



CITY OF SYRACUSE, MAYOR SHARON F. OWENS
300 South State Street, Suite 700 Syracuse, NY 13202

Department of Neighborhood and Business Development
 Jake Dishaw, Zoning Administrator
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<u>MaSPR-2026-26</u>	<u>Staff Report –July 20th, 2026</u>
<i>Application Type:</i>	Major Site Plan Review
<i>Project Address:</i>	300-10 Montgomery St (Tax Map ID: 102.-01-03.1)
<i>Summary of Proposed Action:</i>	The applicant intends to convert the existing second floor of ST. Paul’s Parish House to residential units, The subjected property consist of a single lot under one ownership containing two adjacent structures: St. Paul’s Church and St Paul’s Parish house. The proposed renovation is limited to the second floor of the Parish House. The scope of work includes demolition of all non-load bearing interior partition walls, while all structural load bearing and exterior will remain intact. New interior wall will be constructed to create 10 new one-bedroom apartments. The existing building is St. Paul’s Parish House, associated with St. Paul’s church, currently used for religious education and St. Paul’s Church functions. The second-floor unit distribution : 10 one-bedroom apartments, 4 will be ADA compliant Community room : 1,118 S.F Office : 300 S.F Trash Room : 122 S.F Laundry Room : 144 S.F Multi Dwelling units land use types are permitted by right under the regulations of the MX-5 Zone District. A stair and elevator near the southeast corner of the building to access the second floor has recently been installed. Proposed site area: 0.95 Acres / 41,382 SF.
<i>Owner/Applicant</i>	Philip Major - St. Paul’s Parish House , (Owner) Randy Coogan Schopfer (Applicant & Representative) Schopfer Architects LLP (Architect)
<i>Existing Zone District:</i>	MX-5 : Central Business Zone District
<i>Surrounding Zone Districts:</i>	The neighboring properties to the east, west, north and south are MX-5 Zone District.
<i>Companion Application(s)</i>	N/A
<i>Scope of Work:</i>	<u>Exterior work:</u> (1) No modification will be made to the building facade, exterior walls, windows, doors, roof or site structure.

	<u>Interior work:</u> (1) Demolish all non-loading bearing existing interior partition walls and construction new walls and finish, The exterior and structural load bearing walls will remain undisturbed. (2) Demolition ceiling, suspension system, lighting, diffusers, ductwork. (3) Installation of the new ceiling with all the electrical fixtures, heater, smoke detector, doors, and painting.
<i>Facts on Project:</i>	<u>Existing Conditions</u> - The current second floor is mostly vacant but previously was used for religious education classes and some accessory office space. <u>Nonconformities</u> - No nonconformities exist on the site or in the proposed renovation. <u>Dimensional Standards</u> - The existing lot meets all Dimensional standards of the MX-5 Zone District. - The building footprint occupies 9,192 SF. The existing lot coverage is 93%, leaving the Northern and Southern portions of the lot available for improved circulation and green space. <u>Use Specific Standards</u> - The proposed 10 units will be provided 100 % for affordable housing under A Tiny Home for Good. A Tiny Home for Good is a Syracuse-based nonprofit that builds and manages tiny homes, multi-family units, and affordable apartments to end homelessness, with ongoing support for residents to ensure long-term stability. <u>Local Land Use and Residential Compatibility</u> - The Site is MX-5 Zone District, where the commercial use and mixed used types including Mixed-use development and Multi Dwelling Units are permitted by right, which reinforces the intent of commercial development. The surrounding Zone district is also MX-5 at 320 Montgomery St. and land uses are Multi Dwelling Unit buildings. The proposed uses will be similar to the existing uses and compatible with the neighborhood. <u>Off-Street Parking and Loading</u> - This property is located in MX-5 Zone District and has exemption for multi dwellings for parking. - A dumpster will be placed in the West side of the building at existing parking lot. Trash will be removed every other day from the second-floor trash room. - 2 parking spaces dedicated for use by the “A Tiny Home for Good” tenants in the existing parking lot.

	<u>Landscaping, Buffering, and Screening</u> - No landscaping work is proposed. - Existing paved areas and site layout will remain undisturbed. - No additional buffering and screening is proposed. <u>Site, Building Design, and Exterior Lighting</u> - The proposed project does not include any exterior site work. The existing site layout, access points, pedestrian routes and parking areas will remain unchanged. <u>Signage</u> - Any proposed signage requires separate building permits subject to review by the Zoning Administration, Central Permit Office, and Preservation Planner if applicable. <u>Historic Preservation</u> - This property is listed as Historic preservation; however, since the scope of work is limited to interior renovation only with no exterior modification, Kate Auwaerter confirms that review by the Landmark Preservation Board is not required. <u>Additional Standards, Building Placement, and Transparency</u> - The proposed project involves interior renovations only, with no exterior modification to the existing church structure. The building footprint, setback, façade, and exterior architectural elements remain unchanged. - All existing building placement and dimensional standards, transparency continue to comply with the requirements of the MX-5 zone district.
<i>Staff Analysis:</i>	<u>Major Site Plan Approval Criteria</u> Consistency with the General Purpose and Intent of the Ordinance: The proposed interior renovation of the second floor to create ten one-bedroom residential units is consistent with the general purpose and intent of the MX-5 Zone District. The MX-5 district encourages higher-density residential uses within existing urban structures, supports adaptive reuse of underutilized buildings, and promotes walkable, mixed-use environments. Consistency with Dimensional and Design Development Standards: The project meets all applicable dimensional and development standards of the MX-5 Zone district. No exterior construction, additions, or façade modification are proposed. Existing setbacks, building height, lot coverage, and exterior design remain unchanged. Because the scope is limited to interior renovation, the project does not trigger additional dimensional requirements. The building continues to comply with MX-5 standards for structures placement, exterior appearance, and sit configuration. Consistency with the Comprehensive Plan and City Policies: The project supports the city's comprehensive plan by promoting adaptive reuse, reinvestment in existing buildings, and expansion of affordable residential housing within the downtown core. Converting the second floor into residential units align with city policies encouraging infill development, preservation of historic structure, and increased housing arability near employment, and community services.

Staff Recommendation:	Staff recommend approving this project.
Recommend conditions if approved:	1. The applicant shall comply with the general conditions for approval on the Site Plan application. (See the attached sheet General Conditions for Site Plan Approval) 2. Affordable dwelling units must comply with City income and rent restrictions regardless of a change in Building or property ownership. 3. All affordable units will have the same structural, fixtures, appliances, and materials as the market rate apartments. 4. All Affordable Dwelling Units must be certified by the City's Department of Neighborhood and Business Development administrative procedures. 5. The affordability requirement shall be effective for 30 years from the date the Certificate of Occupancy is issued.
Zoning Procedural History:	03/27/2026, MiSPR-2026-23 Proposing Site changes to an existing parking area. Site work for the reconstruction of an existing parking lot due to settlement and uneven. (Approved) 11/21/23 MiSPR-23-20 Construction of entry portico for accessible entrance and replacement of sidewalk on church property at Montgomery Street lobby entrance. 4/2/2001 CA-00-22 St. Paul's Roof Replacement. Certificate of Appropriateness (Approved) 10/23/2023 50141 Interior Demo Only 11/21/2023 MiSPR-23-20 Construction of entry portico for accessible entrance and replacement of sidewalk on church property at Montgomery Street lobby entrance. 12/5/2023 50347 Miscellaneous alteration including new west entry, stair and vestibule alterations to add elevator at the Montgomery (east) entrance, and bathroom work. 10/24/2024 CA-24-26 Installation of new window opening on Parish Hall (rear elevation). Resolution approving Certificate of Appropriateness.
Summary of Zoning History:	The parcel has consistently received approval for projects enhancing accessibility, safety and functionality of the church and parish house. The proposed interior renovation of the Parish House second floor is consistent with no zoning violations.
Code Enforcement History:	See attached code enforcement history.
Zoning Violations:	The proposed interior construction has no zoning violations.
Summary of Changes:	This is not a continued application.
Property Characteristics:	<u>Existing property characteristics</u> The subject property at 300-10 Montgomery St. is a square-shaped parcel with a lot size of 41,382 SF (0.95 Acres). The property has two street frontages. To the East, the property has frontage along the Montgomery St. 198 Ft. To the South, the property has frontage along the East Fayette St. 208 Ft. To the North, the property line border S E Jefferson St. 198.92 FT. To the West, the property line border S Warren St. 198 Ft.

	<u>Proposed Property Characteristics After Resubdivision:</u> N/A
<u>SEQR Determination:</u>	Pursuant to the 6 NYCRR §617.5 The project is a type II Action.
<i>Onondaga County Planning Board Referral:</i>	Pursuant to GML §239-l, m and n, the proposal does not require review by the Onondaga County Planning Board. (As per Onondaga County Planning Board Review exemption agreement with the City, the project is eligible for review exemption because scope of work is limited to interior renovations only, with no exterior modification or site changes.

Application Submittals: The application submitted the following in support of the proposed project:

- Major Site Plan Review Application
- Short Environmental Assessment Form Part 1 (St. Paul's Parish House, LLC) 300-10 Montgomery St, Onondaga County, City of Syracuse, New York; 13202
- Survey Package (Existing Property Survey) (Sheet N/A) 300-10 Montgomery St., Onondaga County, City of Syracuse, New York; 13202 Drawn by RJL Sr, dated 05/31/2017; Scale: As shown
- Floor Plan Package (St Pauls Parish House 2nd Floor Apt) (Sheet T1.1, T1.2, T1.3, EX1.0, EX1.1, EX1.2, D 1.2, D 2.2, A 1.2), Onondaga County, City of Syracuse, New York; 13202 Drawn by Schopfer Architects LLP; Dated 05/28/2026; Scale: As shown
- Site Plan Layout (St Pauls Parish House 2nd Floor Apt) (Sheet L 1.1), Onondaga County, City of Syracuse, New York; 13202 Drawn by Schopfer Architects LLP; Dated 05/28/2026; Scale: As shown
- Cross Section (St Pauls Parish House 2nd Floor Apt) (Sheet A 3.1), Onondaga County, City of Syracuse, New York; 13202 Drawn by Schopfer Architects LLP; Dated 05/28/2026; Scale: As shown

Attachments:

Major Site Plan Review Application

Camino Comments from City Departments

Context Maps:

Figure 1: Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.
Image Source: City of Syracuse Neighborhood and Business Development, Syracuse Zoning Map

Figure 2: Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS on the Web, <https://spatial.vhb.com/onondaga/>

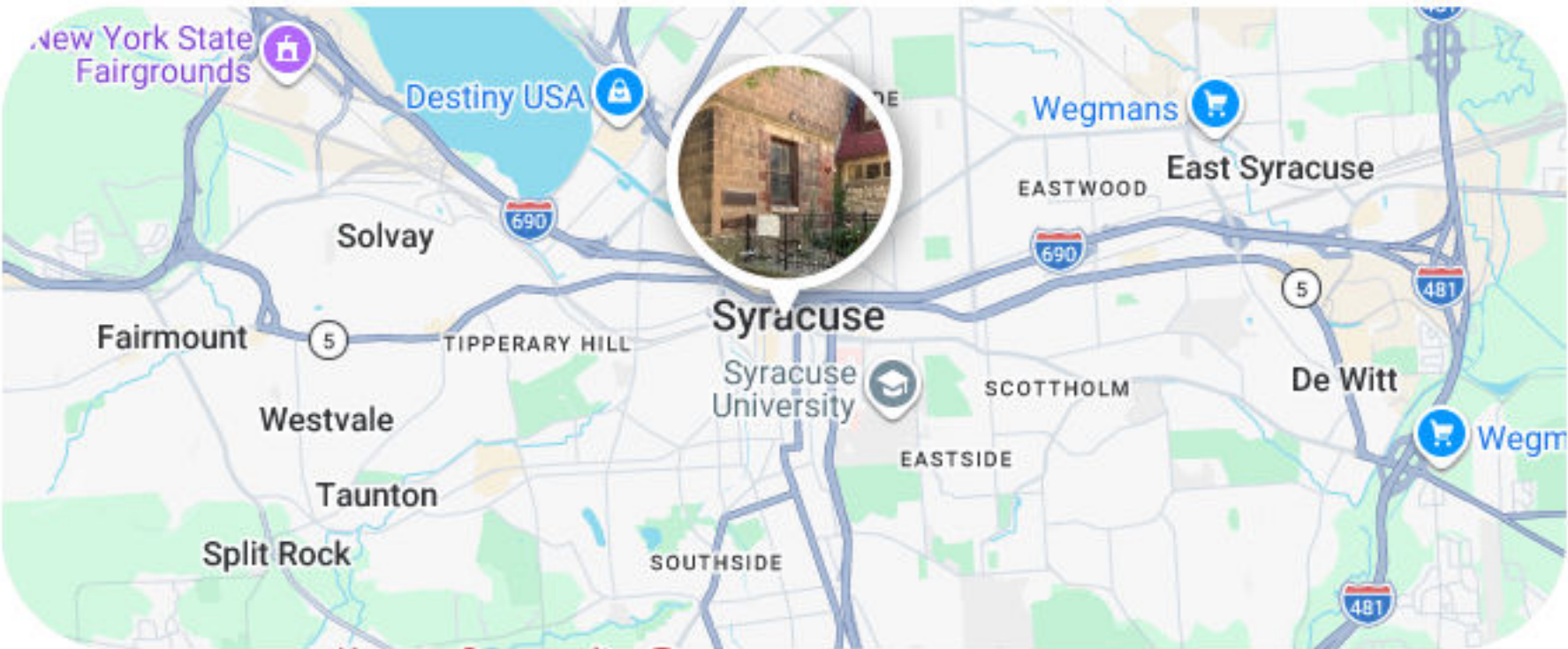


Thu, Jul 9, 2026 • 2:08 PM

Add a caption...

Syracuse, NY

Open in Maps



Details

 Apple iPhone 16e

▼



Office of Zoning Administration

CITY OF SYRACUSE, MAYOR SHARON F. OWENS

Jacob R. Dishaw
Zoning Administrator

Conor Rourke
Land Use & Zoning
Attorney

Haohui Pan
Zoning Planner II

Noah Garcia
Zoning Planner II

Rebeca Baker
Zoning Planner I

Masihullah Omary
Zoning Planner II

Samuel Prescott
Zoning Planner I

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Eric.ridley@pioneerco.com
Syracuse, NY, 13207
6/26/2026

Randall Coogan
1111 James St.
rcoogan@schopfer.com
Syracuse, NY, 13203

Re: Application Completeness for City Planning Commission

Dear Philip Major:

On 6/26/2026, Masihullah Omary determined the proposed project MaSPR-2026-26 at 300-10 Montgomery St. to be **complete** due to a lack of following materials.

The proposed project will be sent to all involved agencies for review. Once all reviewers from City Departments complete their review and all concerns have been addressed, the proposed project will be scheduled for the next available City Planning Commission (CPC) meeting for a public hearing. No evidence, except items specifically required by the Board or offered for a reconsideration or modification, shall be accepted after a hearing is closed for public comment or testimony.

All landowners and applicants shall appear in person at the hearing, or by a properly authorized representative or agent. An authorized agent who is thoroughly familiar with all aspects of the appeal and who is able to testify as to all issues may appear if he or she holds a properly signed and executed document showing that they have authority to proceed on behalf of the landowner or applicant. Proof of signed and executed document must be submitted to Masihullah Omary at least six (6) business days before the public hearing and must be notarized. Failure to have representation appear before the City Planning Commission two consecutive meetings will result in your project proposal to be denied. Any updates to deliverables (such as site plan, changes in proposed work etc.) must be submitted to Masihullah Omary at least six (6) business days before the date of the hearing.

If the proposed project is held open for another public hearing and/or meeting to resolve any outstanding concerns, updated plans or any other requested documents shall be submitted to Zoning Administration staff NO FEWER than six (6) days prior to the hearing. Failure to submit by this deadline shall cause the item to be removed from the next meeting agenda.

GROWTH. DIVERSITY. OPPORTUNITY FOR ALL.

Office of Zoning Administration 300 South State Street, Suite 700 Syracuse, NY 13202

Office 315 448 8640 zoning@syr.gov www.syr.gov

INTERNAL USE ONLY

Your Submission Details

Submission Number:

MaSPR-2026-26

Status:

Submitted

Message:

Applicant Name:

RANDALL COOGAN

A cant Ema

Primary Location:

300-10 MONTGOMERY ST & FAYETTE ST, 13202

Primary APN:

102.-01-03.1

Submission Type:

Zoning Applications > Site Plan Review > Major Site Plan Review

Last Updated:

June 17, 2026

Submission URL:

<https://app.oncamino.com/syracusenyc/dashboard/submissions/763359/guide>

Contact the agency for more help



(315) 448-8600



zoning@syr.gov zwu@syr.gov hpan@syr.gov



300 South State St.,
Syracuse

① Getting Started

○ Welcome to the City of Syracuse's Online Application Portal

Step is Completed By: Applicant



Welcome to the City of Syracuse's Online Application Portal.

As part of the application portal, we will inform you of your application and submittal requirements, fees, and renewal cadences.

If you'd like to visit us in person to drop off your application and fees, you can submit it to:

City of Syracuse, Central Permit Office

One Park Place

300 South State St.

Syracuse, NY 13202

② Apply for a Permit

☑ Pre-Application Conference is Required for Major Site Plan Review

Group: Zoning

Step is Completed By: Applicant

INTERNAL USE ONLY

1 Are you the property owner?

Yes

No

Data Fields

General Project Information

1 Proposed Zoning Accessory Land Use Type (Refer to Syracuse Zoning Ordinance)

Proposal involves no change on Accessory Land Use Type

2 Proposed Number of Dwelling Units (if applicable)

10.0

3 Current Number of Dwelling Units (if applicable)

0.0

4 Proposed Zoning Primary Land Use Type (Refer to Syracuse Zoning Ordinance)

Dwelling, Multi-unit

5 Will this project include site changes?

No

6 Will this project include exterior alterations?

No

7 Will this project include new construction?

Yes

8 Will this project include demolition (full or partial)?

Yes

9 Companion Zoning Applications (if applicable, list any related zoning applications)

N/A

10 Proposed Onsite Parking

No Change

11 Current Onsite Parking

28 +/-

12 Proposed Hours of Operation

24

13 Current Hours of Operation

N/A

14 Proposed Use of the Property

Existing place of worship remains, 2nd floor converted to apartments

15 Current Use of the Property

CHURCH

16 Lot Size (sq ft)

38,135

17 Business/Project Name

St. Paul's Parish House 2nd Floor Apartments



Office of Zoning Administration
One Park Place, 300 S State St,
Suite 700
Syracuse, NY 13202
Phone: (315) 448-8640
Email: zoning@syr.gov

Owner/Owner's Agent Certification

By signing this application below, I, as the owner of, or the agent of the owner, of the property under review give my endorsement of this application.

Print owner's name:

Signature: *[Handwritten Signature]*

Date: 5/26/26

Mailing address: St. Paul's Church 310 Montgomery St. Syracuse, NY

Phone: [Redacted]

Email: [Redacted]

Print applicant's name:

Signature: *[Handwritten Signature]* TINY HOME ER GOOD

Date: 5/27/26

Mailing address: 1222 SOUTH AVE, SYRACUSE NY 13207

Phone: [Redacted]

Email: [Redacted]

Print authorized representative's name (if applicable):

RANDALL COOGAN, SCHOPFER ARCHITECTS, LP

Signature: *[Handwritten Signature]*

Date: 5/27/26

Mailing address: 1111 JAMES ST. SYRACUSE, NY 13203

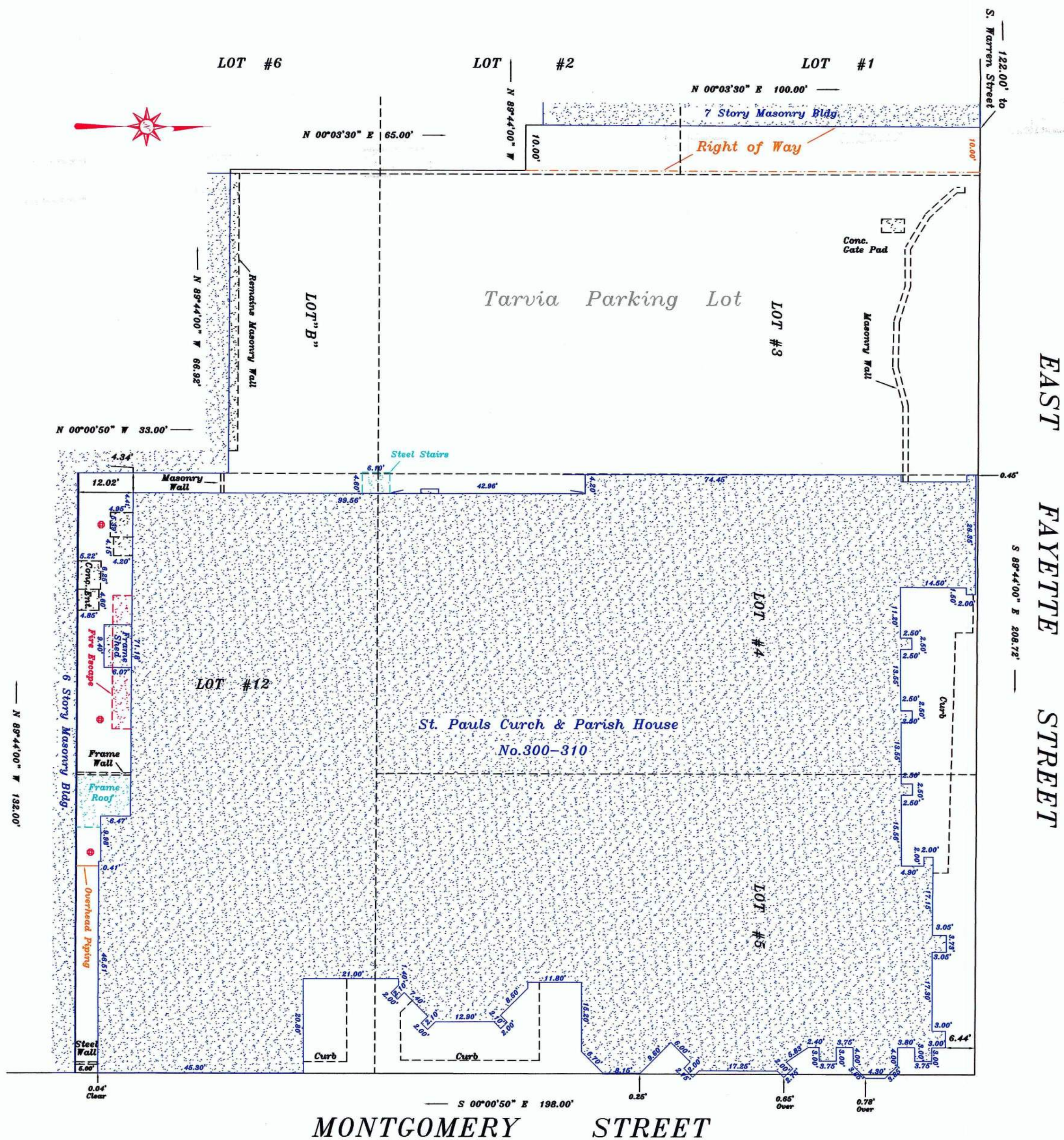
Phone: [Redacted]

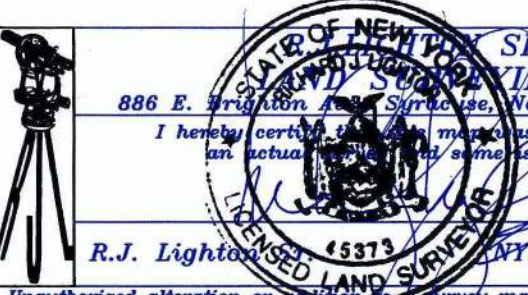
Email: [Redacted]

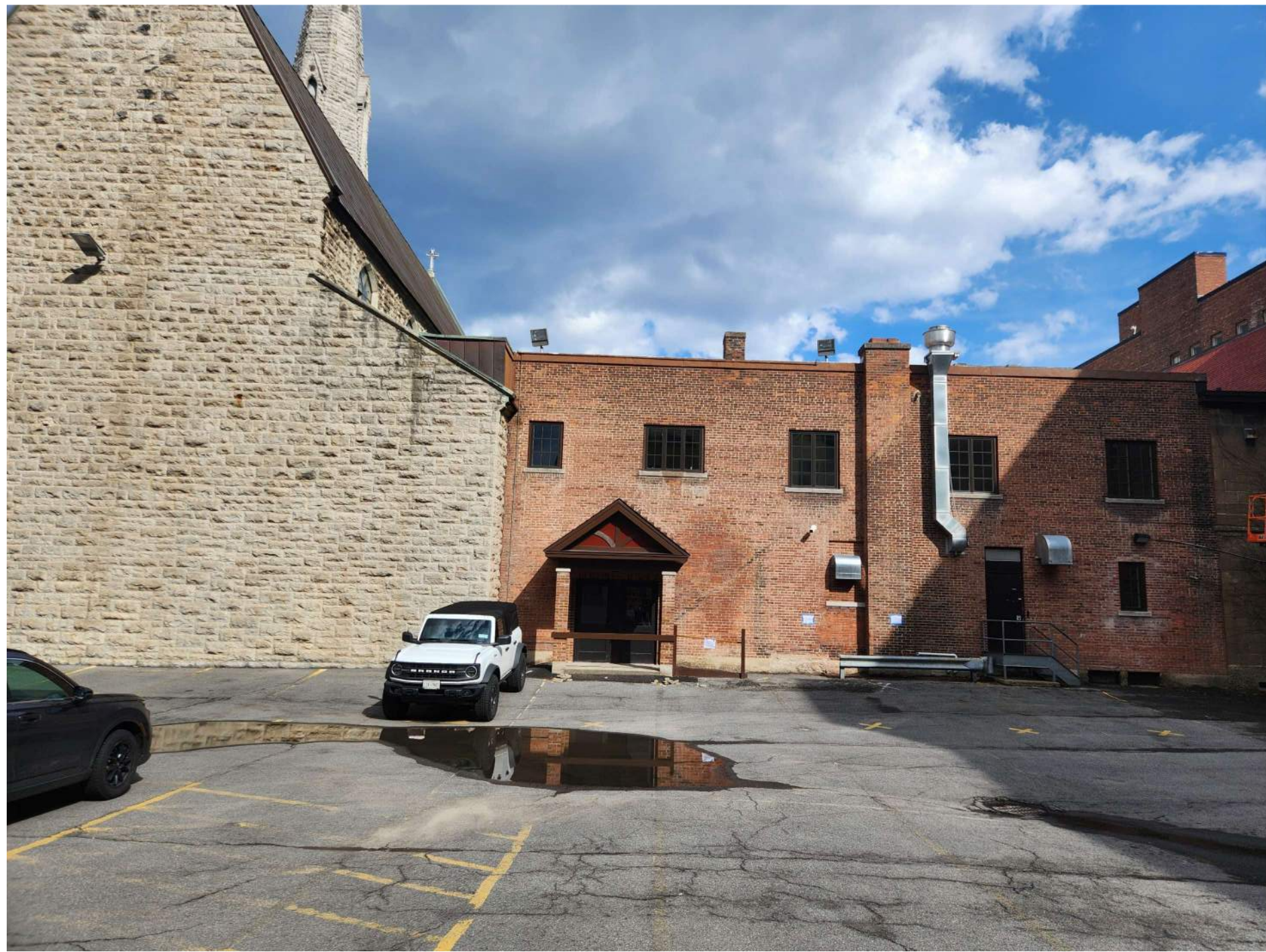
The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. Faxed or photocopied signatures will not be accepted.

PLEASE NOTE:

- If the property owner is a corporation, the person who signed on behalf of the corporation shall print his/her name as well and provide the Articles of Organization.
- If a property owner designates an authorized agent as a legal representative to provide signature(s) on required submittals on his/her behalf, or apply for the application on his/her behalf, or to present the project at the City Planning Commission on his/her behalf, please provide the executed power of attorney form(s) for each representative.
- Incomplete forms or missing supplementary documentation are unacceptable and will result in the application being deemed incomplete. Incomplete applications will not be reviewed by the Office of Zoning Administration until all required materials are submitted.



	Location Survey on LOTS #3, #4, #5, #12 & Part of LOTS #1, #2, #6 & "B" Block #112 * Syracuse *	
	Known as No. 300-310 Montgomery Street, City of Syracuse, County of Onondaga, N.Y.	
	Drawn by: R.J. Lighten Sr.	Scale: 1" = 20' Date: May 31, 2017
	Revisions:	
Unauthorized alteration or use of this survey may be a violation of Section 7209, Subdivision 2 of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's inked seal or his embossed seal shall be considered to be valid true copies. Certifications shall run only to the person or entities for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2013, R.J. Lighten Sr. Land Surveying, all rights reserved.		



1 St. Paul's Parish House - West Entry
No Scale



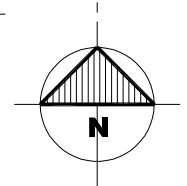
2 St. Paul's Parish House - Southwest Corner
No Scale



3 St. Paul's Parish House - East Side (Montgomery St)
No Scale



4 St. Paul's Parish House - East Side (Montgomery St)
No Scale



5 KEY PLAN
N.T.S.

RENOVATIONS TO:
St. Paul's Parish House
2nd Floor Apartments
310 MONTGOMERY STREET
SYRACUSE, NEW YORK 13202

DISCLAIMER:
THE ARCHITECT SHALL BE DEEMED
TO HAVE CONDUCTED A VISUAL
SURVEY OF THE PROPERTY AND
SHALL RETAIN ALL COMMON LAW
RIGHTS, INCLUDING THE COPYRIGHT,
DRAWING ALTERATION
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AUTHORITY OF THE ARCHITECT, TO
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IN ANY WAY

Schopfer Architects LLP
1111 JAMES ST.
SYRACUSE, NY 13203
315-474-6501
FAX 315-474-1922

Drawn by: RAC		Checked by: RAC	
Date: 4/13/26		Scale: AS NOTED	
Revisions:			
Number:	Date:	By:	
1			
2			
3			
4			
Sheet Title:			
Project Site Photos			
Sheet No:			
A2.2			
Job No:			
2616			

RENOVATIONS TO:

St. Paul's Parish House

2nd Floor Apartments

300 - 310 MONTGOMERY STREET
SYRACUSE, NEW YORK 13202

ARCHITECT:



Schopfer Architects LLP

1111 James Street

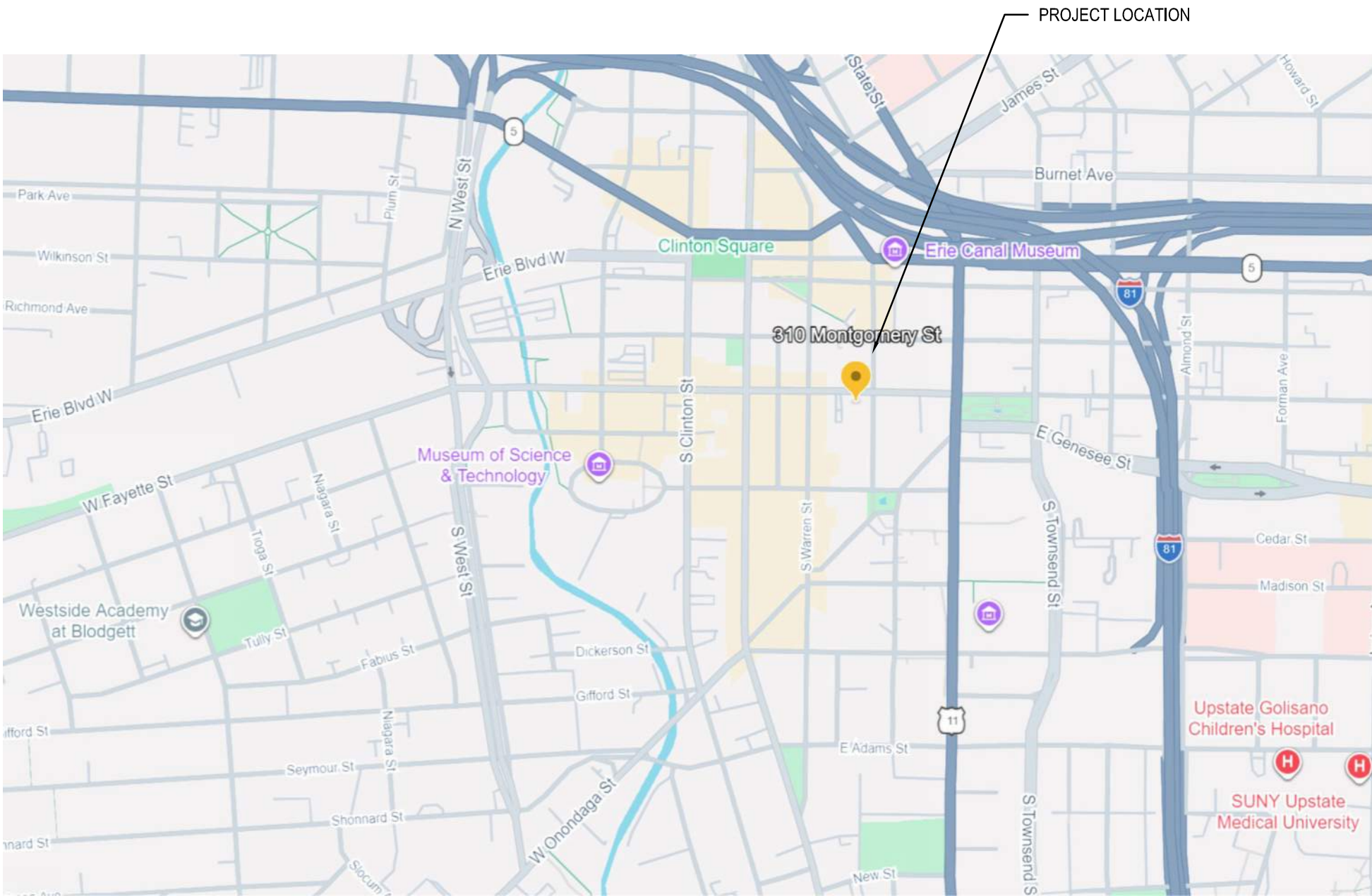
Syracuse, N.Y.

OWNER / CLIENT:

ST. PAUL'S CHURCH
310 MONTGOMERY STREET
SYRACUSE, NEW YORK 13202
315.474.6053
www.stpaulsyr.org

2nd FLOOR TENANT:

A TINY HOME FOR GOOD
1222 SOUTH AVENUE
SYRACUSE, NEW YORK 13207
andrewslunetta@gmail.com
atinyhomeforgood.org



LOCATION PLAN

CITY OF SYRACUSE ZONING SUMMARY:			
CITY OF SYRACUSE ZONING DISTRICT: MX-5, CENTRAL BUSINESS DISTRICT TAX ID: 102-.01-03.1			
ITEM	REQUIRED	EXISTING	PROPOSED
SETBACKS			
FRONT	0'	0'	NO CHANGE
SIDE, CORNER LOT	0'	5' (EAST) 4.34' (WEST)	NO CHANGE
BUILDING HEIGHT	NO MAX., MIN. 30'	VARIES	NO CHANGE
NUMBER OF STORIES	(3) STORIES MIN.	VARIES (1)1 STORY - (3) STORIES	NO CHANGE
LOT SIZE			
WIDTH	NO MIN.	208.72' x 198'	NO CHANGE
AREA	NO REQUIREMENT	NO REQUIREMENT	N/A
LOT COVERAGE	100% ALLOWED	N/A	NO CHANGE
ALLOWABLE USE	MIXED USE (INCLUDING MULT-JUNIT DWELLING)	ASSEMBLY, BUSINESS	ASSEMBLY, BUSINESS, MULT-JUNIT DWELLING
AFFORDABLE DWELLING UNITS	NOT REQUIRED (LESS THAN 20 UNITS)	N/A	AFFORDABLE UNITS WILL BE PROVIDED

LIST OF DRAWINGS:

- T1.1 Title Sheet
- T1.2 Code Review, Wall Types
- T1.3 Life Safety Plans

- Property Survey

- L1.1 Site Plan

- EX1.0 Existing Overall Lower Level Floor Plan
- EX1.1 Existing Overall 1st Floor Plan
- EX1.2 Existing 2nd & 3rd Floor Plans

- D1.2 2nd Floor Demolition Plan
- D2.2 2nd Floor Demolition Ceiling Plan
- A1.2 2nd Floor Plan
- A2.1 Exterior Street Views
- A3.1 Building Section
- A5.2 2nd Floor Ceiling Plan

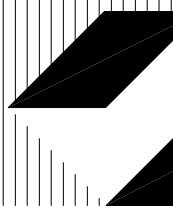
RENOVATIONS TO:

St. Paul's Parish House

2nd Floor Apartments

310 MONTGOMERY STREET
SYRACUSE, NEW YORK 13202

THE ARCHITECT SHALL BE DEEMED TO HAVE ACCEPTED THE PROVISIONS OF THE STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT, DRAWING ALTERATION, IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE WRITTEN AUTHORIZATION OF THE ARCHITECT, TO REPRODUCE OR ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.



Schopfer Architects LLP

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SYRACUSE, NY 13203

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FAX 315-474-1922

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Checked by: RAC

Date: 5/28/26

Scale: AS NOTED

Revisions:

Number:	Date:	By:
△		
△		
△		
△		

Sheet Title:

TITLE SHEET

Sheet No:

T1.1

Job No: 2616

CODE REVIEW: BUILDING CODE OF NYS 2025 / EXISTING BUILDING CODE OF NYS 2025 (HISTORICAL):

- 1

ALTERATION LEVEL 2 (EBCNYS SECTION 603, EBCNYS CHAPTERS 7 & 8)
SHALL COMPLY W/ ALTERATION LEVEL 2: IN ADDITION TO THE PROVISIONS OF CHAPTER 8 - ALTERATIONS LEVEL 2, WORK SHALL COMPLY WITH ALL OF THE REQUIREMENTS OF CHAPTERS 7
- 2

CHANGE OF OCCUPANCY (EBCNYS SECTION 605 & EBCNYS CHAPTER 10)
EBCNYS SECTION 1001.2.2.1 PARTIAL CHANGE OF OCCUPANCY CLASSIFICATION - WHERE A PORTION OF AN EXISTING BUILDING IS CHANGED TO A NEW OCCUPANCY CLASSIFICATION, EBCNYS SECTION 1011 SHALL APPLY.
CURRENT OCCUPANCY: A-3
PROPOSED WORK AREA OCCUPANCY: R-2 (RESIDENTIAL, PERMANENT IN NATURE).
- 3

HISTORIC BUILDINGS (EBCNYS SECTION 607 & EBCNYS CHAPTER 12)
EBCNYS SECTION 607 - EXCEPT AS SPECIFICALLY PROVIDED FOR IN EBCNYS CHAPTER 12, HISTORIC BUILDINGS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THIS CODE FOR THE TYPE OF WORK BEING PERFORMED.
- 4

USE & OCCUPANCY: (BCNYS CHAPTER 3)
2nd FLOOR: USE GROUP R-2 RESIDENTIAL (PROPOSED)
1st FLOOR: USE GROUP A-3 & B (EXISTING)
3rd FLOOR: USE GROUP R-2 (EXISTING)

- 5

MEANS OF EGRESS: (EXBCNYS SECTION 1011.5)

EXBCNYS TABLES 1011.5	RELATIVE HAZARD
EXISTING 2nd FLOOR OCCUPANCY	* A-3 3
PROPOSED 2nd FLOOR OCCUPANCY	R-2 ** 3 (EQ. HAZ.)

* PER BCNYS SECTION 305.1.1: RELIGIOUS EDUCATIONAL ROOMS ACCESSORY TO PLACES OF WORSHIP, WITH OCCUPANT LOADS OF LESS THAN 100 SHALL BE CLASSIFIED AS GROUP A-3.
** 1011.6.2 CHANGE TO EQ. OR LESSER HAZARD CATEGORY: COMPLY WITH EXBC SECTION 905 FOR NEW OCCUPANCY

- 6

MEANS OF EGRESS: (EXBCNYS SECTION 905)

ITEM	REQUIRED	PROVIDED
EGRESS LIGHTING	COMPLY W/ BCNYS	PROVIDED
EXIT SIGNS	COMPLY W/ BCNYS	PROVIDED
2-WAY COMM. SYSTEM	COMPLY W/ BCNYS	PROVIDED

- 7

HEIGHT & FIRE AREA: (EXBCNYS SECTION 1011.6)

EXBCNYS TABLES 1011.6	RELATIVE HAZARD
EXISTING 2nd FLOOR OCCUPANCY	* A-3 2
PROPOSED 2nd FLOOR OCCUPANCY	R-2 ** 2 (EQ. HAZ.)

* PER BCNYS SECTION 305.1.1: RELIGIOUS EDUCATIONAL ROOMS ACCESSORY TO PLACES OF WORSHIP, WITH OCCUPANT LOADS OF LESS THAN 100 SHALL BE CLASSIFIED AS GROUP A-3.
** 1011.6.2 CHANGE TO EQ. OR LESSER HAZARD CATEGORY, THE HEIGHT & AREA OF THE EX. BUILDING SHALL BE DEEMED ACCEPTABLE.

- 8

EXTERIOR WALL FIRE-RESISTANCE RATINGS: (EXBCNYS SECTION 1011.7)

EXBCNYS TABLES 1011.6	RELATIVE HAZARD
EXISTING 2nd FLOOR OCCUPANCY	A-3 3
PROPOSED 2nd FLOOR OCCUPANCY	R-2 * 3 (EQ. HAZ.)

* 1011.7.2 CHANGE TO EQ. OR LESSER HAZARD CATEGORY, THE EX. EXTERIOR WALLS, INCLUDING OPENINGS, SHALL BE DEEMED ACCEPTABLE.

- 9

CONSTRUCTION CLASSIFICATION (BCNYS TABLE 601 & TABLE 705.5)

	ELEMENT	CONST. TYPE III-B	
		REQUIRED	PROVIDED
BCNYS TABLE: 601	PRIMARY STRUCTURAL FRAME	0 HR	0 HR (EX.)
	BEARING WALLS	2 HR	2 HR (EX.)
	EXTERIOR INTERIOR	0 HR	0 HR
	NONBEARING WALLS & PARTITIONS (EXT.)	*	*
	NONBEARING WALLS & PARTITIONS (INTER.)	0 HR	0 HR
TABLE: 705.5	FLOOR CONSTRUCTION (& SECONDARY STRUCTURAL MEMBERS)	0 HR	0 HR
	ROOF CONSTRUCTION (& SECONDARY STRUCTURAL MEMBERS)	0 HR	0 HR
	* EXT. WALLS < 30' DISTANCE SEPARATION	EX.	EX.

- 10

FIRE RESISTANCE RATED CONSTRUCTION (BCNYS CHAPTER 7)

	ELEMENT	REQUIRED	PROVIDED
BCNYS SECTION: 713.4	SHAFT ENCLOSURES FIRE BARRIER	2 HR CONNECTING 4 OR MORE STORIES, 1 HR LESS THAN 4 STORIES	2 HR
BCNYS SECTION: 3006.3 710.5.2 & 716.2.6.1	ELEVATOR HOISTWAY DOOR PROTECTION	REQ'D. (RATED CORRIDORS)	LOBBY PROVIDED
BCNYS SECTIONS 708.1& 708.3	FIRE PARTITIONS WALLS SEPARATING DWELLING UNITS & DWELLING UNITS FROM OTHER OCCUPANCIES	1 HR	1 HR
BCNYS SECTION 711	HORIZ. ASSEMBLIES SEPARATING DWELLING UNITS FROM OTHER OCCUPANCIES	1 HR	1 HR
BCNYS TABLE 1020.2	FIRE PARTITIONS CORRIDORS (W/ SPRINKLER)	1 HR (R OCCUP.)	

- 11

INTERIOR WALL & CEILING FINISHES (BCNYS CHAPTER 8, TABLE 803.13 W/ SPRINKLER)

OCCUPANCY	EXIT ENCLOSURES & EXIT PASSAGEWAYS		CORRIDORS		ROOMS & ENCLOSED SPACES	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
R-2	C	B (MIN.)	C	C (MIN.)	C	C (MIN.)

- 9

INTERIOR FLOOR FINISHES (BCNYS CHAPTER 8)

SECTION 804.4.2 MINIMUM CRITICAL RADIANT FLUX				
OCCUPANCY	EXIT ENCLOSURES & EXIT PASSAGEWAYS & CORRIDORS		ALL OTHER AREAS	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
R-2	COMPLIANCE W/DCC FF-1 "PILL TEST" (EXCEPTION 1: REDUCED FROM CLASS II - SPRINKLERED)	COMPLIANCE W/DCC FF-1 "PILL TEST"	COMPLIANCE W/DCC FF-1 "PILL TEST"	COMPLIANCE W/DCC FF-1 "PILL TEST"

- 10

AUTOMATIC SPRINKLER SYSTEMS (BCNYS SECTION 903.3.1.2 NFPA 13R) BUILDING HEIGHT TO BE VERIFIED

OCCUPANCY : R-2	NFPA 13R REQUIRED THROUGHOUT R-2 CHANGE OF OCCUPANCY SPACE	* PROVIDED
* PROVIDED; FIRE PROTECTION CONTRACTOR TO PROVIDE SHOP DRAWINGS IDENTIFYING HEAD LOCATIONS & COMPLIANCE WITH R-2 OCCUPANCY REQUIREMENTS.		

- 11

STANDPIPE SYSTEM (BCNYS SECTIONS 905.3.1 EXC. #1)

OCCUPANCY : ALL	NOT REQUIRED	NOT PROVIDED
-----------------	--------------	--------------

- 12

PORTABLE FIRE EXTINGUISHERS (BCNYS SECTION 906.1 & NFPA 10)

OCCUPANCY : R-2	REQUIRED	PROVIDED
-----------------	----------	----------

- 13

FIRE ALARM AND DETECTION SYSTEMS (BCNYS SECTIONS 907.2.9, 907.5.2.2 & 907.5.2.3.3)

OCCUPANCY : R-2		
MANUAL FIRE ALARM & AUTOMATIC FIRE PROTECTION SYSTEM	REQUIRED	PROVIDED
EMERGENCY VOICE ALARM	REQUIRED	PROVIDED
VISIBLE ALARMS	ALL D.U.'s TO BE PROVIDED W/ CAPABILITY TO SUPPORT VISIBLE NOTIFICATION APPLIANCES	PROVIDED

- 14

MEANS OF EGRESS - EGRESS WIDTH (BCNYS SECTIONS 1005.3.1 exc #1 & 1005.3.2 exc. #1)

REQUIRED	PROVIDED
STAIRS: 0.3" PER OCCUPANT	PROVIDED (REFER TO LIFE SAFETY PLAN)
DOORS: 0.2" PER OCCUPANT	PROVIDED (REFER TO LIFE SAFETY PLAN)

- 15

COMMON PATH OF EGRESS TRAVEL (BCNYS SECTION 1006.2.1 & TABLE 1006.2.1)

OCCUPANCY	MAXIMUM ALLOWED	PROVIDED
R-2	125'	COMMON PATH OF EGRESS SHOWN ON LIFE SAFETY PLANS

- 16

SPACES WITH ONE EXIT (BCNYS TABLE 1006.2.1)

OCCUPANCY	MAXIMUM OCCUPANTS	MAX. COMMON PATH OF TRAVEL (W/ SPRINKLER)
R-2	20	125'

- 17

MINIMUM # EXITS PER STORY (BCNYS TABLE 1006.3.3)

OCCUPANT LOAD	REQUIRED	PROVIDED
1-500	2	2

- 18

REMOTENESS OF EXITS (BCNYS SECTION 1007.1.1 , EXCEPTION 2)

	MAXIMUM ALLOWED	PROVIDED
SPRINKLERED SPACE	SEPARATION OF EXIT DOORS SHALL NOT BE LESS THAN 1/3 THE LENGTH OF THE MAX. OVERALL DIAGONAL OF AREA BEING SERVED	COMPLIANCE DEMONSTRATED ON LIFE SAFETY PLAN

- 19

MAXIMUM EXIT TRAVEL DISTANCE (BCNYS TABLE 1017.2)

OCCUPANCY	MAXIMUM ALLOWED	PROVIDED
R-2	250' (SPINKLERED)	TRAVEL DISTANCE SHOWN ON LIFE SAFETY PLANS

- 20

DEAD ENDS CORRIDORS (BCNYS TABLE 1020.5 (EXCEPTION 2 WITH SPRINKLER)

	MAX ALLOWED	PROVIDED
GROUPS R-2	20 FEET	SHOWN ON LIFE SAFETY PLANS

- 21

AREAS OF REFUGE (BCNYS SECTIONS 1009.3.3 EXCEPTION 2 & 1009.4.2 EXCEPTION 2)

COMPONENT	REQUIRED	PROVIDED
STAIRWAYS	AREA OF REFUGE NOT REQUIRED IN BUILDINGS W/ SPRINKLER	NOT PROVIDED
ELEVATORS	AREA OF REFUGE NOT REQUIRED IN BUILDINGS W/ SPRINKLER	PROVIDED

EBCNYS 306.7.11.3 TYPE B UNITS (NONE REQ'D., WORK AREA IS LESS THAN 50% OF BLDG. AREA)

- 22

ACCESSIBILITY (EXISTING / HISTORIC BUILDING):
EXISTING BUILDING CODE OF NYS:
EBCNYS 306.7.11.1 ACCESSIBLE UNITS (COMPLY W/ BC SECTION 1108 - NONE REQUIRED)
EBCNYS 306.7.11.2 TYPE A UNITS (NONE REQ'D., LESS THAN 20 BEING ADDED)
EBCNYS 306.7.18.7 TYPE B UNITS (NONE REQ'D., HISTORIC BLDG.)
CONCLUSION:
1. NO ACCESSIBLE, TYPE A UNITS OR TYPE B UNITS ARE REQUIRED.
2. ACCESSIBLE UNITS BEING PROVIDED AS REQUESTED BY TENANT.

CODE REVIEW: FIRE CODE OF NYS 2025

- 1

CARBON MONOXIDE DETECTION
SECTION 915.2.4

CO ALARM/ DETECTION	REQUIRED	PROVIDED
R-2	DEVICES REQUIRED IN DWELLING UNITS	CO ALARM DETECTION PROVIDED WITHIN 10' OF SLEEPING AREAS

CODE REVIEW: ENERGY CONSERVATION CONSTRUCTION CODE OF NYS 2025

- HISTORIC BUILDINGS**
SECTION C501.5
PROVISIONS OF CHAPTER 5 SHALL CONTROL THE ALTERATION AND CHANGE OF OCCUPANCY FOR HISTORIC BUILDINGS.

- C503 ALTERATIONS**

COMPONENT	REQUIRED	PROVIDED
C503.2: BLDG. THERMAL ENVELOPE	COMPLIANCE W/ C503.2 (NO CHANGE TO EXISTING THERMAL ENVELOPE)	NO CHANGE
C503.3: HEATING & COOLING SYSTEMS	NEW SYSTEMS TO COMPLY W/ C403	COMPLIANCE W/ C403
C503.4: NEW SERVICE HOT WATER SYSTEMS	NEW SYSTEMS TO COMPLY W/ C404	COMPLIANCE W/ C404
C503.5: LIGHTING SYSTEMS	NEW SYSTEMS TO COMPLY W/ C503.5.1 & C503.5.2	COMPLIANCE W/ C503.5.1 & C503.5.2

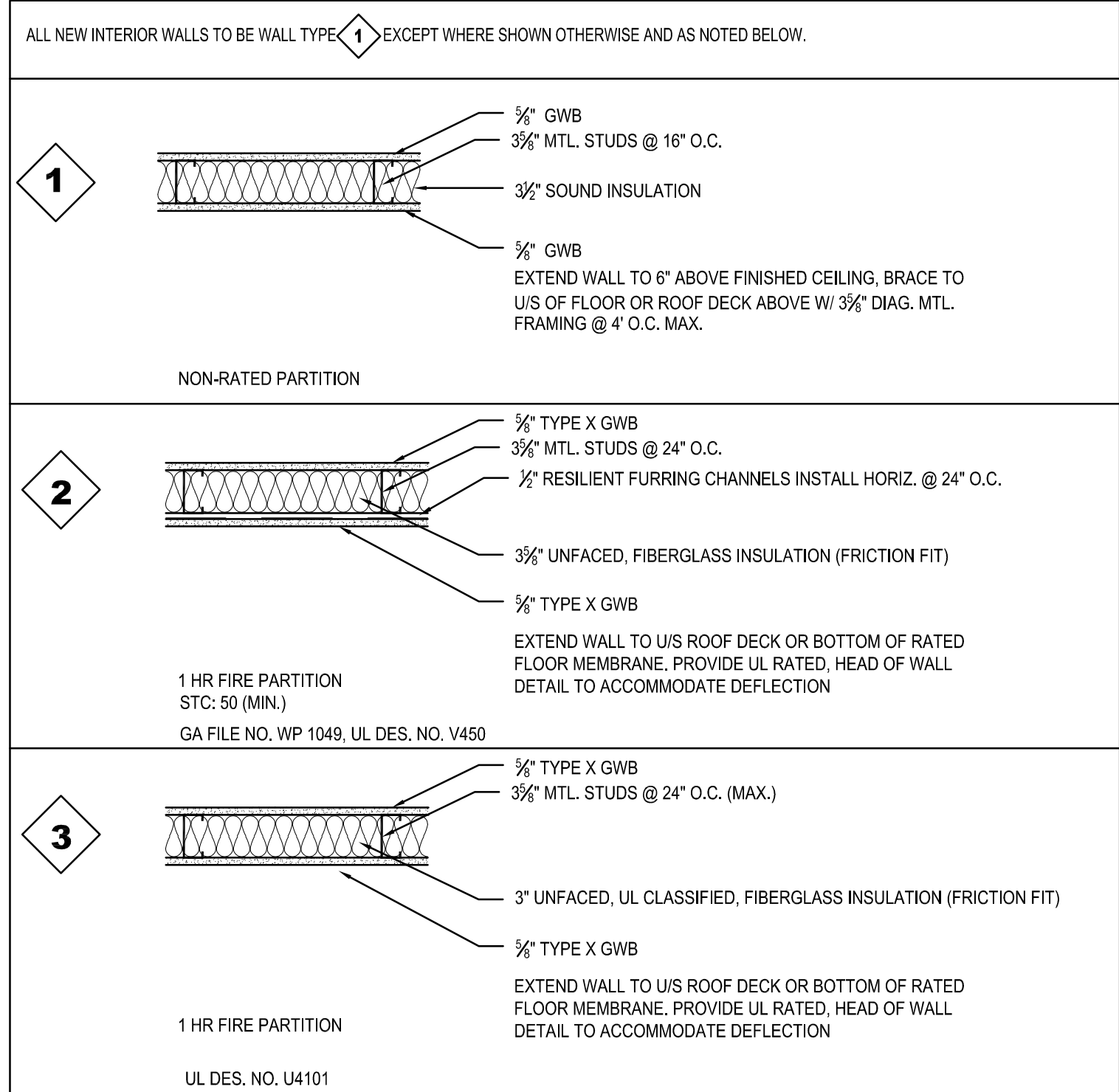
AREA SUMMARY:

	PARISH HOUSE	
1st FLOOR	10,520 SF	
2nd FLOOR	9,192 SF	
3rd FLOOR	1,992 SF	
TOTAL	21,704 SF	

NOTE: AREAS SHOWN ARE TAKEN TO INSIDE FACE OF EXTERIOR WALLS (PER NYSBC "AREA, BUILDING" IS DEFINED AS THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS).

ST. PAULS CHURCH IS BEING CONSIDERED A SEPARATE BUILDING SEPARATED BY EXISTING CONSTRUCTION.

INTERIOR WALL TYPES



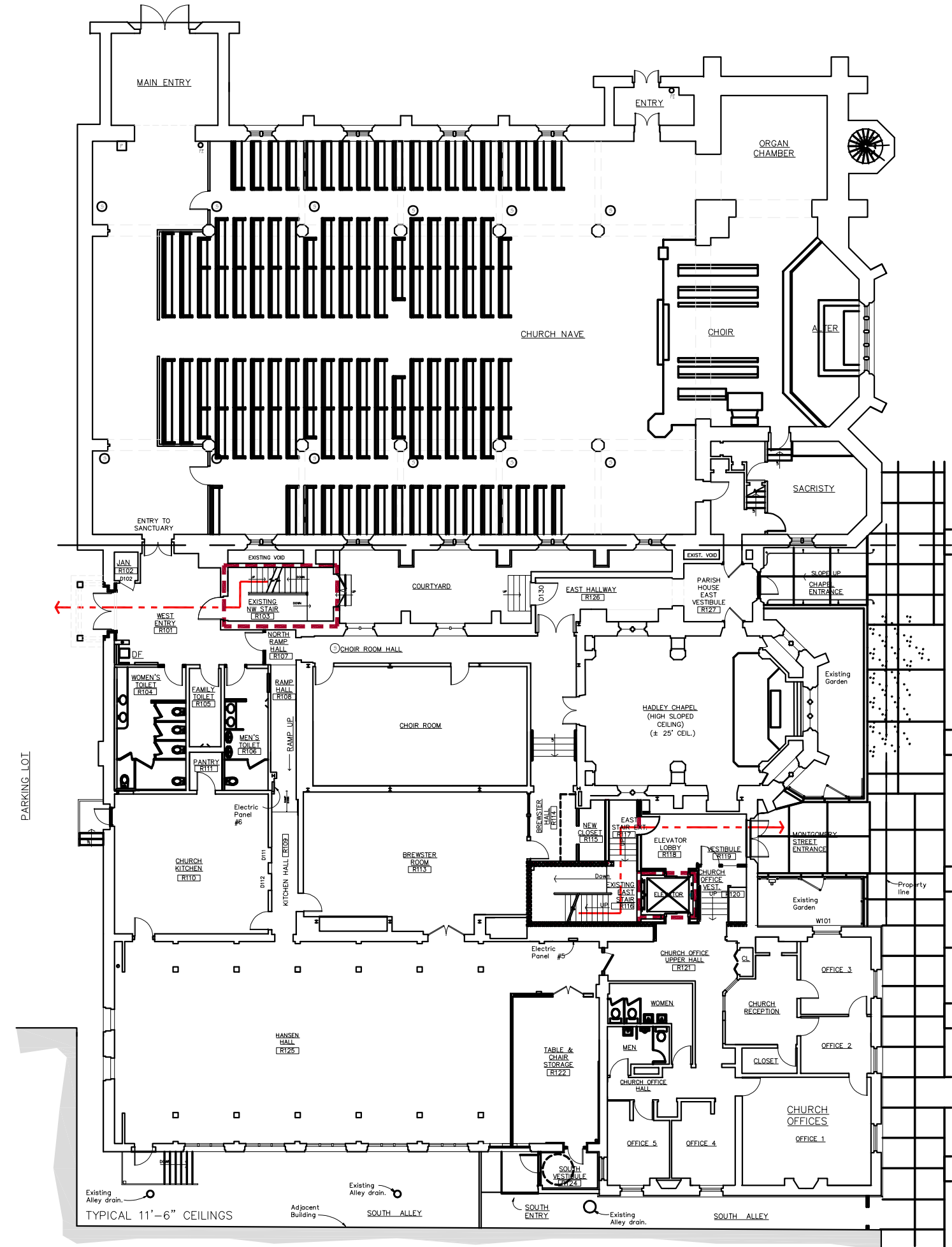
- WALL TYPE NOTES:**
- USE MOISTURE RESISTANT GWB "BLUE BOARD" AT BATHROOMS, JANITOR CLOSETS, KITCHENETTES AND MISC. PLUMBING FIXTURE WALLS, EXCEPT AS NOTED.
 - ALL NON-RATED INTERIOR PARTITIONS SCHEDULED TO BE FINISHED W/CERAMIC TILE SHALL HAVE 5/8" CEMENT TILE BACKER BOARD INSTALLED IN LIEU OF GYPSUM WALLBOARD. ALL RATED INTERIOR PARTITIONS SCHEDULED TO BE FINISHED WITH CERAMIC TILE SHALL HAVE 5/8" CEMENT TILE BACKER BOARD IN ADDITION TO THE 5/8" TYPE X GWB REQUIRED PER THE UL ASSEMBLY.
 - ALL PARTITIONS SCHEDULED TO BE EXTENDED TO DECK OR STRUCTURE ABOVE OR IN CONTACT WITH HORIZONTAL STRUCTURAL MEMBER SUBJECT TO DEFLECTION, ARE TO BE PROVIDED WITH A DEEP LEG NESTED TRACK OR DEFLECTION TRACK.
 - 5/8" CEMENT TILE BACKER BOARD SHALL BE PROVIDED BEHIND ALL PREFABRICATED SHOWER STALLS & WHERE WALL TILE FINISH IS CALLED FOR.
 - PROVIDE SOLID WOOD BLOCKING IN ALL WALLS WHERE HANDRAILS AND GRAB BARS ARE SHOWN.

RENOVATIONS TO:
St. Paul's Parish House
2nd Floor Apartments
310 MONTGOMERY STREET
SYRACUSE, NEW YORK 13202

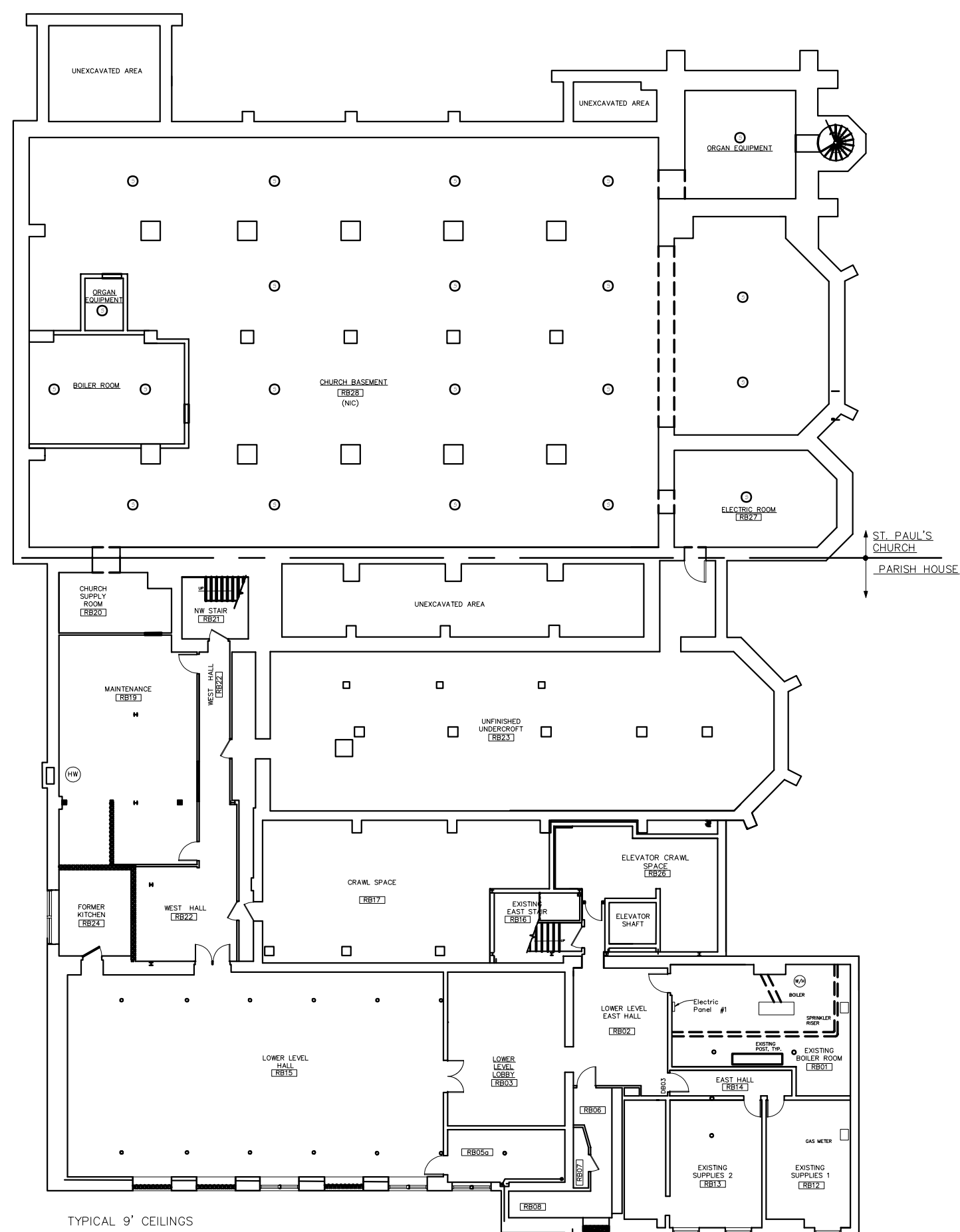
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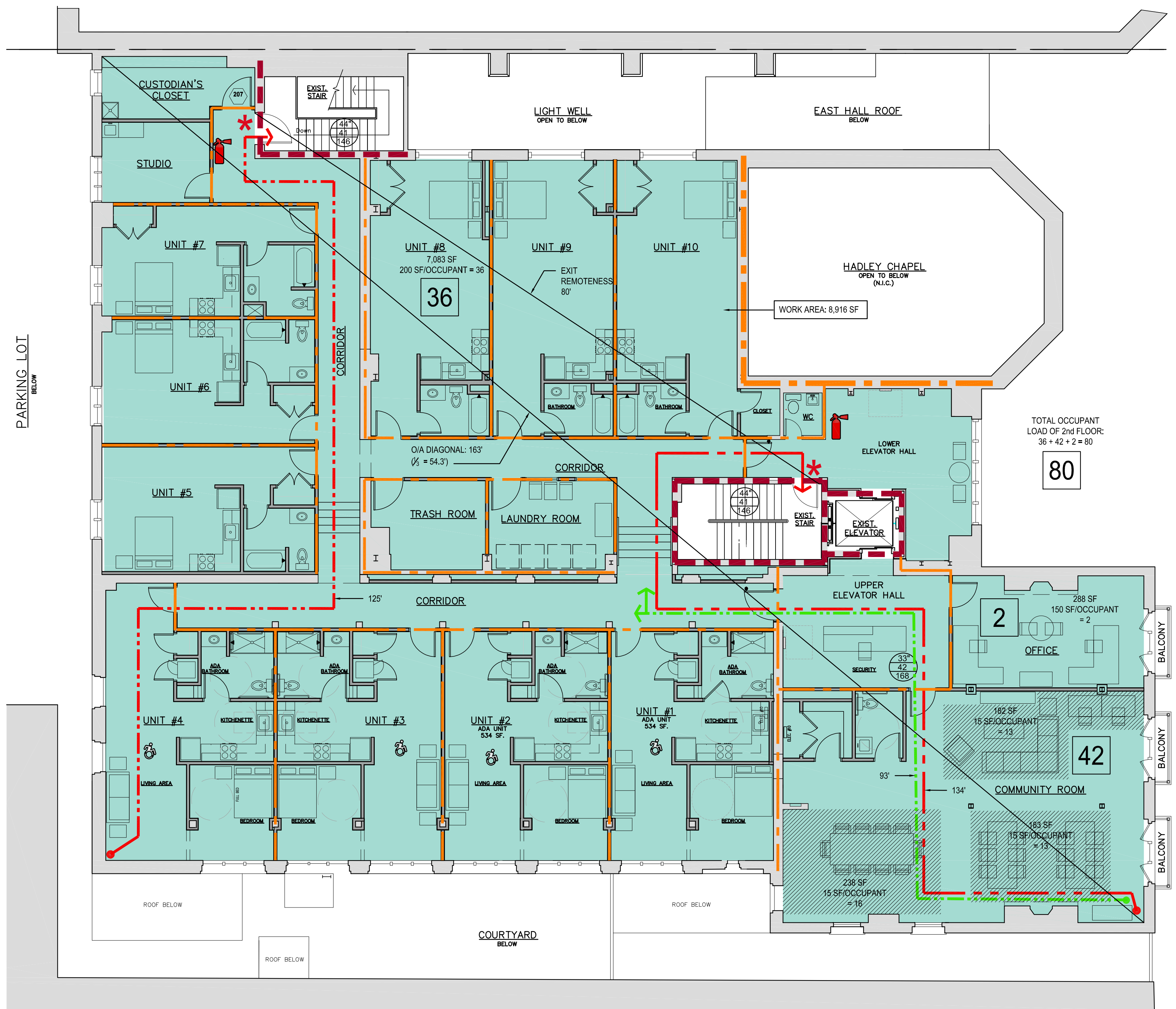
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CODE REVIEW, WALL TYPES		
Sheet No:		
T1.2		
Job No: 2616		



3 1st FLOOR OVERALL PLAN
1"=20'-0"



2 LOWER LEVEL OVERALL PLAN
1"=20'-0"



1 2nd FLOOR LIFE SAFETY PLAN
1/8"=1'-0"

NOTE: PER NYSBC SECTION 303.1.2: A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD LESS THAN 50 & ACCESSORY TO ANOTHER SHALL BE CLASSIFIED AS GROUP B OR PART OF THAT OCCUPANCY.

LEGEND:

- FIRE EXTINGUISHER: IN ADDITION TO THOSE SHOWN, PROVIDE (1) EXTINGUISHER IN EACH APARTMENT (MIN. RATING OF 1-A:10-B:C)
- EXIT ACCESS and/or EXIT DISCHARGE
- TRAVEL DISTANCE
- 1 HOUR RATED TENANT DEMISING WALLS, CORRIDOR WALLS
- EXISTING / NEW 2 HOUR RATED WALL ASSEMBLIES
- COMMON PATH OF TRAVEL

DOOR OR STAIR
CLEAR WIDTH
REQUIRED EGRESS
CAPACITY
ALLOWABLE
EGRESS CAPACITY

72"
38
360

RENOVATIONS TO:
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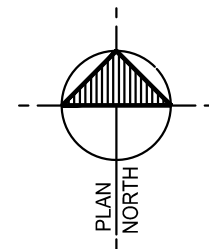
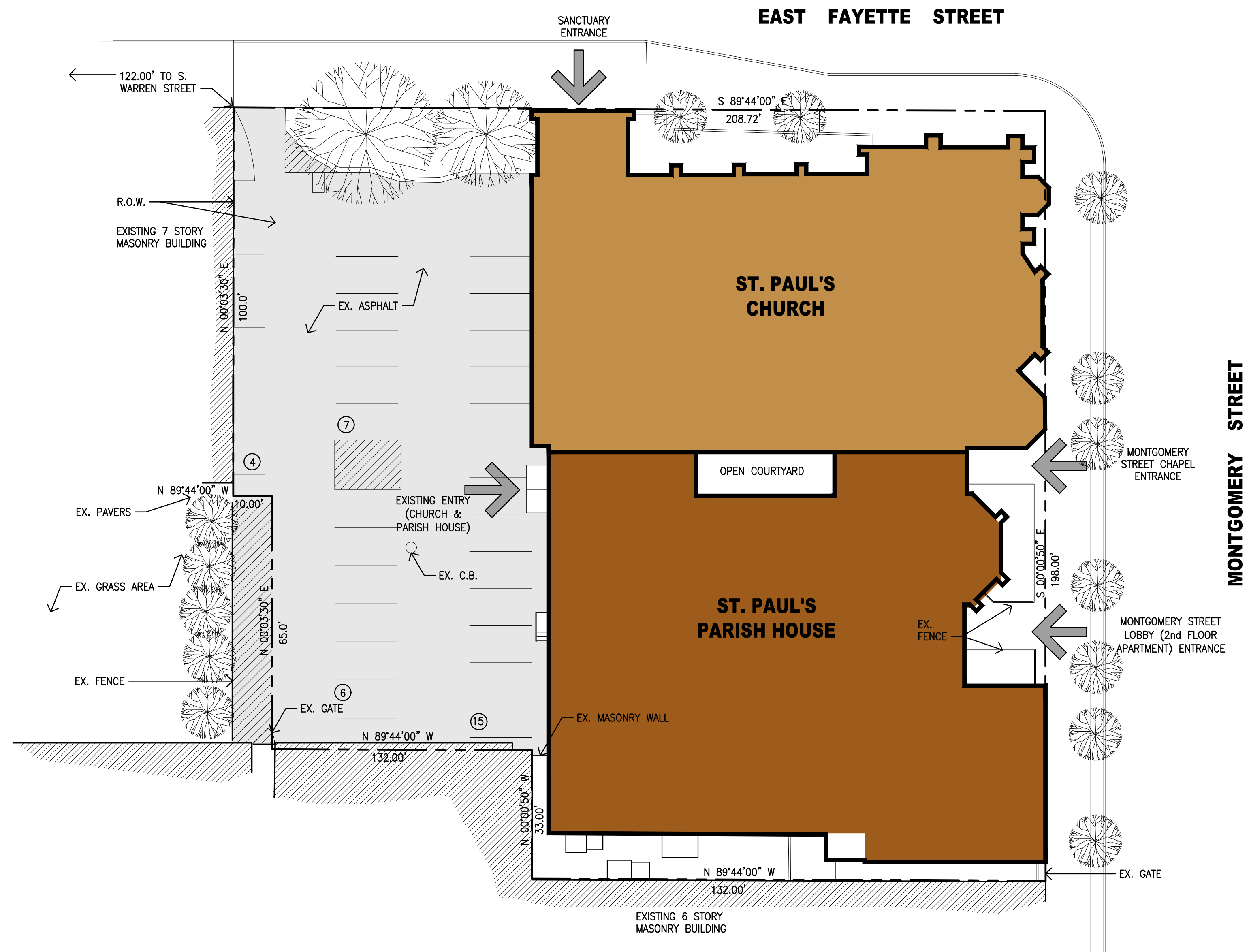
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Sheet Title:
LIFE SAFETY PLAN

Sheet No:

T1.3

Job No: 2616

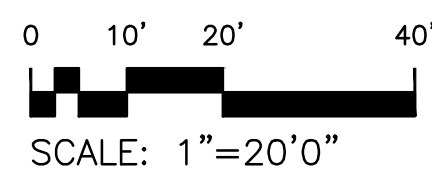


1 SITE PLAN
1"=20'-0"

SITE INFORMATION TAKEN FROM A SURVEY
PREPARED BY R.J. LIGHTON SR. LAND SURVEYING,
886 E. BRIGHTON AVE, SYRACUSE, NY 13205,
DATED MAY 31, 2017 AND FROM ARCHITECT FIELD
OBSERVATIONS

SITE PLAN NOTES:

1. PARKING LAYOUT & STRIPING IS APPROXIMATE.
2. ALL SITE CONDITIONS ARE EXISTING, NO CHANGES ARE REQUIRED OR ANTICIPATED WITH THIS SCOPE OF WORK.



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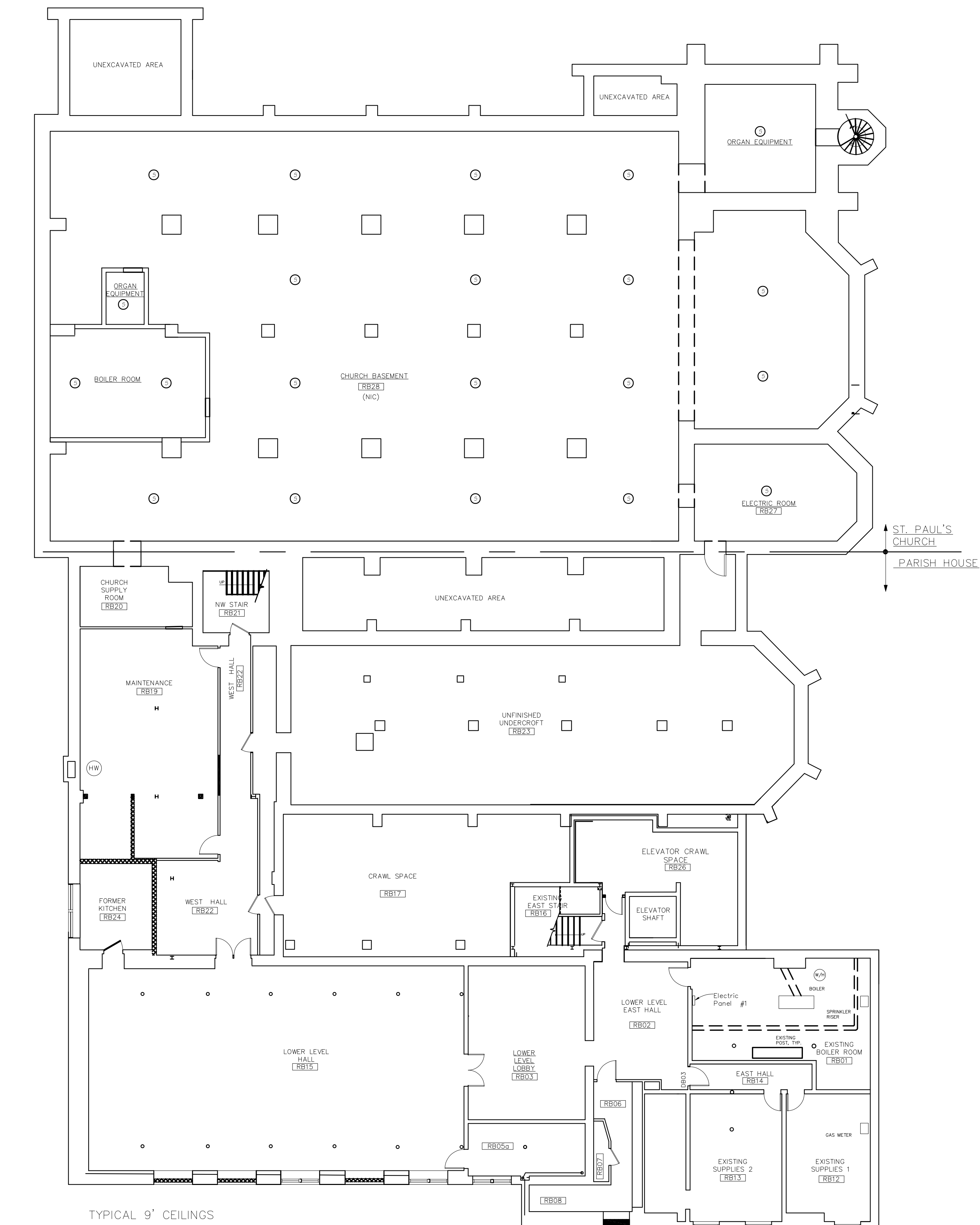
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Sheet Title:
SITE PLAN

Sheet No:
L1.1

Job No: 2616



0' 4' 12' 20'
SCALE: 3/32"=1'-0"

1

Existing Overall Lower Level Floor Plan
3/32"=1'-0"

PLAN NORTH

RENOVATIONS TO:
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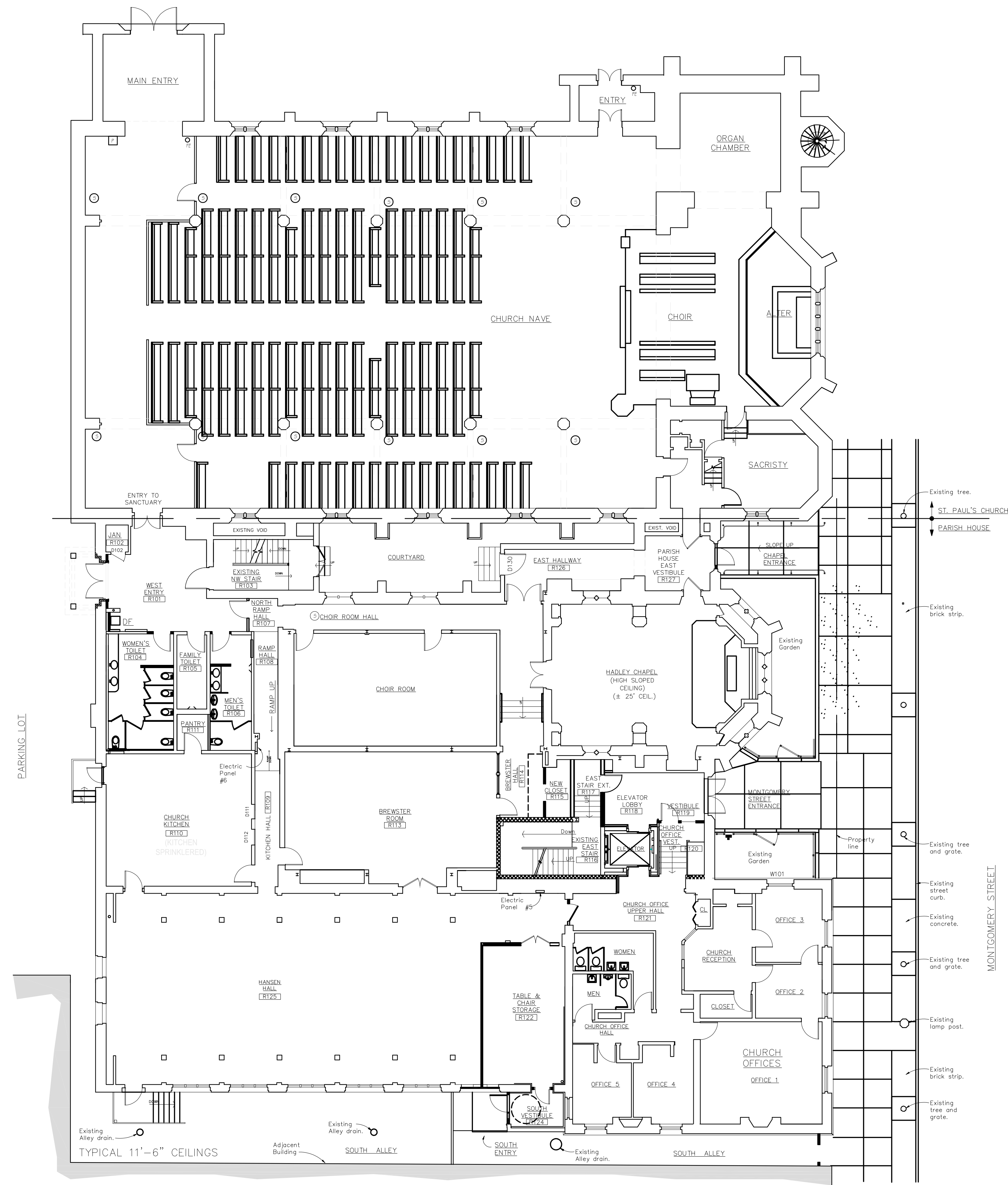
EXISTING OVERALL LOWER LEVEL FLOOR PLAN

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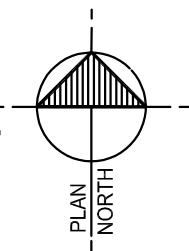
Job No:

2616



0' 4' 12' 20'
SCALE: 3/32"=1'-0"

1 Existing Overall 1st Floor Plan
3/32"=1'-0"



RENOVATIONS TO:
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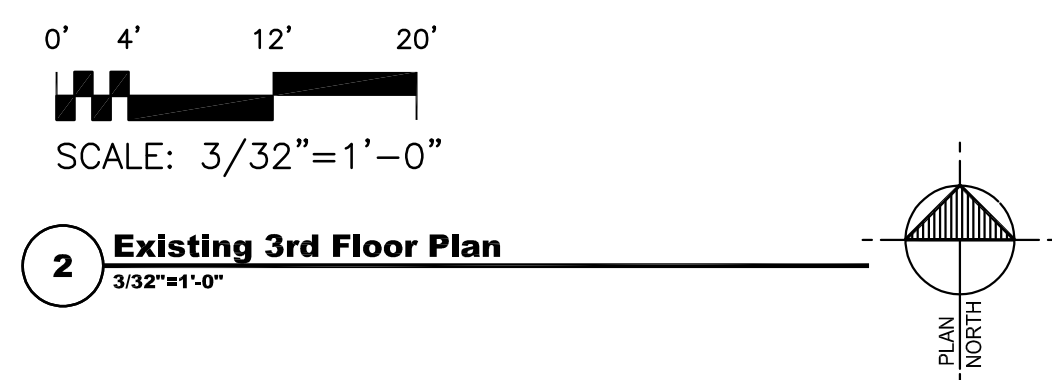
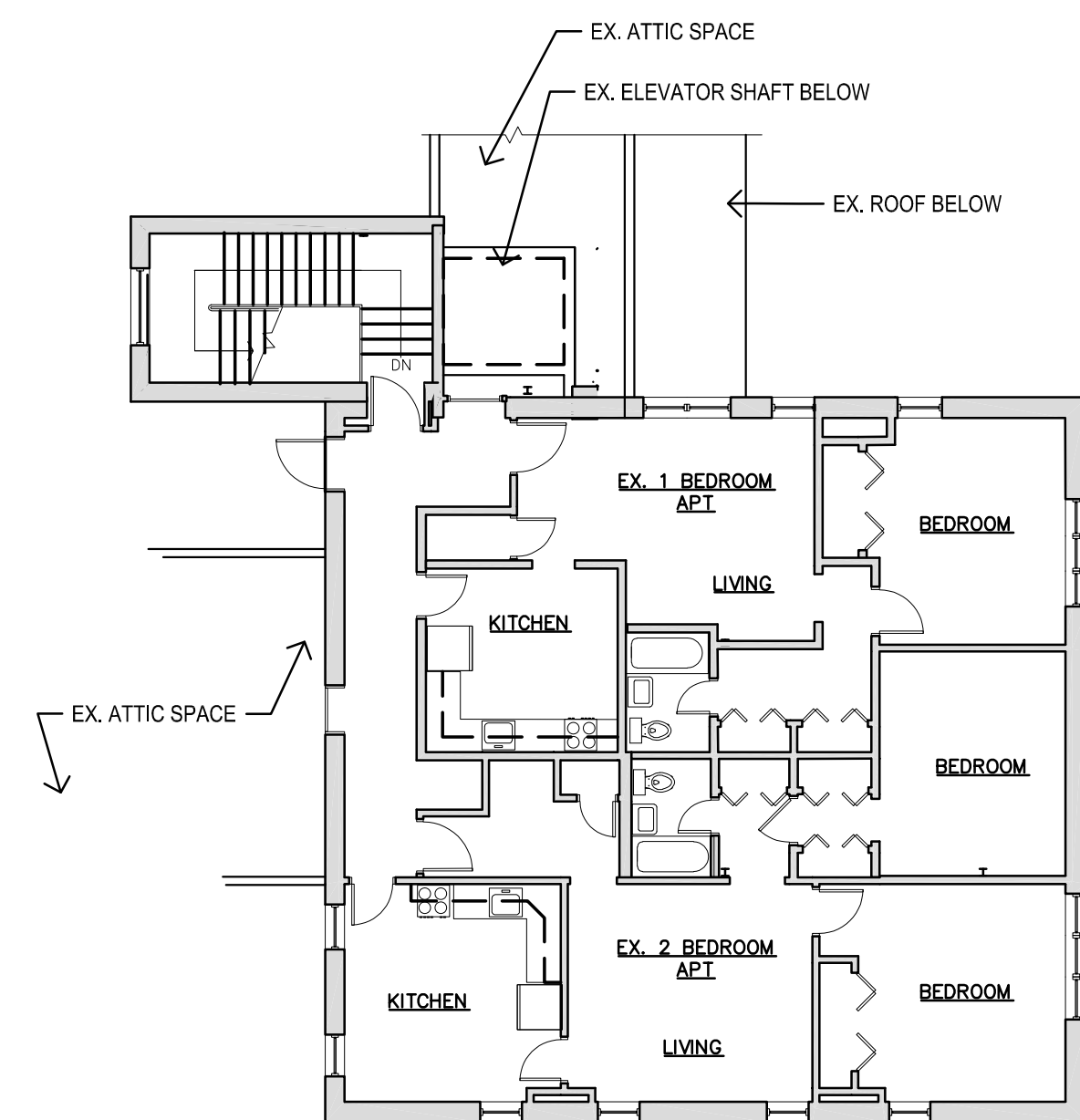
EXISTING
OVERALL 1st
FLOOR PLAN

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Job No:

2616



RENOVATIONS TO:

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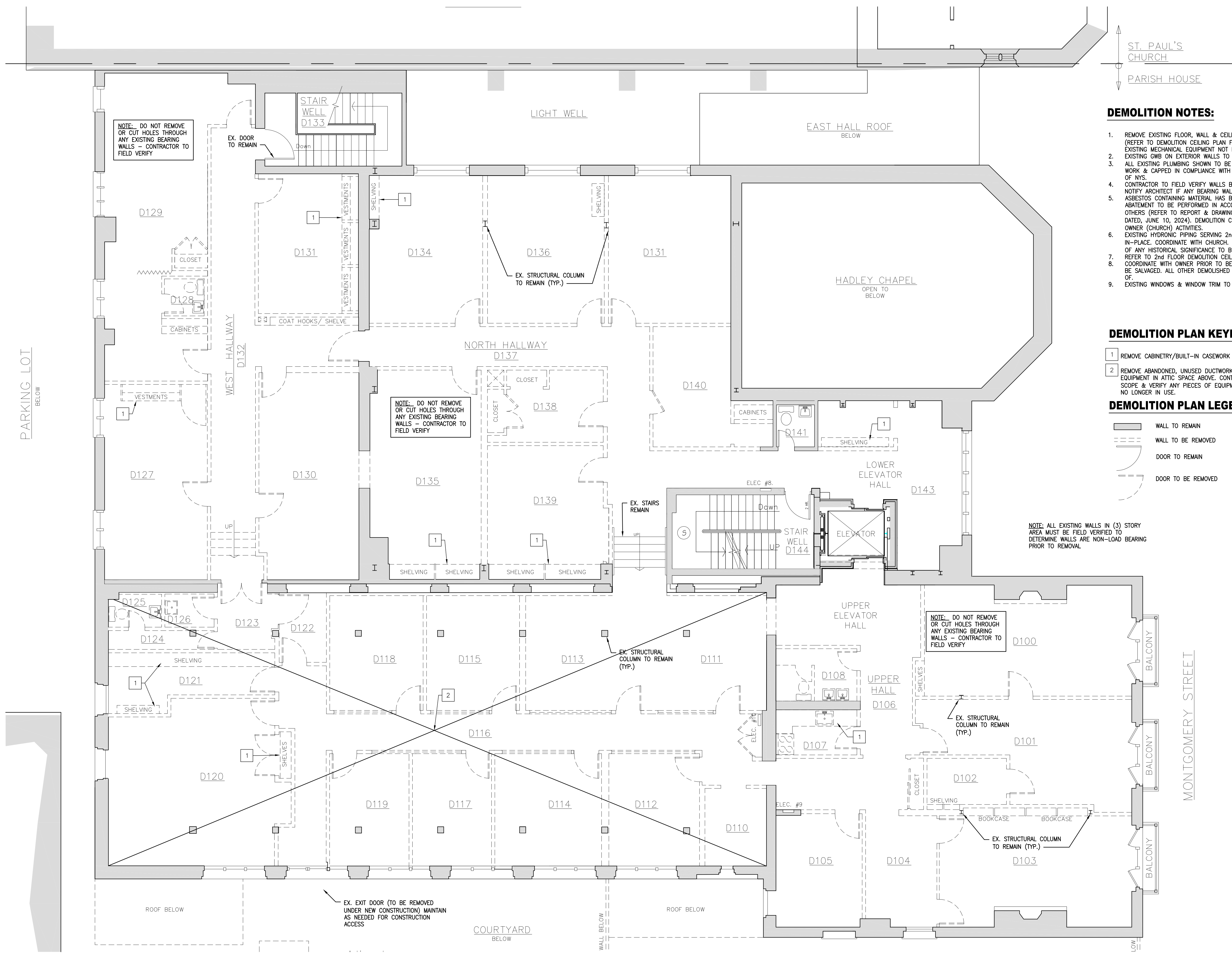
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Sheet Title:
EXISTING
2nd & 3rd
FLOOR PLANS

Check No: _____

EX1.2

Job No: 2616



ST. PAUL'S CHURCH
PARISH HOUSE

DEMOLITION NOTES:

1. REMOVE EXISTING FLOOR, WALL & CEILING FINISHES THROUGHOUT WORK AREA. (REFER TO DEMOLITION CEILING PLAN FOR ADDITIONAL INFORMATION) REMOVE ALL EXISTING MECHANICAL EQUIPMENT NOT IN USE WITHIN CEILING SPACE.
2. EXISTING GWB ON EXTERIOR WALLS TO REMAIN.
3. ALL EXISTING PLUMBING SHOWN TO BE REMOVED IS TO BE COORDINATED W/ FUTURE WORK & CAPPED IN COMPLIANCE WITH CURRENT EDITION OF THE PLUMBING CODE OF NYS.
4. CONTRACTOR TO FIELD VERIFY WALLS BEING REMOVED ARE NON-LOAD BEARING. NOTIFY ARCHITECT IF ANY BEARING WALLS ARE SHOWN BEING DEMOLISHED.
5. ASBESTOS CONTAINING MATERIAL HAS BEEN IDENTIFIED WITHIN WORK AREA. ABATEMENT TO BE PERFORMED IN ACCORDANCE WITH DOCUMENTATION PROVIDED BY OTHERS (REFER TO REPORT & DRAWING BY PARADIGM ENVIRONMENTAL SERVICES DATED, JUNE 10, 2024). DEMOLITION CONTRACTOR TO COORDINATE WORK WITH OWNER (CHURCH) ACTIVITIES.
6. EXISTING HYDRONIC PIPING SERVING 2nd FLOOR TO BE CAPPED AND ABANDONED IN-PLACE. COORDINATE WITH CHURCH. REMOVE ASSOCIATED RADIATORS (VERIFICATION OF ANY HISTORICAL SIGNIFICANCE TO BE VERIFIED PRIOR TO REMOVALS).
7. REFER TO 2nd FLOOR DEMOLITION CEILING PLAN FOR EXTENT OF CEILING REMOVALS. COORDINATE WITH OWNER PRIOR TO BEGINNING WORK FOR ANY ITEMS THAT ARE TO BE SALVAGED. ALL OTHER DEMOLISHED MATERIALS ARE TO BE PROPERLY DISPOSED OF.
9. EXISTING WINDOWS & WINDOW TRIM TO REMAIN UNDISTURBED.

DEMOLITION PLAN KEYED NOTES:

- 1 REMOVE CABINETRY/BUILT-IN CASEWORK
- 2 REMOVE ABANDONED, UNUSED DUCTWORK & MECHANICAL EQUIPMENT IN ATTIC SPACE ABOVE. CONTRACTOR TO CONFIRM SCOPE & VERIFY ANY PIECES OF EQUIPMENT/DUCTWORK ARE NO LONGER IN USE.

DEMOLITION PLAN LEGEND

- WALL TO REMAIN
- WALL TO BE REMOVED
- DOOR TO REMAIN
- DOOR TO BE REMOVED

NOTE: ALL EXISTING WALLS IN (3) STORY AREA MUST BE FIELD VERIFIED TO DETERMINE WALLS ARE NON-LOAD BEARING PRIOR TO REMOVAL

NOTE: DO NOT REMOVE OR CUT HOLES THROUGH ANY EXISTING BEARING WALLS - CONTRACTOR TO FIELD VERIFY

EX. STRUCTURAL COLUMN TO REMAIN (TYP.)

EX. STRUCTURAL COLUMN TO REMAIN (TYP.)

EX. STRUCTURAL COLUMN TO REMAIN (TYP.)

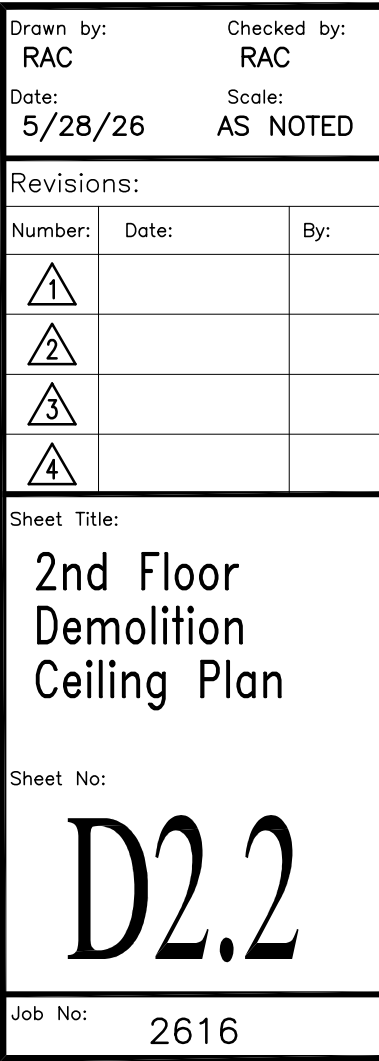
EX. EXIT DOOR (TO BE REMOVED UNDER NEW CONSTRUCTION) MAINTAIN AS NEEDED FOR CONSTRUCTION ACCESS

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Sheet Title:	
2nd Floor Demolition Plan	
Sheet No:	
D1.2	
Job No:	2616



PARKING LOT
BELOW

GENERAL NOTES FLOOR PLAN NOTES:

1. DIMENSIONS ARE TAKES FROM FACE OF EXISTING WALLS, COLUMN CENTERLINES, PLUMBING FIXTURE CENTERLINES & F.O. STUD @ NEW WALLS (UNLESS NOTED OR SHOWN OTHERWISE).
2. ALL CLOSETS SHOWN ARE TO HAVE A MINIMUM 24" DEEP CLEAR INSIDE DIMENSION.
3. COORDINATE WALL LOCATIONS WITH PLUMBING FIXTURE REQUIREMENTS AND FINAL WASHER/DRYER UNITS.
4. ENCLOSURE OF EXISTING MECHANICAL PIPING OR OTHER TO BE NO LARGER THAN NECESSARY.
5. PROVIDE 3/4" CEMENT TILE BACKER BOARD AT ALL WALLS SCHEDULED TO BE FINISHED WITH TILE & 3/4" MOISTURE/MOLD RESISTANT GWB @ ALL OTHER BATHROOM WALLS.
6. CONTRACTOR TO REVIEW PLANS AND IDENTIFY WHERE 6" (OR GREATER) FRAMING IS REQUIRED FOR MEP EQUIPMENT, VENTING, ETC., PRIOR TO FIELD LAYOUT OF PARTITIONS.
7. CONTRACTOR TO LAYOUT ALL PARTITIONS ON FLOOR AND NOTIFY ARCHITECT OF DIMENSIONAL DISCREPANCIES PRIOR TO FRAMING INSTALLATION.

REVISIONS TO:
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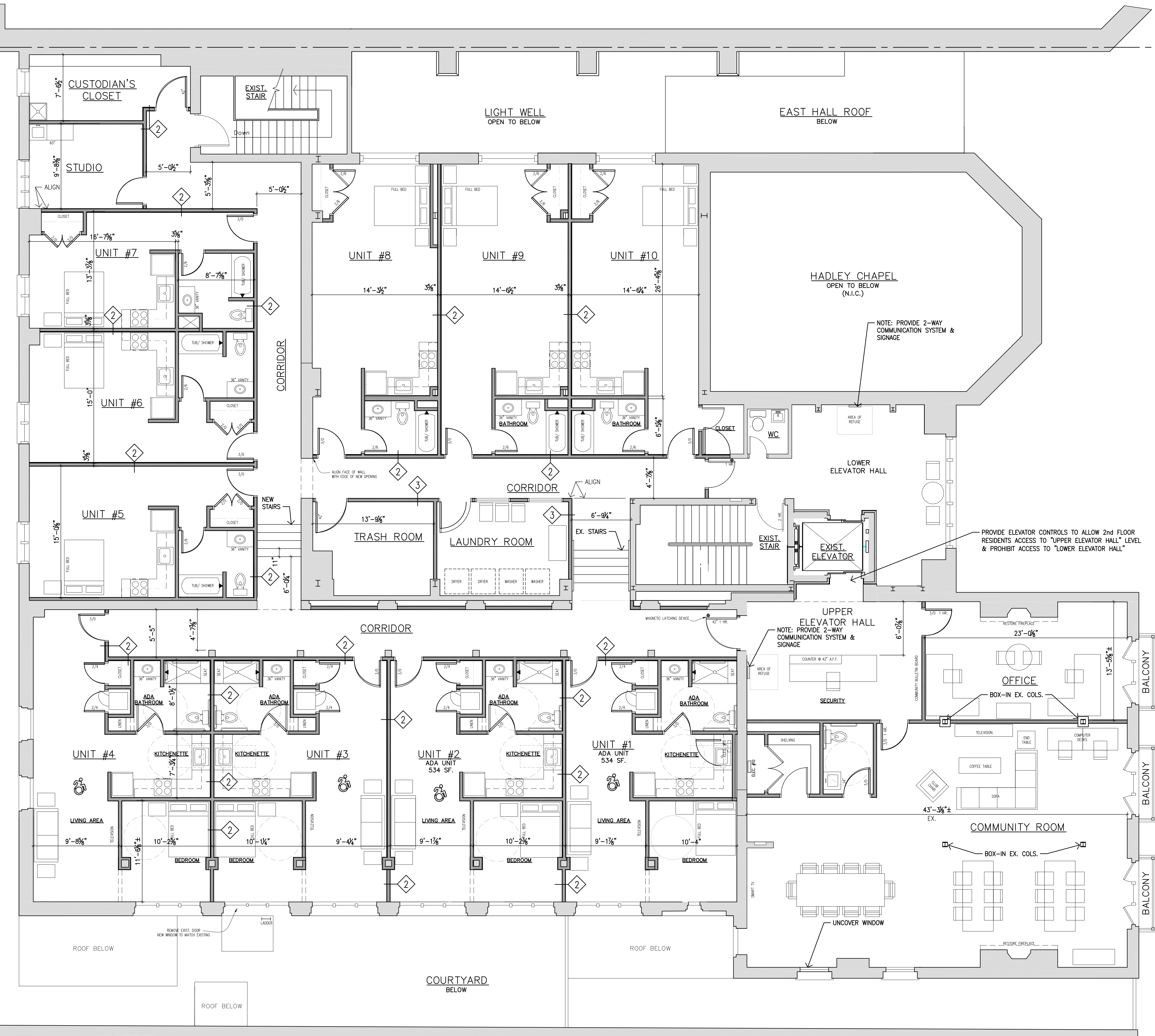
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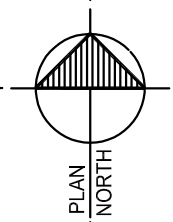
Drawn by: RAC	Checked by: RAC
Date: 5/28/26	Scale: AS NOTED
Revisions:	
Number:	Date:
1	
2	
3	
4	
Sheet Title: 2nd Floor Plan	
Sheet No: A1.2	
Job No: 2616	

MONTGOMERY STREET

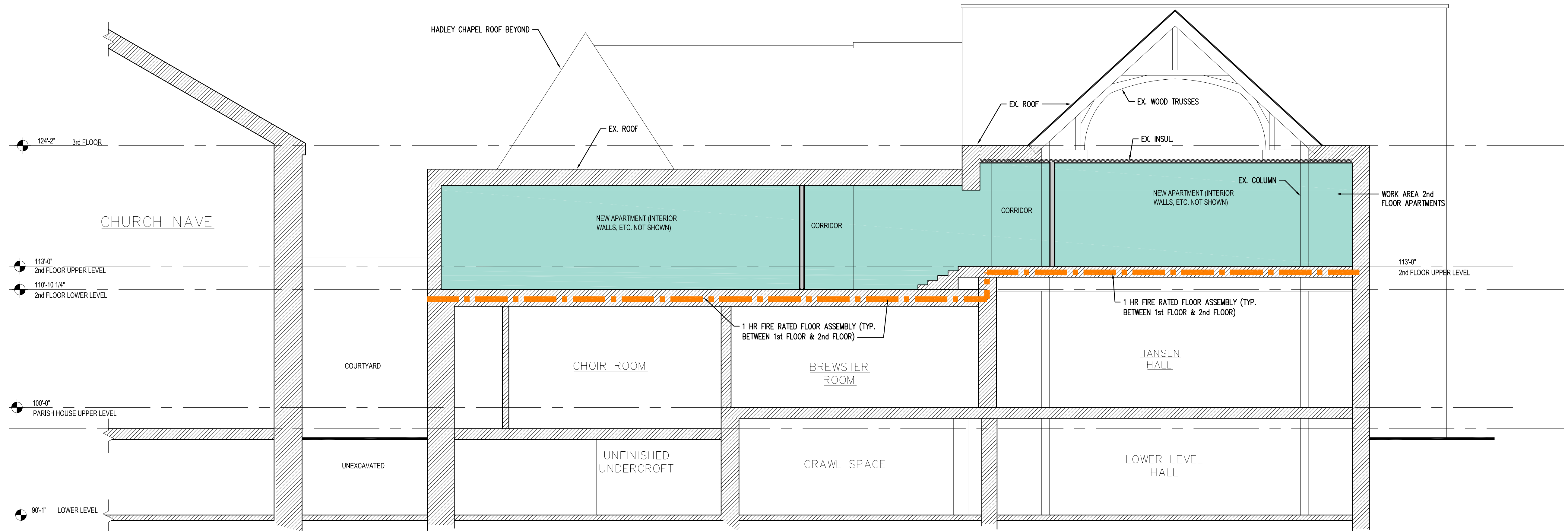
FLOOR PLAN LEGEND
EXISTING WALL
NEW WALL



1 PROPOSED 2nd FLOOR PLAN
3/16"=1'-0"



0 1' 2' 4' 8' 12'
SCALE: 3/16"=1'-0"



1 NORTH / SOUTH BUILDING SECTION
3/16"=1'-0"

0 1' 2' 4' 8' 12'
SCALE: 3/16"=1'-0"

RENOVATIONS TO:
St. Paul's Parish House
2nd Floor Apartments
310 MONTGOMERY STREET
SYRACUSE, NEW YORK 13202

DISCLAIMER:
THE ARCHITECT SHALL BE DEEMED TO HAVE BEEN ADVISED OF ALL APPLICABLE LOCAL, STATE, AND FEDERAL STATUTES, ORDINANCES, AND REGULATIONS, AND SHALL RETAIN ALL COMMON LAW RIGHTS, INCLUDING THE COPYRIGHT, IN THE DESIGN AND DRAWING. IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE AUTHORITY OF THE ARCHITECT, TO REPRODUCE OR ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

Schopfer Architects LLP
1111 JAMES ST.
SYRACUSE, NY 13203
315-474-6501
FAX 315-474-1923

Drawn by: RAC
Date: 5/28/26
Checked by: RAC
Scale: AS NOTED

Revisions:		
Number:	Date:	By:
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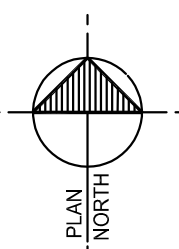
Sheet Title:
Sections

Sheet No:
A3.1
Job No: 2616



0' 1' 2' 4' 8' 12'
SCALE: 3/16"=1'-0"

1 PROPOSED 2nd FLOOR CEILING PLAN
3/16"=1'-0"



SYMBOLS LEGEND

- CEILING FAN - 52" FLUSHMOUNT, SWITCH OPERATED OR EQUIVALENT
- LIGHT FIXTURE - 6" CANLESS OR EQUIVALENT
- EXHAUST - COMBINATION EXHAUST WITH LIGHT AND HUMIDITY SENSOR OR EQUIVALENT
- LIGHT FIXTURE - BRUSHED NICKEL THREE GLOBE LIGHT OR EQUIVALENT
- DIFFUSER - 24"x24" AIR DIFFUSER
- HEATER - CEILING MOUNTED ELEC. HEATER
- COMBINATION SMOKE / CO DETECTOR
SMOKE DETECTOR
- EXIT SIGN
- COMBINATION EXIT SIGN / EMERGENCY LIGHTING
- 24"x24" ACT & GRID
- GYPSUM WALLBOARD CEILING/SOFFIT

RENOVATIONS TO:
St. Paul's Parish House
2nd Floor Apartments
310 MONTICOMERY STREET
SYRACUSE, NEW YORK 13202

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SYRACUSE, NY 13203
315-474-6501
FAX 315-474-1922

Drawn by: RAC
Date: 5/28/26
Checked by: RAC
Scale: AS NOTED

Revisions:	Number:	Date:	By:

Sheet Title:
**2nd Floor
CEILING PLAN**

Sheet No:
A5.2
Job No: 2616

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone: [REDACTED]	
			E-Mail: [REDACTED]	
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			☐	☐
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			☐	☐
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
☐ Urban	☐ Rural (non-agriculture)	☐ Industrial	☐ Commercial	☐ Residential (suburban)
☐ Forest	☐ Agriculture	☐ Aquatic	Other(Specify):	
Parkland				

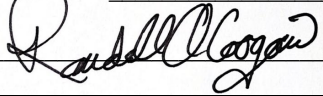
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☐	☐
b. Consistent with the adopted comprehensive plan?	☐	☐	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☐	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☐	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☐	☐	
b. Are public transportation services available at or near the site of the proposed action?	☐	☐	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☐	☐	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	☐	☐	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	☐	☐	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	☐	☐	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	☐	☐	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☐	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☐	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☐	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest Agricultural/grasslands Early mid-successional ☐ Wetland ☐ Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO ☐	YES ☐
16. Is the project site located in the 100-year flood plan?	NO ☐	YES ☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO ☐	YES ☐
a. Will storm water discharges flow to adjacent properties?	☐	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	☐	☐

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO ☐	YES ☐

49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO ☐	YES ☐

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO ☐	YES ☐

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature:  Title: _____		

Project: MaSPR-2026-26

Date: 7/13/2026

Short Environmental Assessment Form

Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☒	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☒	☐
3. Will the proposed action impair the character or quality of the existing community?	☒	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☒	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☒	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☒	☐
7. Will the proposed action impact existing:	☒	☐
a. public / private water supplies?	☒	☐
b. public / private wastewater treatment utilities?	☒	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☒	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☒	☐
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☒	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☒	☐

Short Environmental Assessment Form

Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
☒ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
City of Syracuse Planning Commission	07/20/2026
Name of Lead Agency	Date
Steven Kulick	Chairperson
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

City of Syracuse
Parcel History
 01/01/1900 - 07/02/2026
 Tax Map #: 102.-01-03.1
 Owners: Church-St Paul's Church
 Zoning:

Address	Date	Transaction	Transaction Type	Status	Description
300-10 Montgomery St & Fayette St	10/23/23	Permit Application	Com. Reno/Rem/Chg Occ	Issued	50141 Interior Demo Only
300-10 Montgomery St & Fayette St	11/03/23	Inspection	Inspector Notification	In Progress	MiSPR-23-20 Construction of entry protico for accessible entrance and replacement of sidewalk on church property at Montgomery Street lobby entrance.
300-10 Montgomery St & Fayette St	11/21/23	Project	Minor Site Plan Review	Approved	
300-10 Montgomery St & Fayette St	11/27/23	Inspection	Inspector Notification	In Progress	
300-10 Montgomery St & Fayette St	12/05/23	Permit Application	Com. Reno/Rem/Chg Occ	Issued	50347 Miscellaneous alteration including new west entry, stair and vestibule alterations to add elevator at the Montgomery (east) entrance, and bathroom work.
300-10 Montgomery St & Fayette St	12/20/23	Inspection	Progress Inspection	In Progress	50455 install of (1) elevator
300-10 Montgomery St & Fayette St	12/29/23	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	01/18/24	Permit Application	Elevator	Issued	
300-10 Montgomery St & Fayette St	01/24/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	02/07/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	02/20/24	Inspection	Inspector Notification	In Progress	
300-10 Montgomery St & Fayette St	02/20/24	Inspection	Fire Inspector Notification	Pass	
300-10 Montgomery St & Fayette St	02/22/24	Permit	Elevator	Open	
300-10 Montgomery St & Fayette St	02/28/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	03/19/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	03/20/24	Inspection	Progress Inspection	In Progress	50455 install of (1) elevator Expires 02/22/2025
300-10 Montgomery St & Fayette St	03/28/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	04/16/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	04/23/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	05/01/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	05/02/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	05/22/24	Inspection	Progress Inspection	In Progress	

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
300-10 Montgomery St & Fayette St	06/11/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	06/11/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	06/24/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	06/24/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	07/15/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	07/17/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	07/30/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	07/30/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	08/13/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	08/22/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	08/28/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	09/18/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	09/19/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	10/16/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	10/23/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	10/24/24	Project	Cert. of Appropriateness	Approved	CA-24-26 Installation of new window opening on Parish Hall (rear elevation)
300-10 Montgomery St & Fayette St	11/01/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	11/06/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	11/18/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	11/20/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	11/27/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	12/10/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	12/24/24	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	01/02/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	01/07/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	01/14/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	01/28/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	01/29/25	Inspection	Progress Inspection	In Progress	

City of Syracuse
Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
300-10 Montgomery St & Fayette St	02/11/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	02/20/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	02/25/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	03/11/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	03/18/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	04/02/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	04/15/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	04/15/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	04/30/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	05/21/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	05/22/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	06/17/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	06/18/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	07/15/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	07/22/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	08/05/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	09/03/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	09/03/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	09/10/25	Inspection	Progress Inspection	Pass	
300-10 Montgomery St & Fayette St	09/17/25	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	50141 Interior Demo Only Certificate of Completion #50141
300-10 Montgomery St & Fayette St	09/25/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	10/15/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	10/30/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	11/19/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	12/16/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	12/30/25	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	01/22/26	Inspection	Progress Inspection	In Progress	
300-10 Montgomery St & Fayette St	02/18/26	Inspection	Progress Inspection	In Progress	

City of Syracuse

Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
300-10 Montgomery St & Fayette St	03/09/26	Inspection	Final Fire Inspection	Pass	
300-10 Montgomery St & Fayette St	03/09/26	Inspection	Final Inspection	Pass	
300-10 Montgomery St & Fayette St	03/09/26	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	50347 Miscellaneous alteration including new west entry, stair and vestibule alterations to add elevator at the Montgomery (east) entrance, and bathroom work. Certificate of Completion #50347

OFFICE OF ZONING ADMINISTRATION

Sharon F. Owens, Mayor

MaSPR-2026-26

Approval	Status	Reviewer	Comments
Zoning Planner	Waiting on Board	Masihullah Omary & Nate Pan	No concerns, see Staff Report
Planning Commission	In Review		
DPW Traffic Control	Conditionally Approved	Charles Gafrancesco	No concern with proposed.
DPW Transportation	Conditionally Approved	Neil Burke	No major concern with interior build out as shown. Bike parking needed, utilizing staple-style racks (no wave-style) in a conspicuous and well-lit area near a main (assumed rear parking lot) entrance. New plans not required, any updates can be shown as notations on existing plan set.
Eng. Mapping-Zoning	Approved	Ray Wills	No objection to the interior work, any exterior site plan work would require further review.
Engineering Design and Construction	Conditionally Approved	Mirza Malkoc	• All construction in the R.O.W. will require a road cut permit, all construction in the R.O.W. to be per City standards and specifications. • Complete set of the stamped engineering site plans with specific details are required to complete a detailed project permit review. • This is just a reminder that the new Right-Of-Way fees are in effect. Applicant shall be aware of these fees before applying for road cut permit, liability waiver permit, etc. Different

			fees are charged to the applicant for using the City's Right-Of-Way for road closures, sidewalk closures, closing parking spaces, staging materials in the Right-Of-Way, parking construction vehicles in the Right-Of-Way, etc. • The Project is subject to Onondaga County's 1:1 offset. The City requires an offset plan & details for review. Applicant shall submit sanitary flow data to the Engineering Department, the determined offset plan then most likely will require Common Council Approval. • Onondaga County Plumbing Control shall review and approve the plans as well. • Applicant shall receive the sewer capacity assurance letter from Onondaga County WEP Department before applying for the building permit.
Engineering-SWPPP	Conditionally Approved	Mirza Malkoc	• SWPPP is approved by the City. • Stormwater Access & Maintenance Agreements shall be submitted for review. • Proposed grading shall be graded to prevent stormwater sheet flow to adjoining properties & to the City R.O.W.
DPW Sanitation and Sewers	Conditionally Approved	Vinny Esposito	Existing catch basin in parking lot must be cleaned and condition evaluated,
Parks and Forestry	Approved	Jeff Romano	N/A