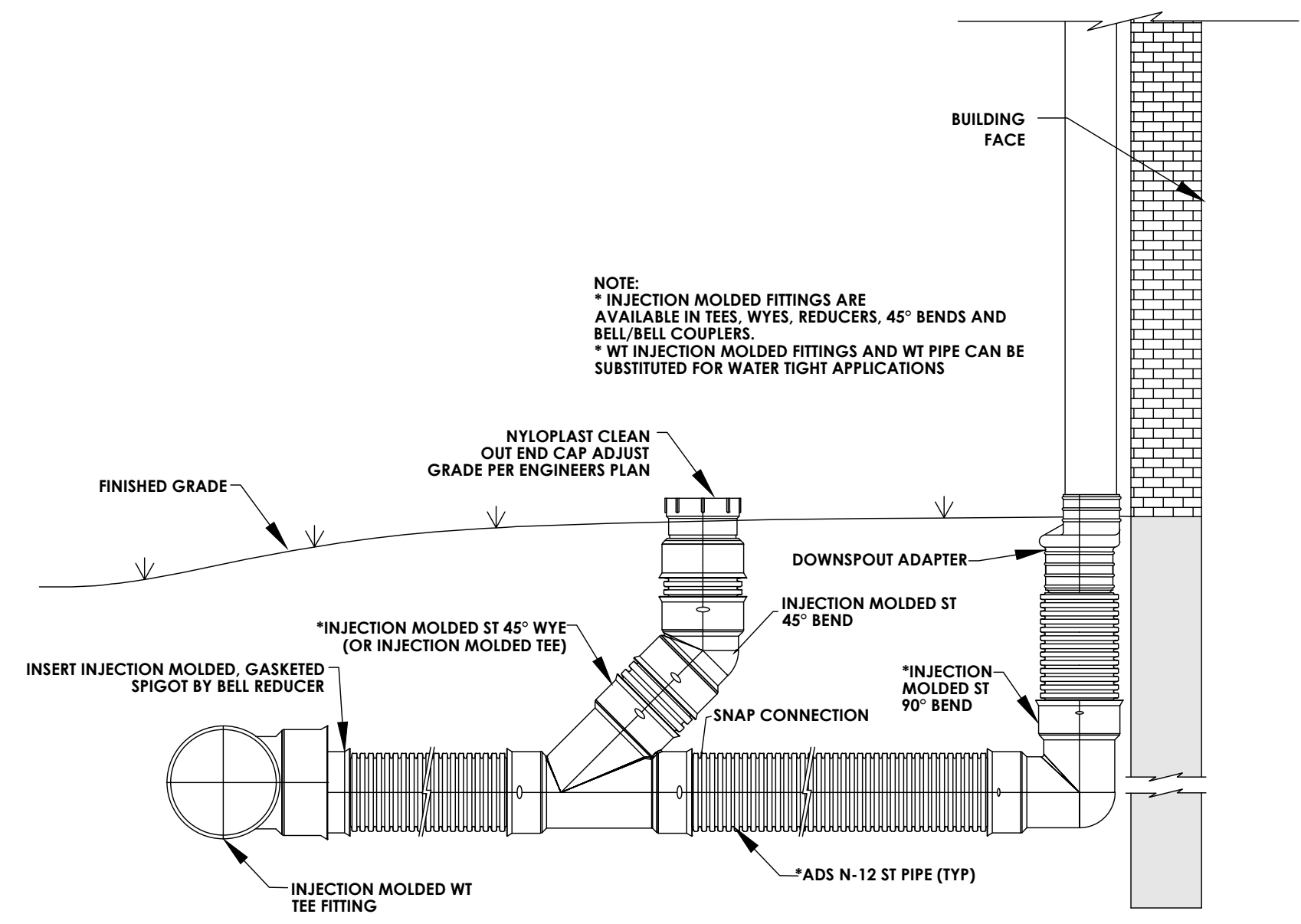
WATER / SEWER MAIN CROSSING
N.T.S.



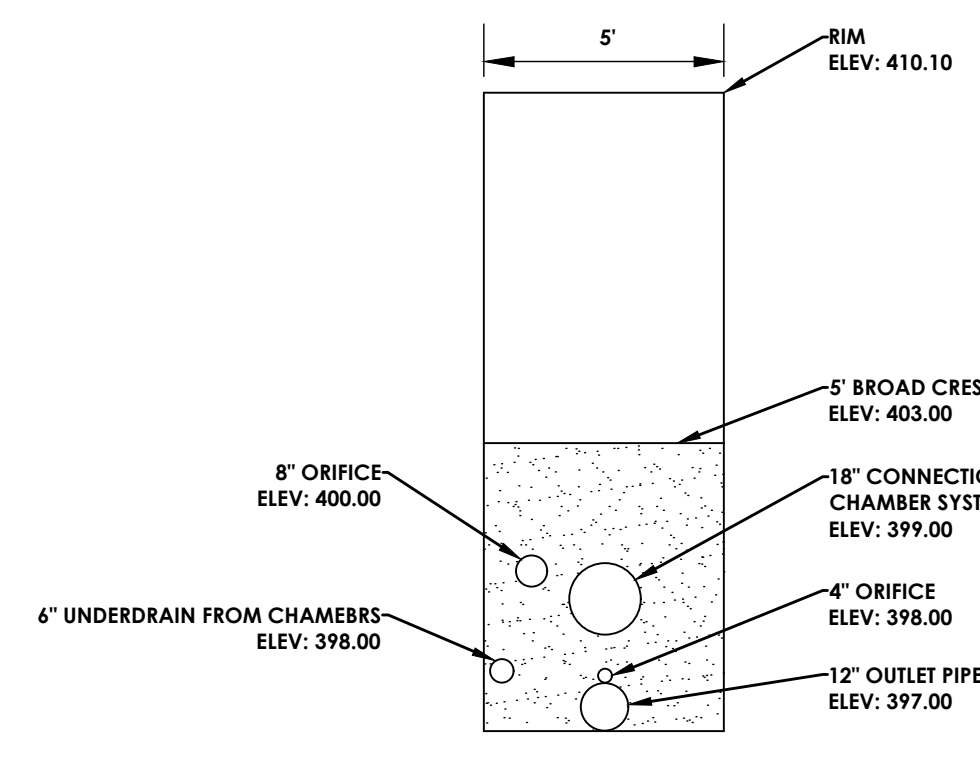
LAWN AREA UNDERDRAIN
N.T.S.



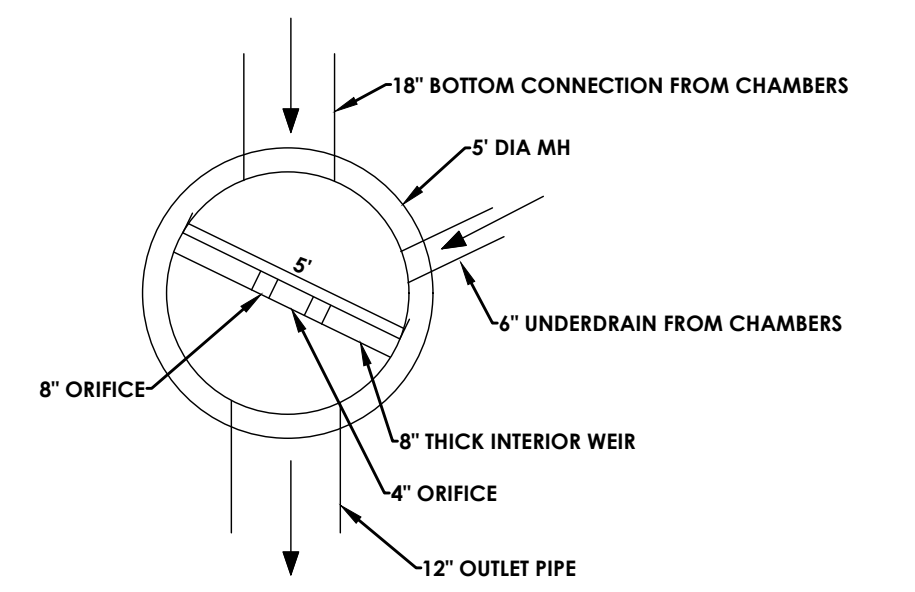
PAVEMENT AREA UNDERDRAIN
N.T.S.



ROOF DRAIN DETAIL WITH CLEANOUT
N.T.S.

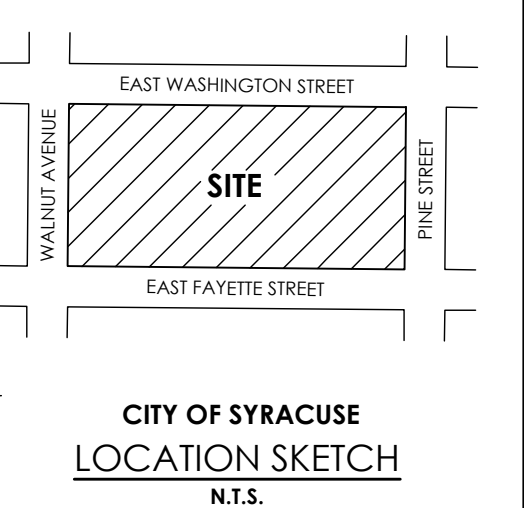


FRONT VIEW



PLAN VIEW

CHAMBER OUTLET CONTROL STRUCTURE DETAIL
N.T.S.



CITY OF SYRACUSE LOCATION SKETCH
N.T.S.

STAMP:

CLIENT:
HOUSING VISIONS UNLIMITED, INC.
1201 E. FAYETTE STREET
SYRACUSE, NY 13210

Passero Associates

242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

PROJECT MANAGER Andrew Burns, PE
DESIGNER Andrew Burns, PE
Carol Harvey

NO.	DATE	BY	DESCRIPTION

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DETAILS

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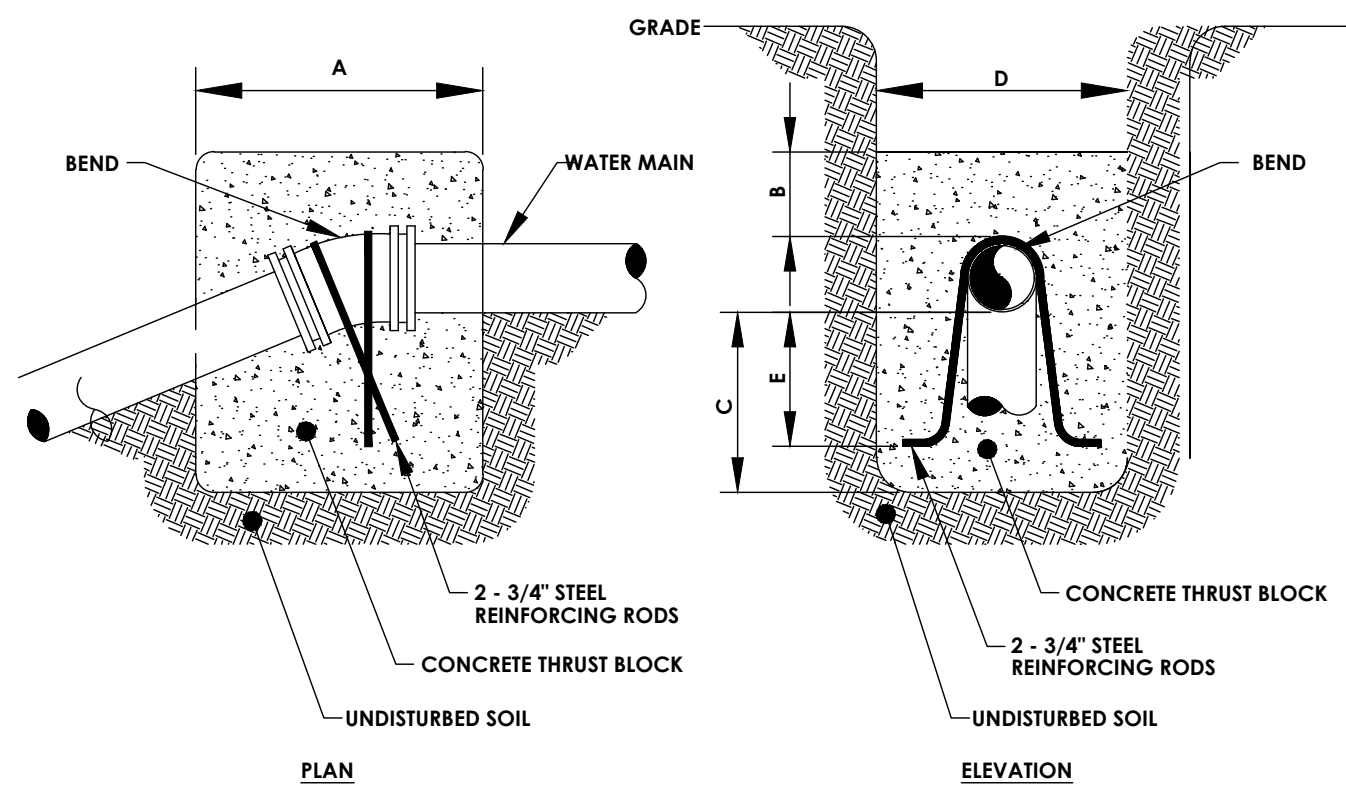
HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse
COUNTY: Onondaga STATE: NY

PROJECT NO.: **20233690.0003**

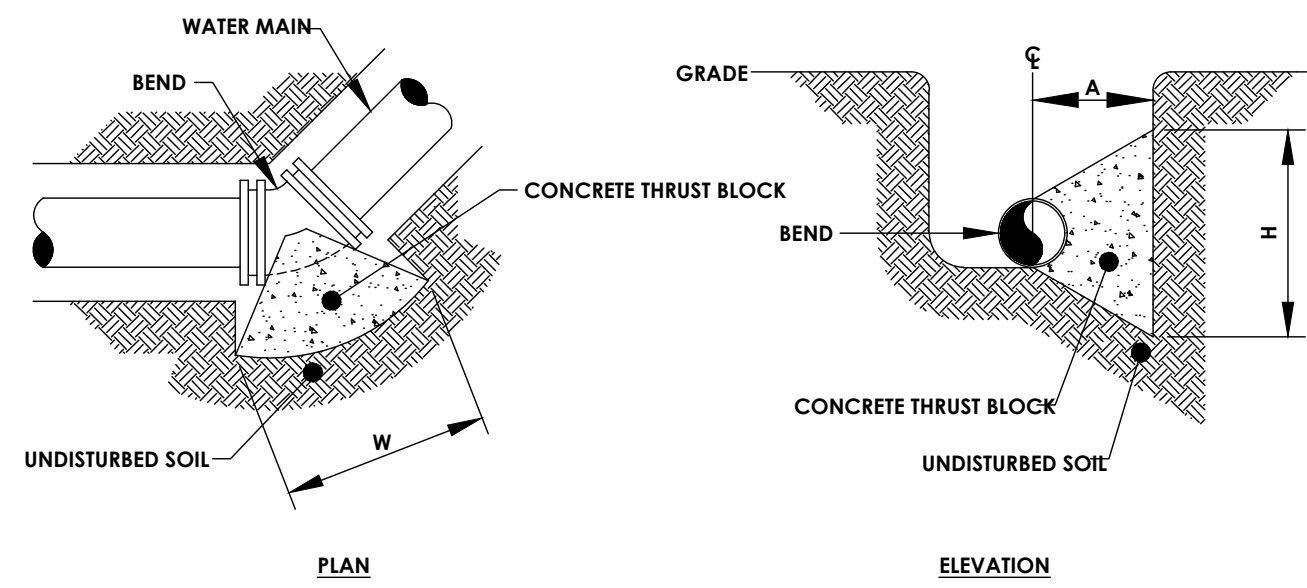
DRAWING NO.: **C-204**

DATE: **FEBRUARY 2026**



BEND *	MINIMUM VOLUME OF CONCRETE	MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET)				
		A	B	C	D	E
4" x 11-1/4"	0.35 C.Y.	0.5	1.2	0.5	1.0	0.5
4" x 22-1/2"	0.70 C.Y.	0.5	1.2	0.7	1.0	0.5
4" x 45"	1.40 C.Y.	0.7	1.2	0.7	1.0	0.5
6" x 11-1/4"	0.7 C.Y.	3.0	1.0	1.0	2.5	0.5
6" x 22-1/2"	1.1 C.Y.	3.5	1.0	1.5	3.0	1.0
6" x 45"	2.2 C.Y.	5.0	1.0	1.5	4.0	1.5
8" x 11-1/4"	1.0 C.Y.	3.0	1.0	1.5	3.0	1.0
8" x 22-1/2"	2.0 C.Y.	4.5	1.0	2.5	3.0	2.0
8" x 45"	3.7 C.Y.	5.0	1.5	3.0	4.0	2.5

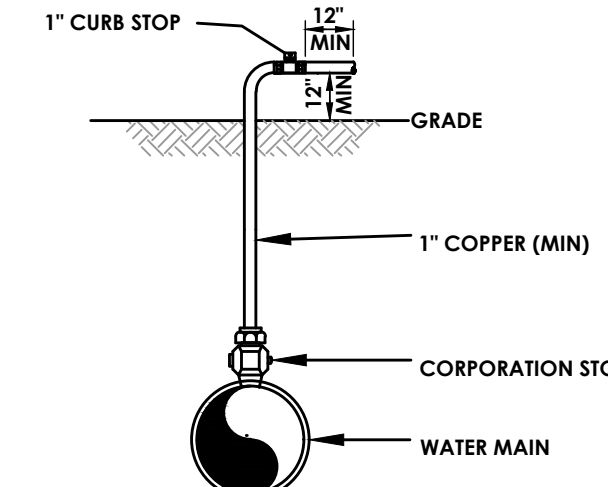
VERTICAL THRUST BLOCK
N.T.S.



MINIMUM HORIZONTAL THRUST BLOCK DIMENSIONS, IN FEET, TO BE POURED AGAINST UNDISTURBED SOIL			
FITTING	H	W	A
4" x 11-1/4" BEND	0.5	1.0	0.7
4" x 22-1/2" BEND	0.7	1.5	0.7
4" x 45" BEND	1.0	2.0	1.0
4" x 90" BEND	1.5	3.0	1.2
4" TEE OR PLUG	1.2	2.5	1.0
6" x 11-1/4" BEND	1.0	1.5	1.5
6" x 22-1/2" BEND	1.5	2.0	1.5
6" x 45" BEND	2.0	3.0	1.5
6" x 90" BEND	2.5	4.0	1.5
6" TEE OR PLUG	2.0	3.0	1.5
8" x 11-1/4" BEND	1.0	2.0	1.5
8" x 22-1/2" BEND	1.5	3.0	1.5
8" x 45" BEND	2.0	4.0	2.0
8" x 90" BEND	3.0	6.0	2.5
8" TEE OR PLUG	2.5	5.0	2.0

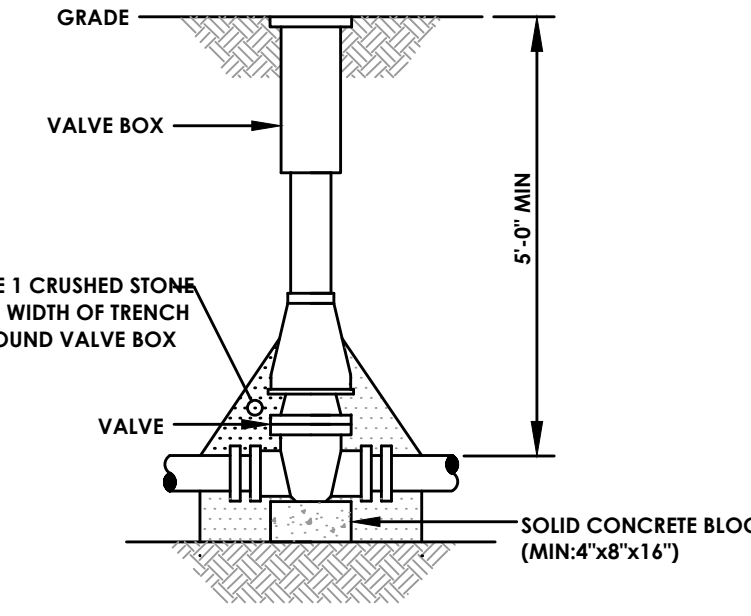
NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).

HORIZONTAL THRUST BLOCK FOR BENDS
N.T.S.



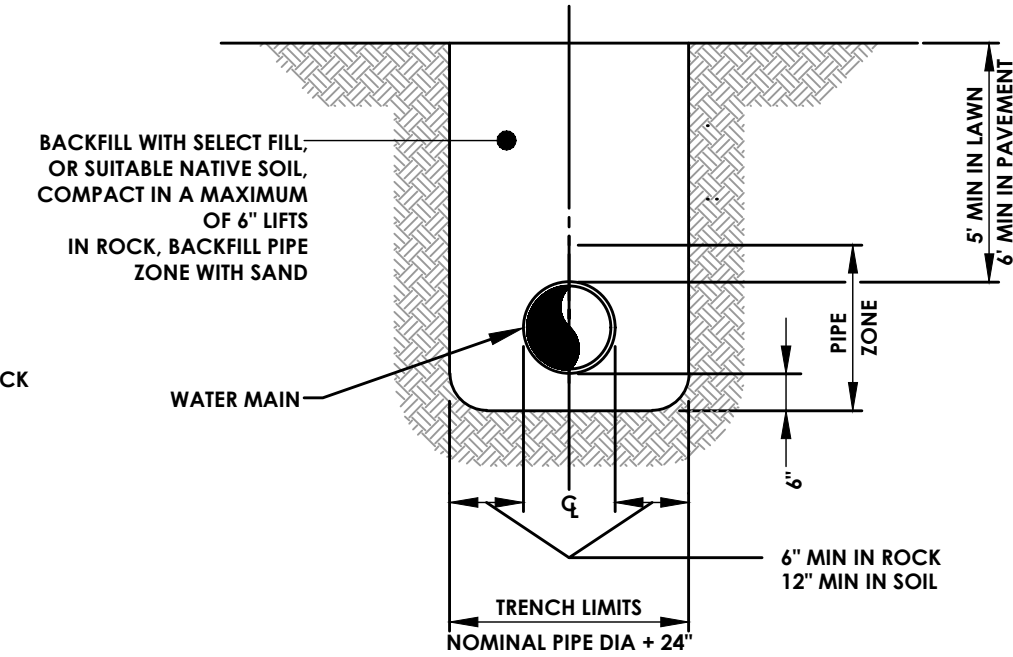
NOTE: IMMEDIATELY PRIOR TO THE AUTHORITY PLACING WATER MAIN IN SERVICE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS. PLACEMENT OF THREADED BRASS PLUG MUST BE WITNESSED BY A CITY OF SYRACUSE WATER DEPARTMENT OFFICIAL.

DISINFECTION / BLOW-OFF / SAMPLING TAP
N.T.S.

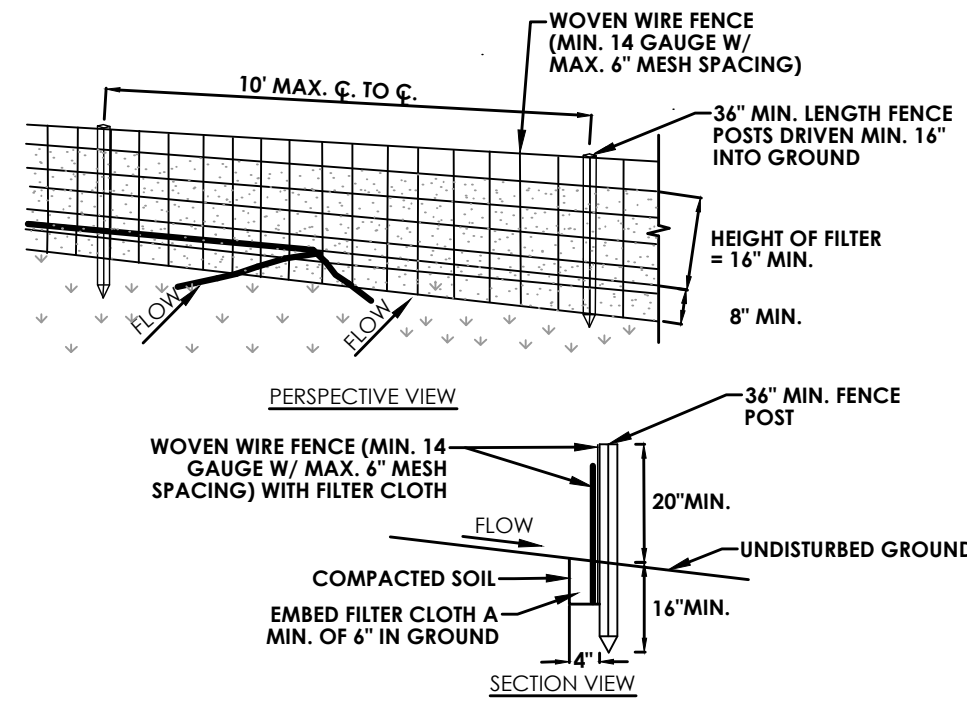


NOTE:
1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
2. VALVE SHALL NOT SUPPORT VALVE BOX.
3. ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.
4. ALL VALVES SHALL BE OPEN LEFT EXCEPT VALVES 12" AND SMALLER

WATER VALVE
N.T.S.



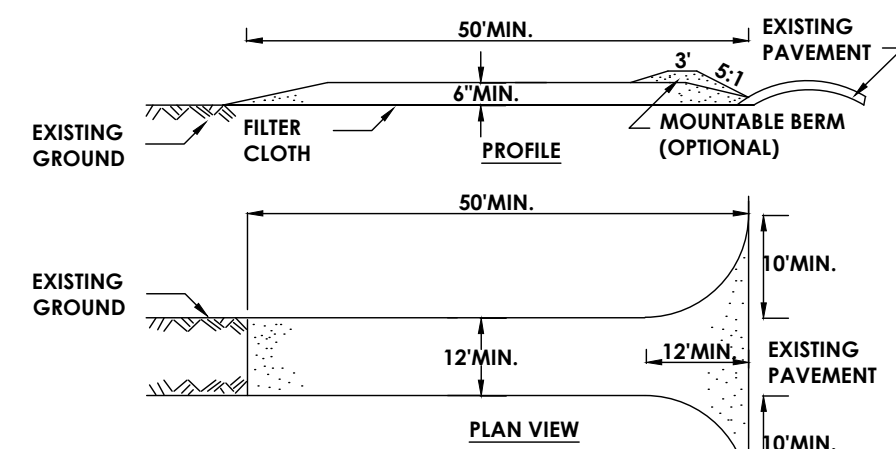
WATERMAIN TRENCH
N.T.S.



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 14 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

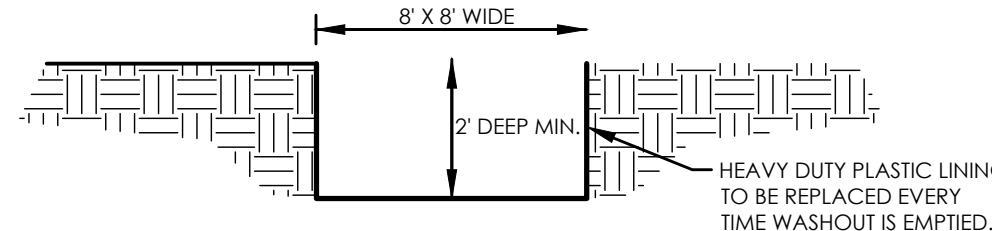
SILT FENCE
N.T.S.



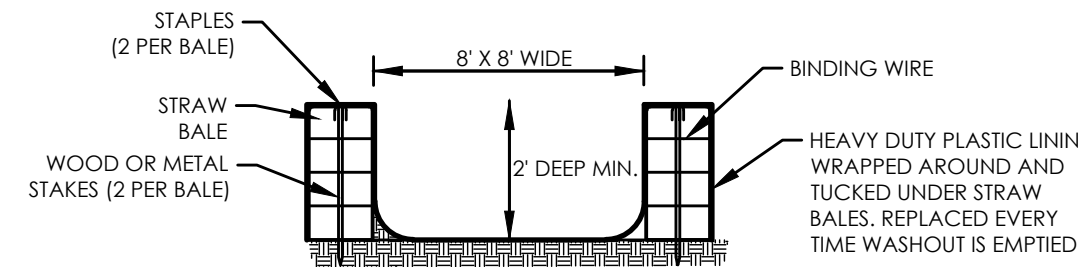
CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN

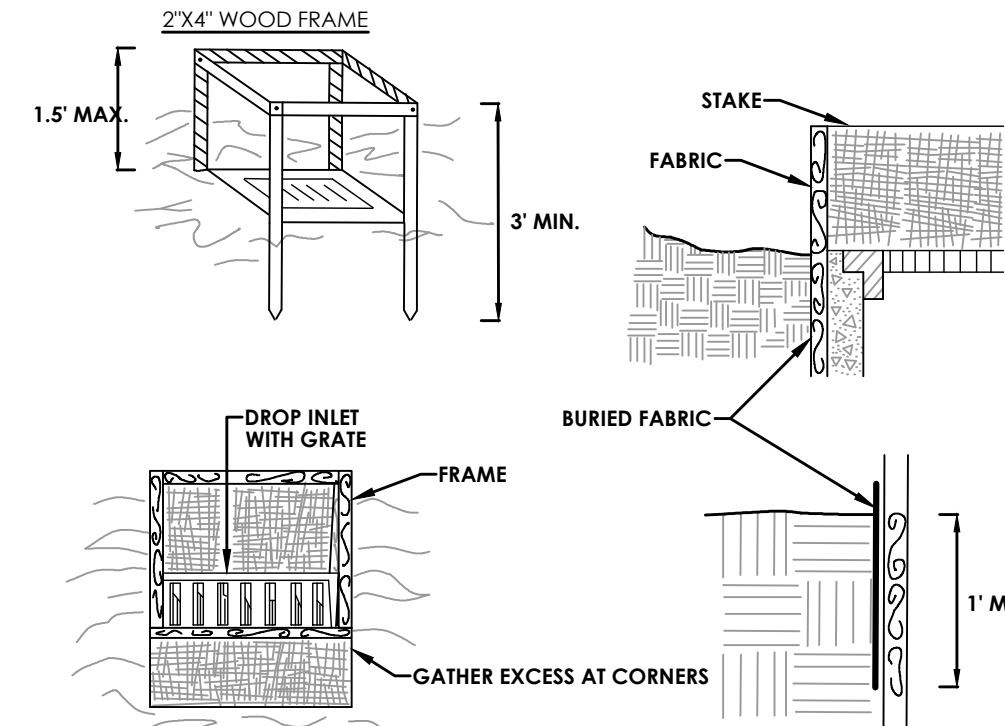
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



CONCRETE WASH OUT AREA OPTION #1
N.T.S.



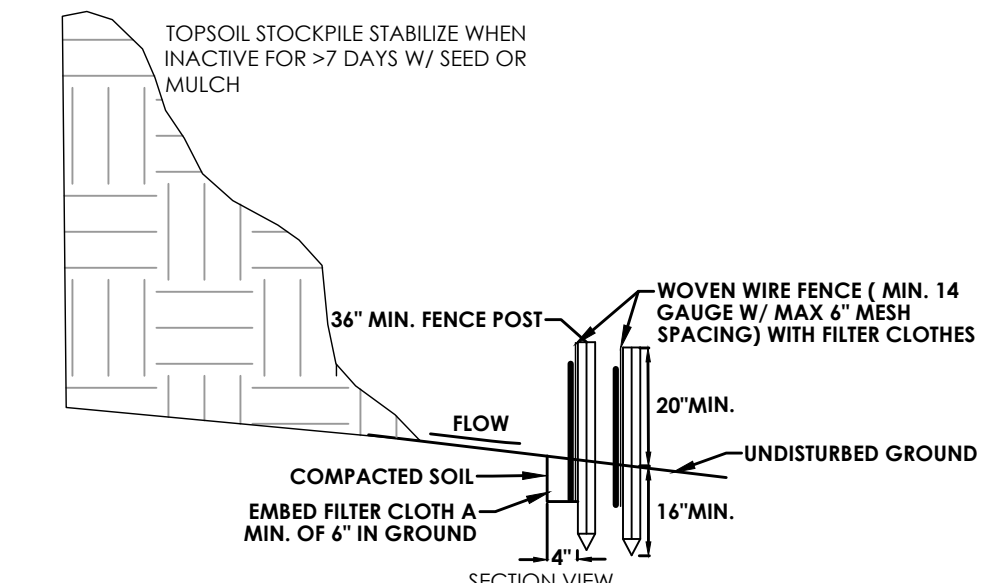
CONCRETE WASH OUT AREA OPTION #2
N.T.S.



CONSTRUCTION SPECIFICATIONS:

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT, METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

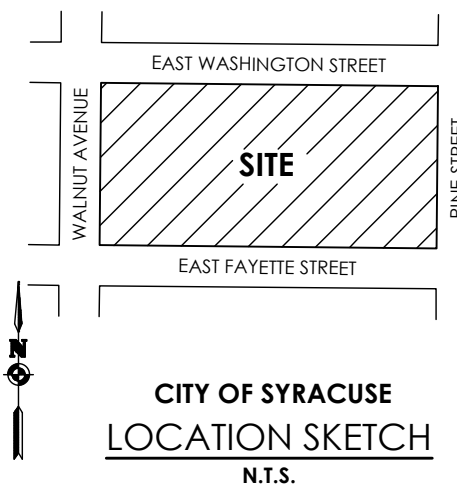
FILTER FABRIC DROP INLET PROTECTION
N.T.S.



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- FENCE SHALL BE WOVEN WIRE, 14 GAUGE, 6" MAXIMUM MESH OPENING. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

TOPSOIL STOCKPILE
N.T.S.



CITY OF SYRACUSE
LOCATION SKETCH
N.T.S.

STAMP:

CLIENT:
HOUSING VISIONS UNLIMITED, INC.
1201 E. FAYETTE STREET
SYRACUSE, NY 13210

Passero Associates

242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

PROJECT MANAGER Andrew Burns, PE
PROJECT ENGINEER Andrew Burns, PE
DESIGNER Carole Horney

NO.	DATE	BY	DESCRIPTION

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DETAILS

1201 E. FAYETTE ST.

HOUSING VISIONS HEADQUARTERS

MUNICIPALITY: City of Syracuse
COUNTY: Onondaga STATE: NY

PROJECT NO.:
20233690.0003

DRAWING NO.:
C-205

DATE:
FEBRUARY 2026

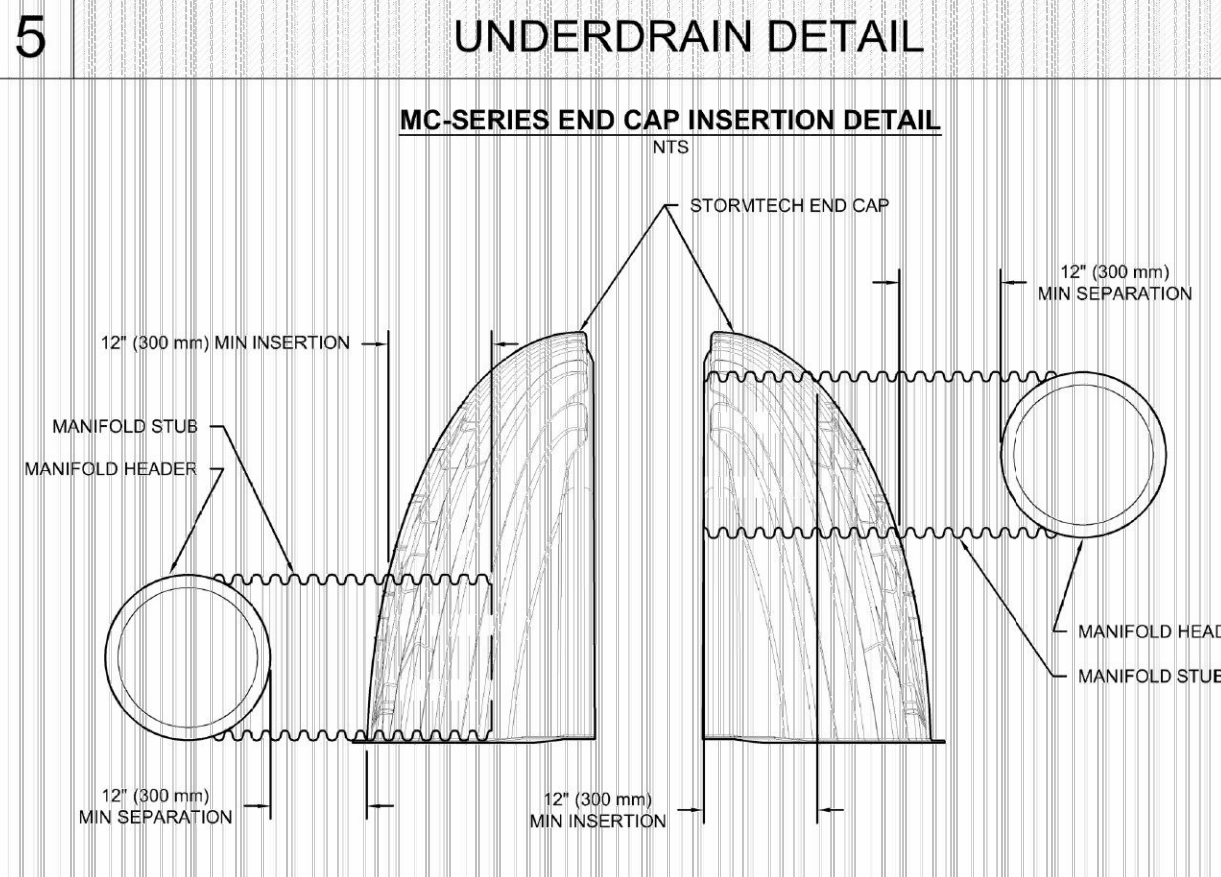
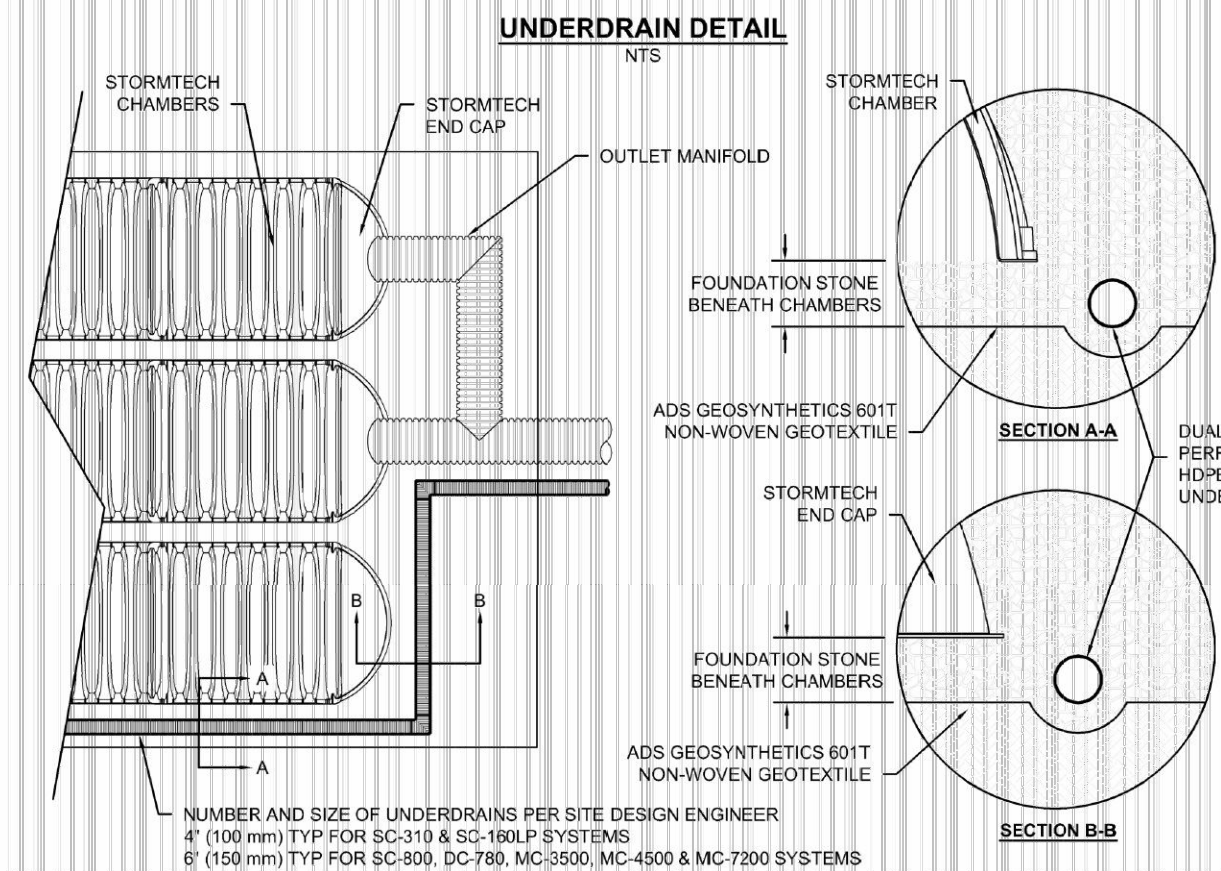
MC-7200 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-7200.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2737, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2737 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECHNICAL NOTE 6.32 FOR MANIFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS. TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SYSTEM SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTEXTILE PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.

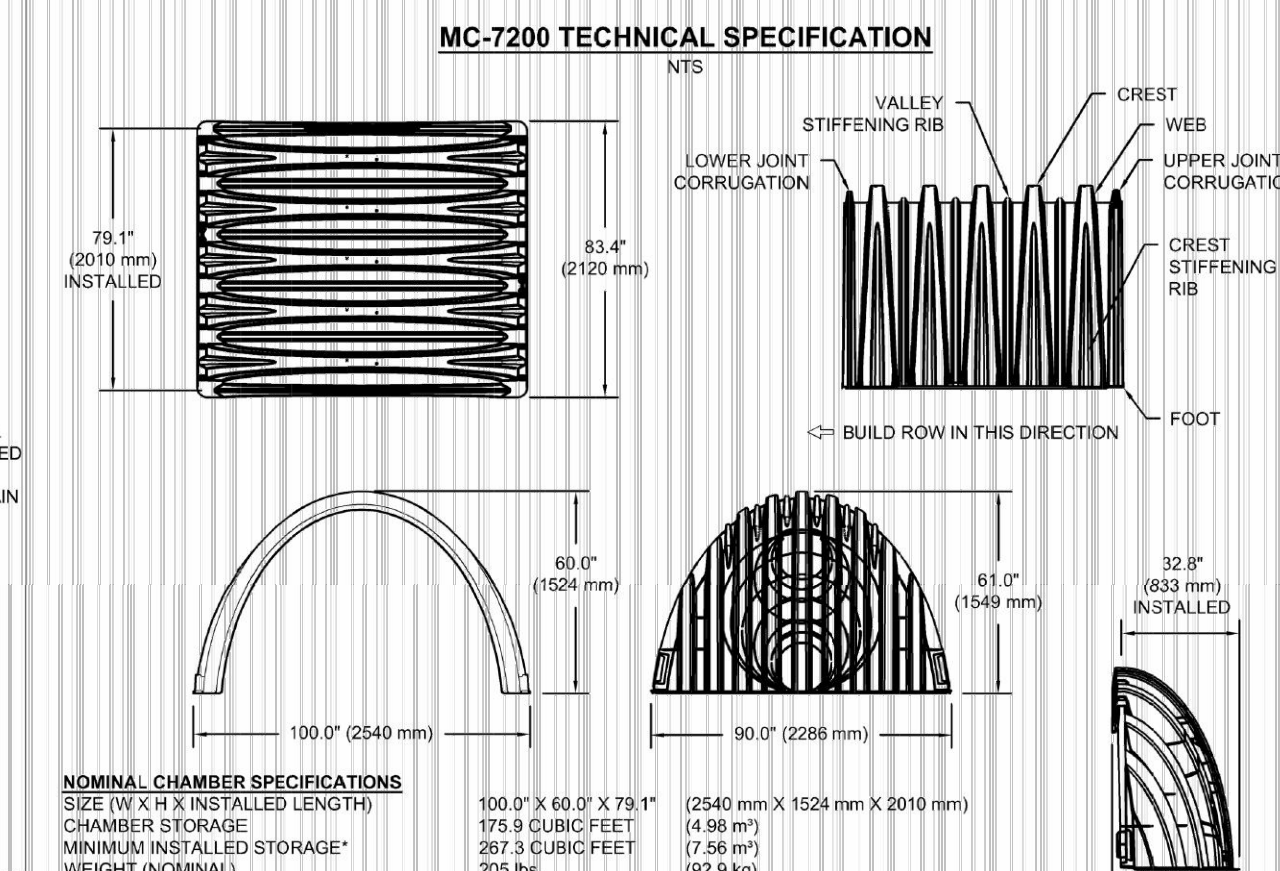
IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

- STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH INSTALLATION GUIDE MC-7200 CHAMBER".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONES/HOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOPE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING STONE.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEALED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 1" (25.4 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (305 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE; AASHTO M43 83, 357, 4, 467, 5, 56, OR 57.
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER DIFFER BY MORE THAN 12" (305 mm) BETWEEN ADJACENT CHAMBER ROWS.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- NOTES FOR CONSTRUCTION EQUIPMENT
 - STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH INSTALLATION GUIDE MC-7200 CHAMBER".
 - THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER-TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH INSTALLATION GUIDE MC-7200 CHAMBER".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH INSTALLATION GUIDE MC-7200 CHAMBER".
 - FULL 3" (90 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING. USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-800-821-8710 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



NOTE: MANIFOLD STUB MUST BE Laid HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	100.0" X 60.0" X 79.1" (2540 mm X 1524 mm X 2010 mm)
CHAMBER STORAGE	175.9 CUBIC FEET (4.98 m ³)
MINIMUM INSTALLED STORAGE*	267.3 CUBIC FEET (7.56 m ³)
WEIGHT (NOMINAL)	205 lbs. (92.9 kg)

NOMINAL END CAP SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	60.0" X 61.0" X 32.8" (1524 mm X 1549 mm X 833 mm)
END CAP STORAGE	39.5 CUBIC FEET (1.12 m ³)
MINIMUM INSTALLED STORAGE*	115.3 CUBIC FEET (3.28 m ³)
WEIGHT (NOMINAL)	90 lbs. (40.8 kg)

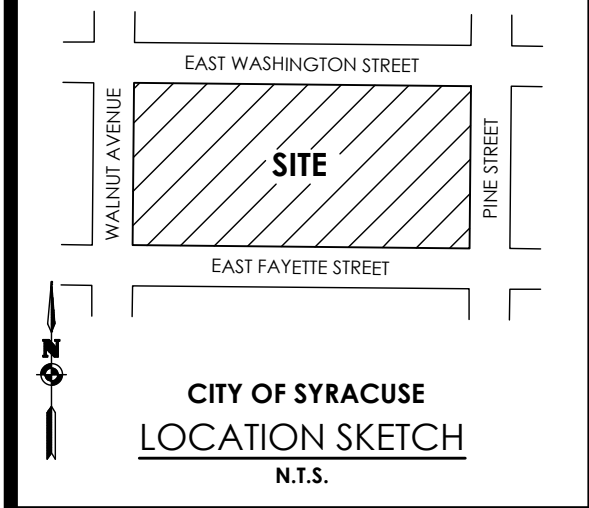
*ASSUMES: 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PER METER IN FRONT OF END CAPS AND 40% STONE POROSITY.

PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC7200EP06T	6" (150 mm)	42.54" (1081 mm)	---
MC7200EP06B	---	---	0.86" (22 mm)
MC7200EP08T	8" (200 mm)	40.50" (1029 mm)	---
MC7200EP08B	---	---	1.01" (26 mm)
MC7200EP10T	10" (250 mm)	38.37" (975 mm)	---
MC7200EP10B	---	---	1.39" (34 mm)
MC7200EP12T	12" (300 mm)	35.69" (907 mm)	---
MC7200EP12B	---	---	1.55" (39 mm)
MC7200EP15T	15" (375 mm)	32.72" (831 mm)	---
MC7200EP15B	---	---	1.70" (43 mm)
MC7200EP18T	18" (450 mm)	29.39" (746 mm)	---
MC7200EP18TW	---	---	1.97" (50 mm)
MC7200EP18B	---	---	---
MC7200EP18BW	---	---	---
MC7200EP24T	24" (600 mm)	23.05" (585 mm)	---
MC7200EP24TW	---	---	2.28" (57 mm)
MC7200EP24B	---	---	---
MC7200EP24BW	---	---	---
MC7200EP30BW	30" (750 mm)	---	2.99" (75 mm)
MC7200EP36BW	36" (900 mm)	---	3.25" (83 mm)
MC7200EP42BW	42" (1050 mm)	---	3.55" (90 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL.

DRAWN: SMW
REVIEWED: JLM
REV: NOT TO SCALE
DATE: 08/05/2025
PROJECT NO: 724-790



STAMP:
CLIENT:
HOUSING VISIONS UNLIMITED, INC.
1201 E. FAYETTE STREET
SYRACUSE, NY 13210

Passero Associates
242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691
PROJECT MANAGER Andrew Burns, PE
PROJECT ENGINEER Andrew Burns, PE
DESIGNER Carole Horney

NO.	DATE	BY	DESCRIPTION

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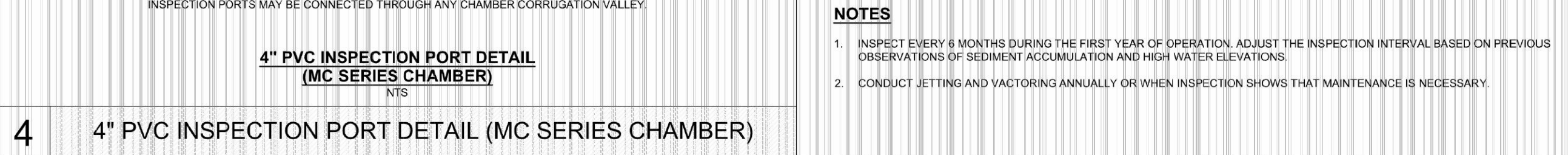
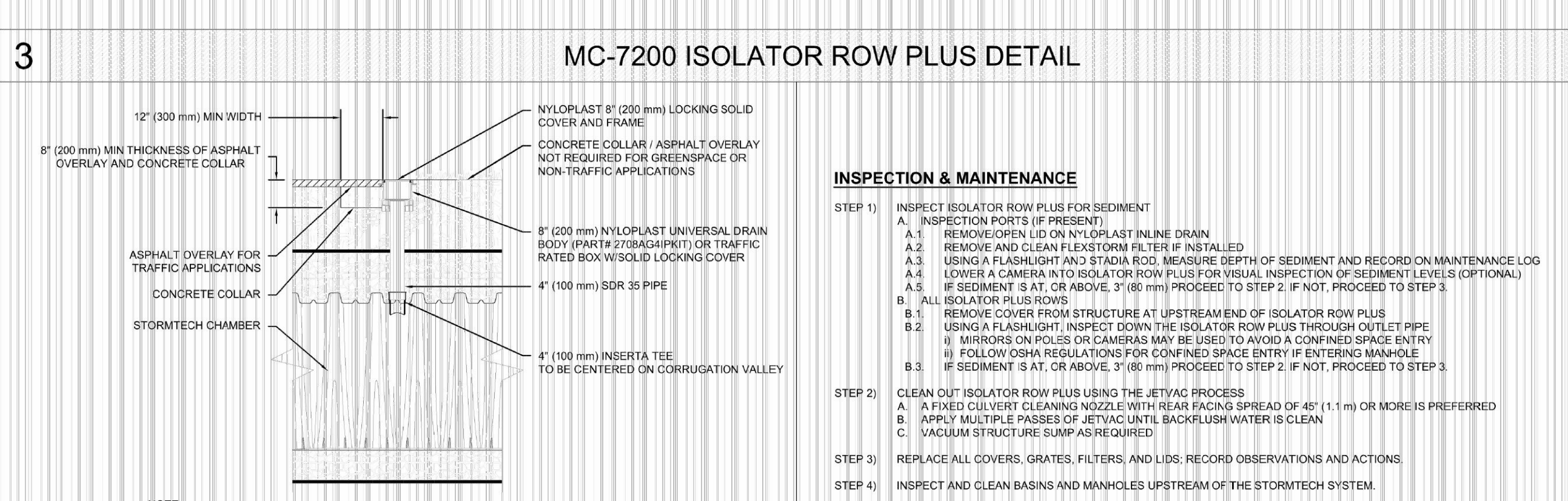
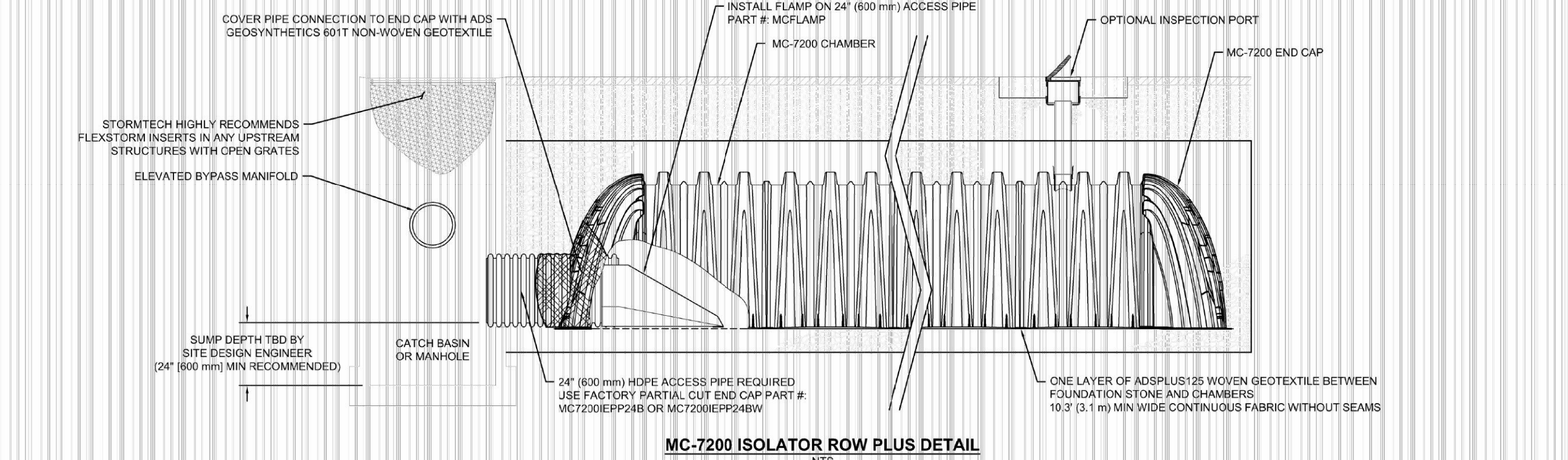
DETAILS
1201 E. FAYETTE ST.

HOUSING VISIONS HEADQUARTERS
MUNICIPALITY: City of Syracuse
COUNTY: Onondaga STATE: NY

PROJECT NO.: 20233690.0003

DRAWING NO.: C-206

DATE: FEBRUARY 2026

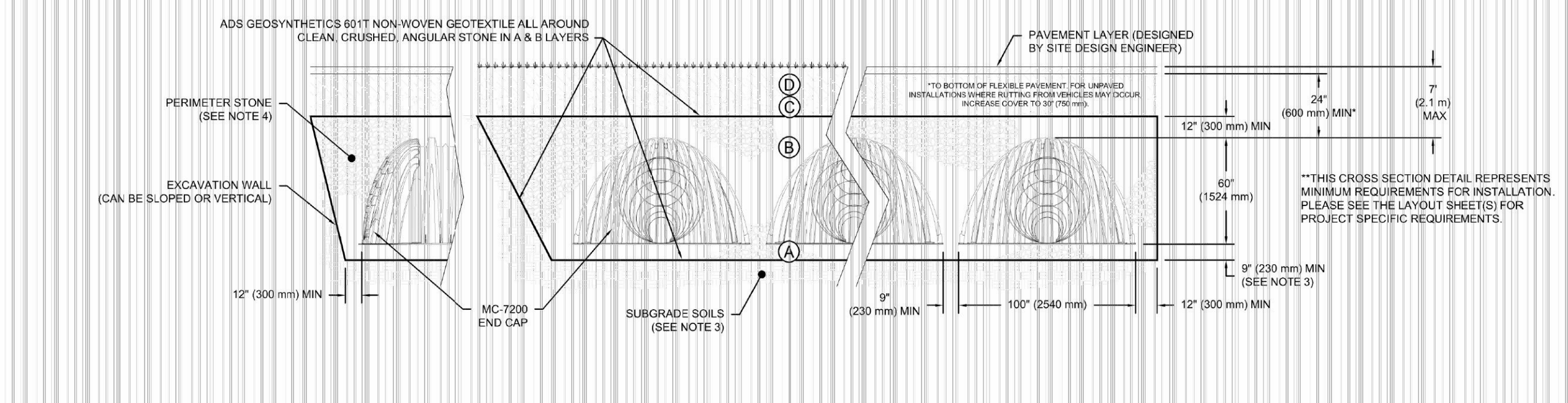


6 MC-SERIES END CAP INSERTION DETAIL 2 MC-7200 TECHNICAL SPECIFICATIONS

ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) MAX LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



- NOTES:**
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101.
 - MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2737 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3" (75 mm).
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT². (AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

StormTech
Chamber System

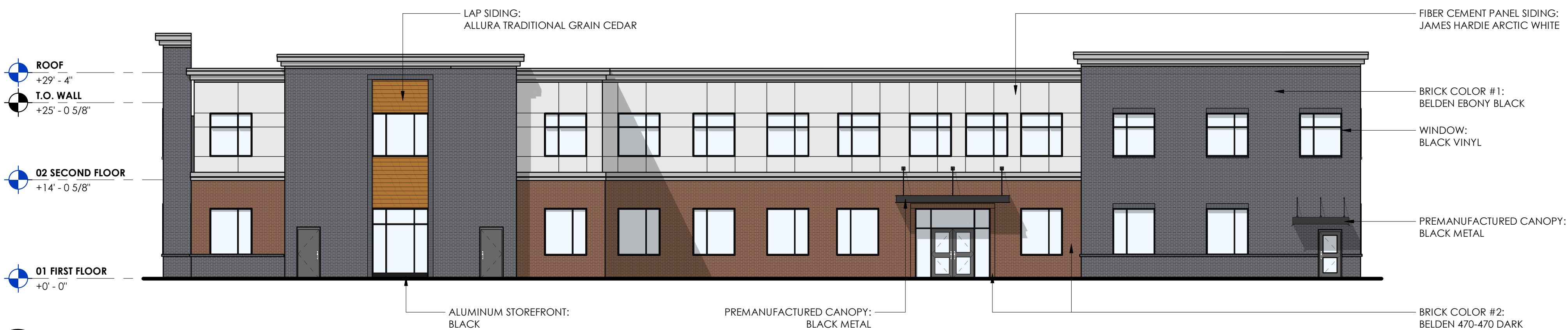
4640 TRUEMAN BLVD
HILLIARD, OH 43026

ADS
Advanced Drainage Systems, Inc.

SHEET
1



2 WEST ELEVATION
 0' 4' 8' 16' 32'
 3/32" = 1'-0"



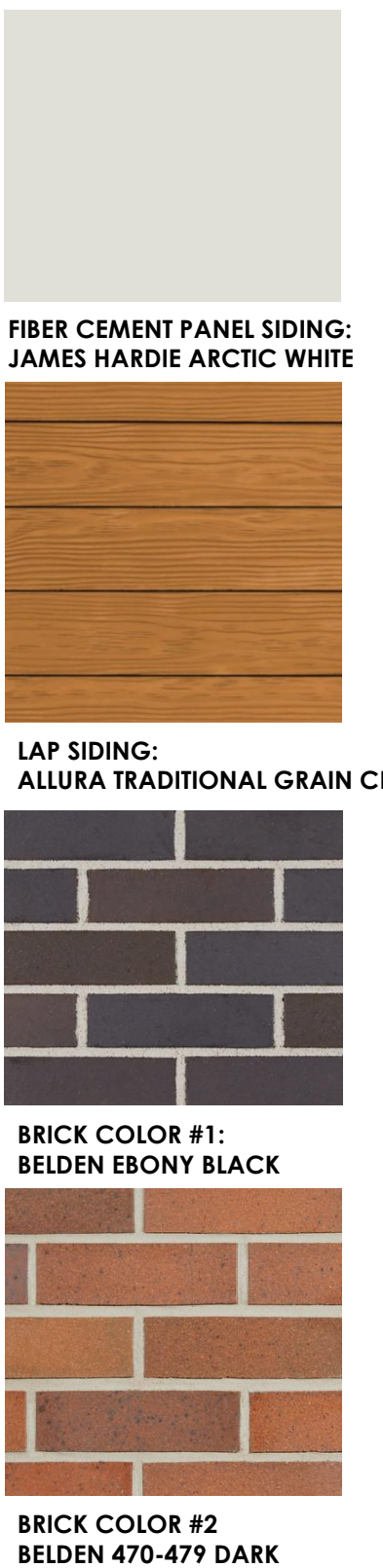
4 EAST ELEVATION
 0' 4' 8' 16' 32'
 3/32" = 1'-0"



1 SOUTH ELEVATION
 0' 4' 8' 16' 32'
 3/32" = 1'-0"



3 NORTH ELEVATION
 0' 4' 8' 16' 32'
 3/32" = 1'-0"

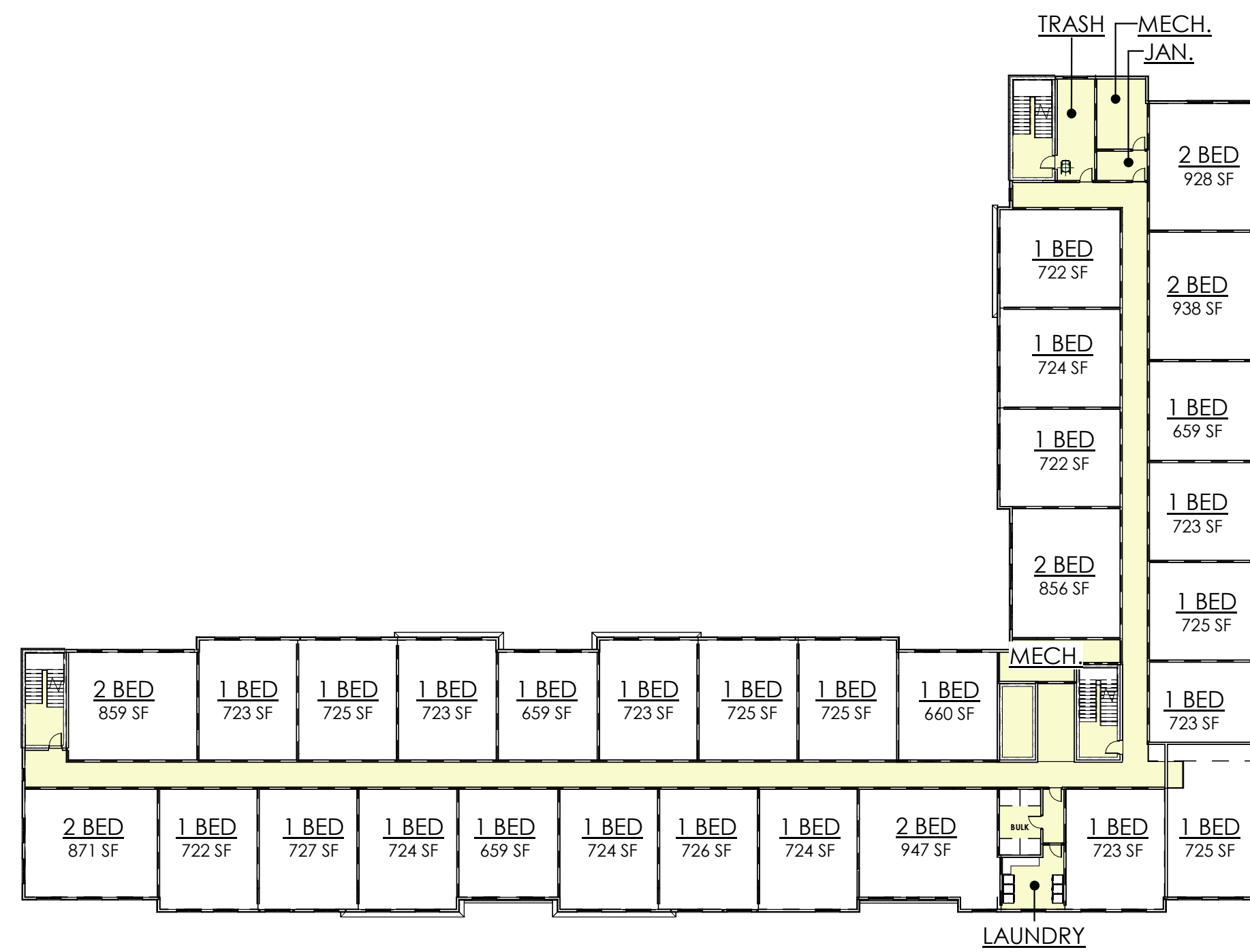
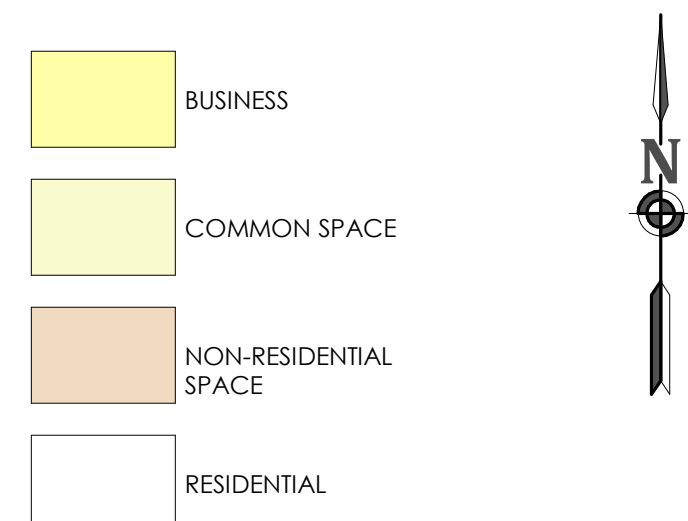




1 CORNER PERSPECTIVE
N.T.S.

UNIT MIX			
UNIT SIZE	UNIT AREA	UNIT COUNT	BED COUNT
01 FIRST FLOOR RESIDENTIAL			
1 BED	589 SF ... 725 SF	20	18
2 BED	859 SF ... 938 SF	4	8
24			
02 SECOND FLOOR			
1 BED	659 SF ... 727 SF	24	24
2 BED	856 SF ... 947 SF	6	12
30			
03 THIRD FLOOR			
1 BED	659 SF ... 726 SF	24	24
2 BED	856 SF ... 947 SF	6	12
30			
04 FOURTH FLOOR			
1 BED	659 SF ... 727 SF	24	24
2 BED	856 SF ... 947 SF	6	12
30			
05 FIFTH FLOOR			
1 BED	659 SF ... 726 SF	24	24
2 BED	856 SF ... 931 SF	6	12
30			
TOTAL			
		144	170

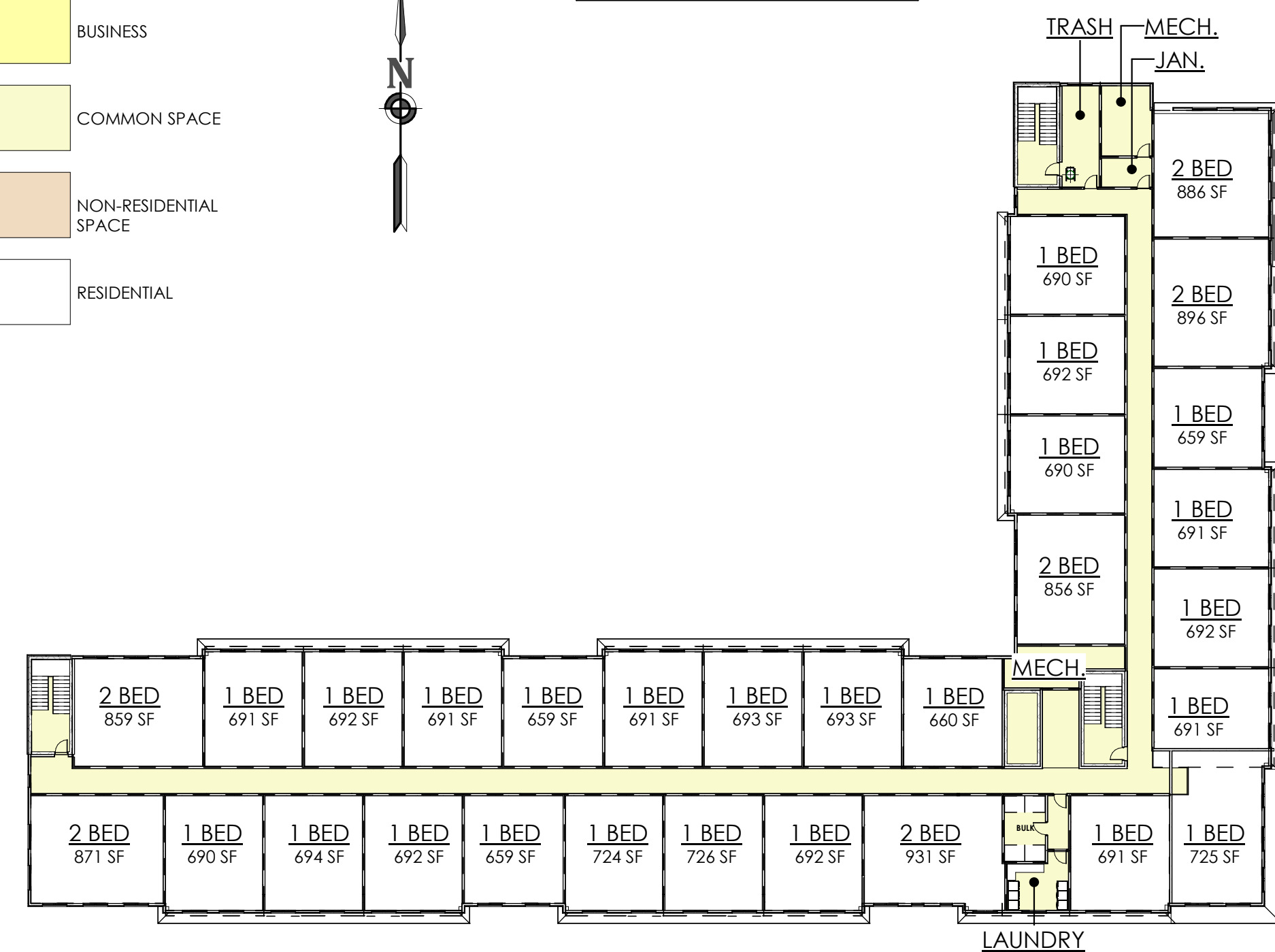
HCR - INTERIOR OF EXT. WALLS	
UNIT SIZE	UNIT AREA
COMMON SPACE	
FITNESS	858 SF
LOBBY	1045 SF
MAIL/PACKAGE	354 SF
	2257 SF
RESIDENTIAL	
1 BED	81851 SF
2 BED	25091 SF
BULK	320 SF
	107262 SF
COMMON SPACE	
BIKE STOR.	314 SF
CIRCULATION	22062 SF
JAN.	462 SF
LAUNDRY	979 SF
MECH.	2102 SF
TRASH	1352 SF
	27271 SF
COMMON SPACE	
COMMUNITY ROOM	1172 SF
	1172 SF
BUSINESS	
COMMERCIAL OFFICE	723 SF
	723 SF
TOTAL	
	138685 SF



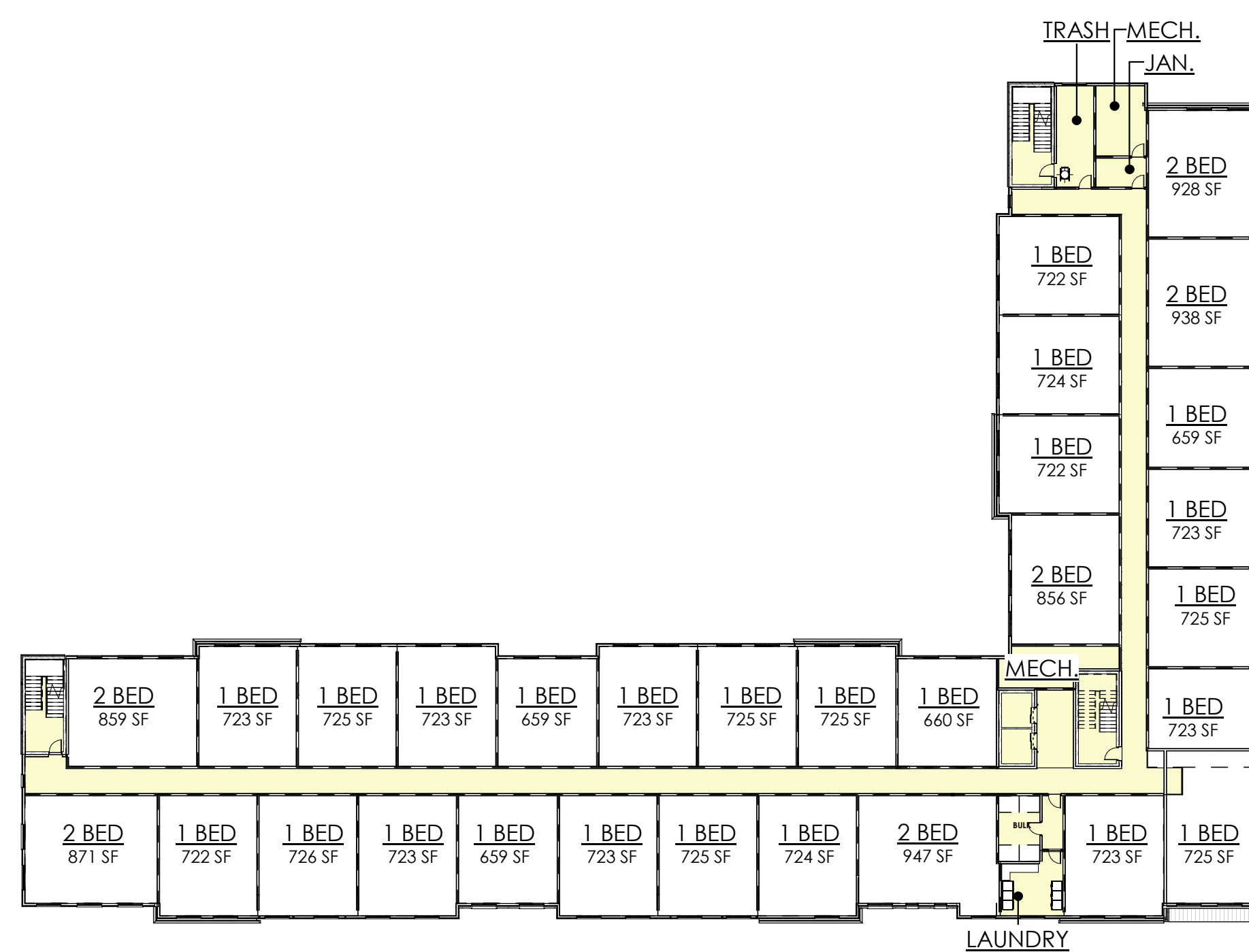
4 FOURTH FLOOR PLAN
 0' 8' 16' 32' 64'
 1/32" = 1'-0"



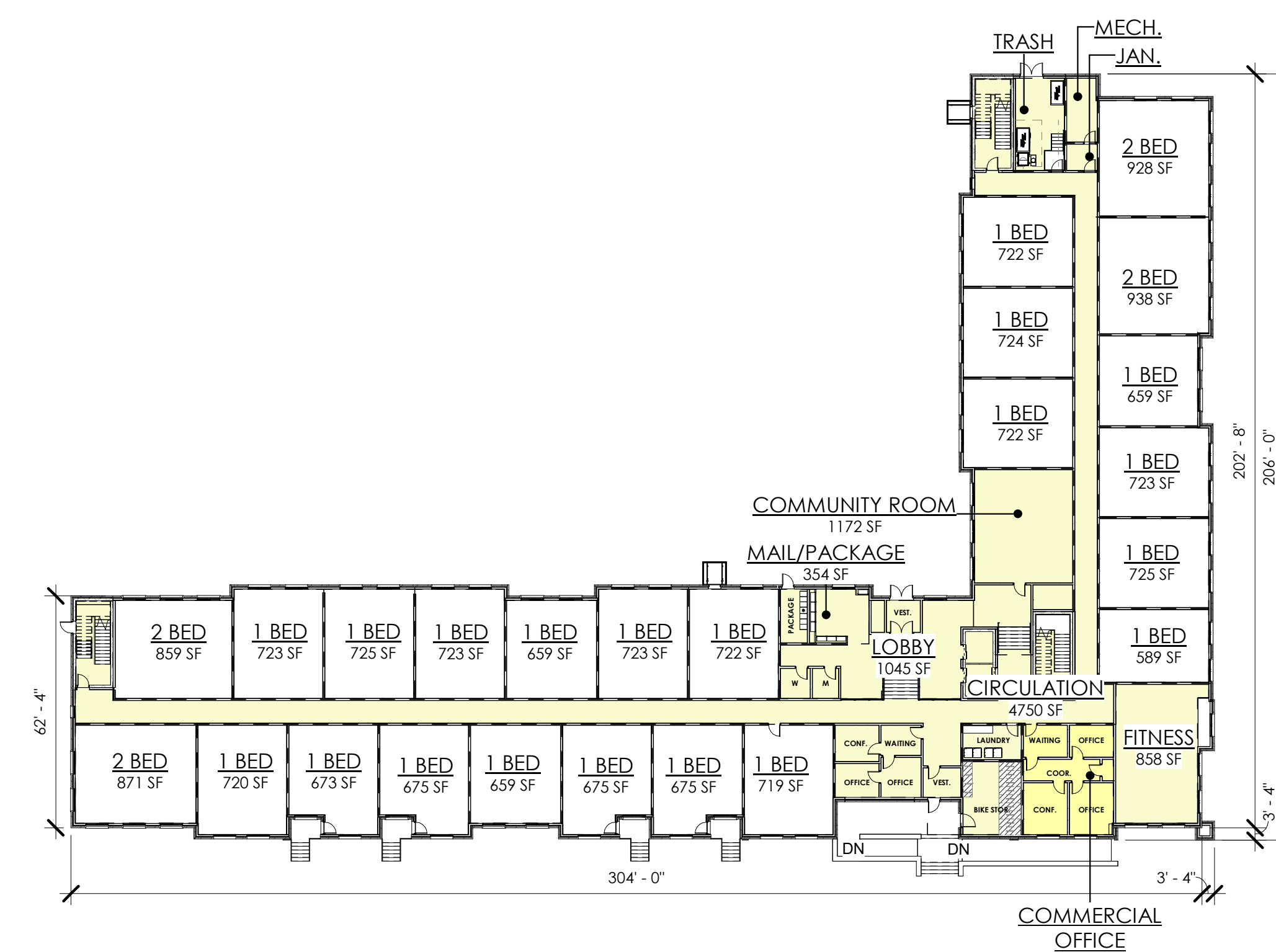
2 SECOND FLOOR PLAN
 0' 8' 16' 32' 64'
 1/32" = 1'-0"



5 FIFTH FLOOR PLAN
 0' 8' 16' 32' 64'
 1/32" = 1'-0"



3 THIRD FLOOR PLAN
 0' 8' 16' 32' 64'
 1/32" = 1'-0"



1 FIRST FLOOR PLAN
 0' 8' 16' 32' 64'
 1/32" = 1'-0"



3 SOUTH ELEVATION
0' 4' 8' 16' 32'
1/16" = 1'-0"



2 NORTH ELEVATION
0' 4' 8' 16' 32'
1/16" = 1'-0"



1 EAST ELEVATION
0' 4' 8' 16' 32'
1/16" = 1'-0"



4 WEST ELEVATION
0' 1' 2' 4' 8'
1/16" = 1'-0"



1 CORNER PERSPECTIVE
N.T.S.

Parcel History

01/01/1900 - 05/08/2026

Tax Map #: 030.-21-01.1

Owners: East Side Business Ctr LLC

Zoning: MX-4

Address	Date	Transaction	Transaction Type	Status	Description
1201 Fayette St E & Walnut Ave	05/18/12	Permit Application	Electric	Issued	06451 Smartwatt: Install 18 lighting fixtures.
1201 Fayette St E & Walnut Ave	05/21/12	Inspection	Initial Inspection	<None>	
1201 Fayette St E & Walnut Ave	07/19/12	Inspection	Final Inspection	Pass	
1201 Fayette St E & Walnut Ave	07/26/12	Completed Permit	Electric	Certificate Issued	06451 Smartwatt: Install 18 lighting fixtures. Certificate of Completion #06451
1201 Fayette St E & Walnut Ave	09/07/12	Permit Application	Electric	Issued	08348 SMARTWATT LIGHTING UPGRADE.
1201 Fayette St E & Walnut Ave	09/07/12	Inspection	Initial Inspection	Pass	
1201 Fayette St E & Walnut Ave	09/26/12	Inspection	Final Inspection	Pass	
1201 Fayette St E & Walnut Ave	09/28/12	Completed Permit	Electric	Certificate Issued	08348 SMARTWATT LIGHTING UPGRADE. Certificate of Completion #08348
1201 Fayette St E & Walnut Ave	08/07/14	Completed Complaint	Street Paving-Patch/Misc	Completed	2014-20278 The city street next to the main- entrance curb of the Syracuse East Side Business Center at 1201 East Fayette is torn up and very rough
1201 Fayette St E & Walnut Ave	03/24/17	Permit Application	Electric	Issued	27911 Install security hardare
1201 Fayette St E & Walnut Ave	03/27/17	Inspection	Inspector Notification	In Progress	
1201 Fayette St E & Walnut Ave	04/28/17	Completed Permit	Electric	Certificate Issued	27911 Install security hardare Certificate of Completion #27911
1201 Fayette St E & Walnut Ave	04/28/17	Inspection	Final Inspection	Pass	
1201 Fayette St E & Walnut Ave	06/29/17	Project	Pre-Development	Withdrawn	AssetPlus Student Housing (1201 Fayette St E & Walnut Ave and 210 Pine St & Fayette St E) Barrett Kirk will present early plans for a new student housing development. The meeting will be held via conference call with the applicants

OFFICE OF ZONING ADMINISTRATION

Sharon F. Owens, Mayor

Major Site Plan Review **MaSPR-2026-14&16**

Approval	Status	Reviewer	Comments
Zoning Planner	Waiting on Board	Nate Pan / Masihullah Omary	No concerns, see Staff Report
Planning Commission	6/08/2026 CPC Meeting		
DPW Transportation Review	Conditionally approved	Neil Burke	May 05, 2026: No major concern with project as proposed. Bike parking should be supplied, utilizing staple-style (no wave-style) racks in conspicuous and well-lit areas near main entrances (Refer to Zoning Ord.) New plan sets are not required, notated edits will suffice.
DPW Traffic Control Review	Conditionally approved	Charles Gafrancesco	May 06, 2026: Applicant must submit MUTCD compliant work zone traffic control (WZTC) plan during permit process when the nature of work will affect pedestrian or vehicular traffic in the public ROW.
DPW Sanitation and Sewers Review	Conditionally Approved	Vinny Esposito	June 02, 2026: Any abandoned sewer laterals must be cut and capped at the curb line. Street cut permits and inspections are required for new sanitary and storm sewer laterals. Special permission may be required for storm water facility to function for both lots as it is now subdivided.. Plumbing permits required for all site and building plumbing from WEP, Plumbing Control Division.
Engineering - Design and Construction Review	Conditionally Approved	Mirza Malkoc	May 29, 2026: All construction in the R.O.W. will require a road cut permit, all construction in the R.O.W. to be per City standards and specifications. • Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review. • This is just a reminder that the new

			<p>Right-Of-Way fees are in effect. Applicant shall be aware of these fees before applying for road cut permit, liability waiver permit, etc. Different fees are charged to the applicant for using the City's Right-Of-Way for road closures, sidewalk closures, closing parking spaces, staging materials in the Right-Of-Way, parking construction vehicles in the Right-Of-Way, etc.</p> <p>The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council Approval.</p> <ul style="list-style-type: none"> • Onondaga County Plumbing Control shall review and approve the plans as well. • Applicant shall receive the sewer capacity assurance letter from Onondaga County WEP Department before applying for the building permit. • All installation & restoration work to be done to City of Syracuse specifications & details.
Engineering - SWPPP Review	Conditionally Approved	Mirza Malkoc	<p>May 29, 2026:</p> <ul style="list-style-type: none"> • Stormwater Pollution Prevention Plan (SWPPP) is required for review due to disturbance of greater than 10,000sf. • Stormwater Access & Maintenance Agreements shall be submitted for review. • Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W.
Parks and Forestry Review	Approved	Jeff Romano	N/A

OFFICE OF ZONING ADMINISTRATION

Sharon F. Owens, Mayor

Resubdivision R-2026-27

Approval	Status	Reviewer	Comments
Zoning Planner	Waiting on Board	Rebeca Baker	No concerns, see Staff Report
Planning Commission	6/8/2026 CPC Meeting		
Eng. Mapping-Zoning	Approved	Ray Wills	May 7, 2026: The bearings provided do agree with City Plats, however there are some details that should be noted. The survey notes a correction on the City ROW marker at the SW corner of Pine and Washington St., however it should be noted that per the ALTA survey provided by Passero, they located the Center of the Monument, and an "cut L" on the monument, both locations are incorrect. This monument is a Corner Stone Monument, and is reflected as such on City Plate #185 listed as Reference #6 on the subdivision map. the correct point on this cornerstone monument would be the North East Corner of the stone, Holding to 2 bent/damaged IRs over the stone monument system that was used to create the block is a curious choice. I have placed a call to Passaro, waiting for a response.
Eng. Mapping-Zoning	Approved	Jacob Lewis	May 20, 2026: We took into account your comments and re-reviewed the boundary determination. Having 3 pieces of evidence found on the block with the two pins found measuring what they should within reason (yes they were damaged, we dig down alongside to find the base for the best possible location) obviously creates a conflict. We don't know who or why they were set but agree holding the northeast corner of the originating monument is the more logical choice. The subdivision map has been revised to the City Datum. The ALTA/Topo drawing has grid bearings with reference to the City datum. Please let me know if there are any questions.

Eng. Mapping-Zoning	Approved	Ray Wills	May 20, 2026: Thank you Jacob, I have removed the previous versions to prevent them from being circulated. The revisions resolved my concerns.
Engineering Design and Construction	Conditionally Approved	Nyezee Goe	No objection to re-subdivision. Storm and Sanitary sewer available Any future construction/development will be subject to the City plan review, approval and permitting process as applicable.
Engineering-SWPPP	Conditionally Approved	Nyezee Goe	Stormwater Pollution Prevention Plan (SWPPP) is required for review if the total soil disturbance is greater than 10,000sf for any future project Future projects shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W. Construction may be subject to Onondaga Countys 1:1 sewer offset to be determined/administered by the City.
Engineering Sewer	Approved	Nyezee Goe	No impact to sewers Future construction on new lot will require new lateral to main All installation & restoration work to be done to City of Syracuse specifications & details. Construction may be subject to Onondaga Countys 1:1 sewer offset to be determined/administered by the City.
Landmark Preservation	N/A		