

## PLEASE TYPE OR PRINT (LEGIBLY)

For Office Use Only:	Application Number: V- _____ - _____
Tax map Section: _____ Block: _____ Lot: _____	Zoning District: _____

1. Address of subject property: 2520 South Salina St

2. Year property was purchased by current owner: 2015

3. Applicant/contact information:

a. Owner(s) (current titleholder):

Name(s): Greater Syracuse Land Bank

Mailing Address: 431 East Fayette Street, Syracuse

Zip: 13202

Daytime phone number: 422-2301

home phone number: \_\_\_\_\_

E-mail (alternate contact for additional information request): tluckett@syracuse landbank.o

b. Contract purchaser(s) ☒, Lessee ☐, or Co-applicant ☐ (if applicable)**\*note: Copy of contract to purchase must be included with application if this contract purchaser or lessee applies.**

Name(s): Access Global Enterprises, LLC

Mailing Address: 422 David Drive, North Syracuse

Zip: 13212

Home phone number: 800-803-2095

Day Phone: \_\_\_\_\_

E-mail (alternate contact for additional information request): drshanelle@accessglobalenter

c. Representative: Attorney ☐, Architect ☐, Contractor ☐, Other ☐ \_\_\_\_\_  
(Only if involved in this application)

Name(s): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Telephone number: \_\_\_\_\_

4. Current use of property: (i.e., 1 family, 2 family, grocery store, etc.): vacant apartment building

Proposed use and occupancy of property: dental facility which will occupy the top three floors of the building and a day care facility which will occupy the lower level of the building

Current number of onsite (off-street) parking spaces: 0

Proposed number of onsite (off-street) parking spaces: 24 (2504 S Salina St)

Days and hours of operation (for any business uses): 7:00 - 6:00 Mon - Fri

Explain in detail what (if any) new additions or construction is proposed on the site: substantial  
rehabilitation - both interior and exterior improvements. See attached site plan & stds proof

**Reason for request:**

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that *the standards of proof for a use variance are much more demanding* than for an area variance and that *the burden is on the applicant* to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use additional sheets of paper to present proof if necessary.

Please see attached standards of proof

The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

**DECLARATION**

I understand that false statements made herein are **punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York**. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application **will make consideration of this application null and void**.

  
\_\_\_\_\_  
Signature of CURRENT PROPERTY OWNER (or owner's LEGAL representative)

4/16/2020

Date

Katelyn Wright

Printed or typed name of person whose signature is above (if legal representative, also state relationship to owner).

SYRACUSE BOARD OF ZONING APPEALS  
CITY HALL COMMONS, ROOM 101  
201 EAST WASHINGTON STREET  
SYRACUSE, NY 13202  
(315) 448-8640

**Board of Zoning Appeals application Procedures**

Variance applications involve public hearings with the Board of Zoning Appeals. A variance application will not be considered complete on the applicant's part until all required submittals have been received and have been through a preliminary review by Zoning Office staff (and possibly other departments), including an evaluation of the application under the New York State Environmental Quality Review Act (SEQR).

Once an application has been determined to be ready for a public hearing with the Board of Zoning Appeals, it will be scheduled for the **next available** hearing date (allowing the necessary time from for the Board's authorization, newspaper publication, mailing schedules, etc.). A "Public Notice" regarding the hearing date will then be mailed to the applicant (and representative, if any), approximately ten (10) days prior to the hearing date.

The public notice is also published in the Syracuse Post Standard newspaper ten (10) days prior to the hearing date. Public notices are also sent to property owners contiguous to any property subject to a public hearing, and to other city departments and neighborhood organizations.

The application, and its contents, will then be open for inspection at the Syracuse Office of Zoning Administration during regular office hours.

Unless otherwise notified, all meetings at which public hearings are to be held will begin at 1:00 p.m. in the Common Council Chambers on the third floor of City Hall.

The applicant or his or her representative **must attend** the public hearing to explain the case request to the Board of Zoning Appeals. (The rules of the Board of Zoning Appeals **do not permit postponements** due to the absences of applicants or their representatives.) A variance decision is not final until a written resolution is adopted by the Board of Zoning Appeals and filed with the secretary to the Board. Depending upon the situation, the resolution may possibly not be adopted until a later meeting. A copy of the resolution will be mailed to the applicant.

Depending upon the type and complexity of the application, additional necessary reviews, and the hearing schedule, the entire variance application process from the submission of the application to the release of the resolution may take approximately two months.

***Please sign that you have read and understand the above information and return this page with the application.***

Signed:  Date:

This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration, located in Room 101 at City Hall Commons, 201 East Washington Street, Syracuse, NY 13202-1426. If you wish to discuss the application with a member of our staff, please call ahead for an appointment (448-8640).

**NOTE:** After receipt of the application, it may be necessary to require additional information from the applicant. *An application must be complete before a public hearing can be scheduled.*

Items that are submitted with the application will not be returned so it is important that the applicant must make any copies of items they need prior to submitting the application. **Copies will not be made by staff to the Board of Zoning Appeals.**

**APPLICANT PLEASE NOTE:** Approval of your application by the Board of Zoning Appeals does not relieve you or your agent from compliance with any other regulatory or licensing provisions additionally required by other Federal, State, County, or City authorities. You are still required to pursue and obtain permits from the Division of Code Enforcement.

**05/2014**



Syracuse Board of Zoning Appeals  
For Information Call: 448-8640

**REQUIRED SUBMITTAL SHEET FOR USE VARIANCES**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

☒ **DENIAL OF PERMIT** from DOCE, Permit Office – Room 101. (Required even if a Notice of Violation has been issued).

☒ **PROPERTY SURVEY** - One clean copy of a **current survey map** drawn by a licensed land surveyor. **Reduced, faxed or scanned copies will not be accepted.**

**NOTE:** If plans are larger than 11x17 then a reduced copy must also be included with the application.

☒ **SITE PLAN** - On a **copy** of the survey, show all walkways, driveways, screening devices, signage and any new construction (**Plan must be drawn to scale and labeled with dimensions**).

**NOTE:** If plans are larger than 11x17 then a reduced copy must also be included with the application.

☒ **FLOOR PLANS** (Must be drawn to scale).

- a. One set of scaled floor plans for all floors showing **current** arrangement, and labeled with dimensions and current uses.
- b. Two sets of **proposed** floor plans showing dimensions and proposed uses. (One copy submitted to DOCE, Room 101 at City Hall Commons) and one copy submitted with this application) If the use is a business all shelving, storage, restrooms, kitchen hardware (stoves, sinks, freezers etc.) must be shown.

**NOTE:** If plans are larger than 11x17 then a reduced copy must also be included with the application.

☒ **ELEVATIONS** (for all new construction or any changes to the existing structure)

Two sets of elevations (drawings of exterior walls) including doors and windows.

- a. One copy to be submitted to DOCE, Permit Office, City Hall Commons, Room 101.
- b. One copy to be submitted with this application.

**NOTE:** If plans are larger than 11x17 then a reduced copy must also be included with the application.

☒ **STANDARDS OF PROOF (for a use variance)** The applicant must provide a written letter to the Board of Zoning Appeals detailing the proposed project and stating the hardship. In addition the applicant **must also show written proof** of the following:

- a. **Reasonable Return:** Applicant must show financial hardship caused by current use of property (**documentation must be submitted**).
- b. **Unique Circumstances:** Applicant must show that the hardship **is unique to the subject property** not to the neighborhood as a whole.
- c. **Essential Character of the Locality:** Applicant must show that the proposed use will not alter the essential character of existing neighborhood.
- d. The applicant must explain why the alleged hardship has not been self-created.

☒ **DETAILED LETTER EXPLAINING** the nature of your business, for example: the hours of operation, number of employees on premise at one time, items to be sold, etc.

**NOTE:** If you are proposing to sell prepared food, it is important to list each item of food to be prepared and sold.

☒ **PHOTOS** - Labeled photos of property will be helpful in the review of the application.

☒ All parts of the application form and appropriate parts of the **Environmental Assessment Form** (front side only) must be completed. Any blank sections may result in the **application being returned and a delay in scheduling a public hearing**.

☒ **FEE of \$25.00** - MADE PAYABLE BY CHECK OR MONEY ORDER ONLY, to the COMMISSIONER OF FINANCE.  
**THIS FEE IS NON-REFUNDABLE.**

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

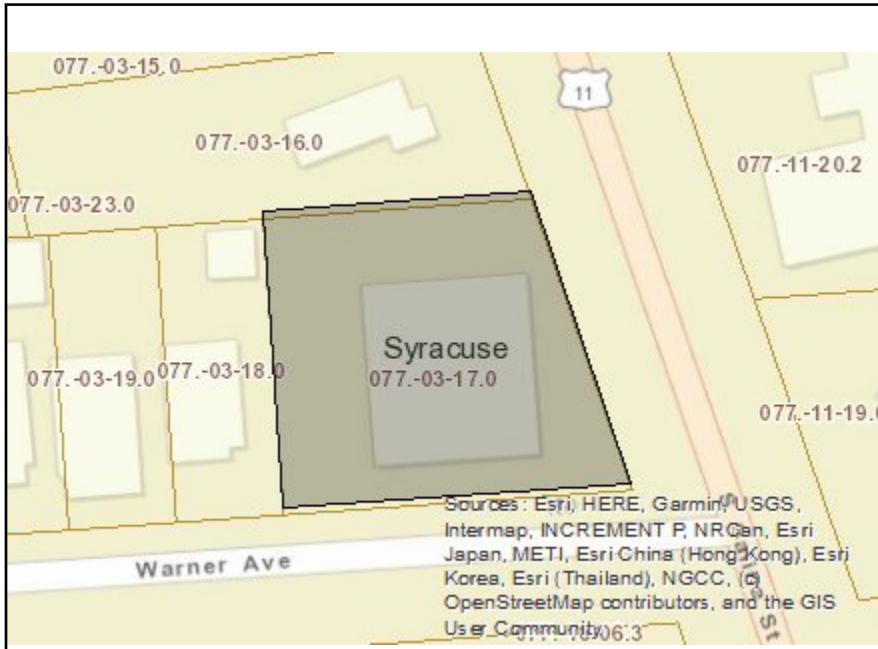
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3.   a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned _____ acres or controlled by the applicant or project sponsor?				
Includes 2504 S. Salina St				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5.   Urban       Rural (non-agriculture)       Industrial       Commercial       Residential (suburban) <input type="checkbox"/> Forest       Agriculture       Aquatic       Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			





**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



April 16, 2020

Ms. Lisa Welch  
Office of Zoning Administration  
City Hall Commons, Room 211  
201 E. Washington Street  
Syracuse, NY 13202

Re: Letter of Explanation for a Use Variance – 2520 South Salina Street

Dear Ms. Welch and Members of the Syracuse Board of Zoning Appeals,

2520 South Salina Street is an eight-unit apartment building constructed in the early 1900s. It is located within a Residential, Class AA zoning district, which does not permit apartments. In 2002, the Syracuse Board of Zoning Appeals granted a use variance to convert the building to 13 apartments. The owner at the time never followed through with the renovation and it remains configured as eight units. It has been held in the Land Bank's inventory since 2015 when it was seized by the City for tax delinquency. Since it has been vacant since at least 2015, we assume that it has lost any grandfathering to operate as an apartment building.

The Land Bank has marketed the property for sale for the last five years with no viable offer until now. Our Board of Directors recently accepted a purchase offer from ACCESS Global Enterprises, LLC. Their proposal is to renovate the property and convert the fourth floor to offices for ACCESS Dental Laboratory. The third floor will be a dental lab used as light manufacturing for the dental laboratory, which will fabricate dental devices and implants. The second floor will contain five small offices to be rented to individual tenants for professional offices, a fitness center and a cafeteria/break room with kitchen for employees and tenants. The ground floor (raised basement) will contain a child-care facility serving the occupants of the building. The offer from ACCESS Global Enterprises, LLC is contingent on the Land Bank obtaining a use variance for 2520 S. Salina Street, allowing their planned uses.

While light manufacturing and professional offices are not allowed by right in the RAA zoning district, it should be noted that under ReZone Syracuse, this property will be designated MX-2, Neighborhood Center. The planned uses in this project will all be allowed under the MX-2 designation. The adjoining properties along South Salina Street are currently zoned Local Business, Class A and will also be re-zoned MX-2.

As you will see in the attached Standards of Proof, we have examined the scenarios that would not require a variance and have described the Land Bank's hardship in maintaining and marketing this property since we took ownership in 2015. The Standards of Proof show that the granting of this variance will bring the property proactively in conformance with the future MX-2 zoning designation and will improve the character of the neighborhood.

We are asking the Board for a use variance to allow this project, which contains a daycare, professional office, and light manufacturing dental laboratory in a Residential, Class AA zoning district.

To support our application, please find the attached information:

- Application for Use Variance
- Short EAF
- Standards of Proof for Use Variance
- 10/24/2019 BZA Resolution I-19-25
- Contract to Purchase (ACCESS Global Enterprises, LLC)
- Detailed Letter of Explanation (ACCESS Global Enterprises, LLC)
- Survey
- Site Plan
- Layout Plan
- Architectural Plans
- Photo Board
- Check in the amount of \$25.00
- Denial of Permit

Please let me know if you require any additional information or documentation to facilitate your review of this request.

Sincerely,



Katelyn Wright  
Executive Director



April 22, 2020

Member of the Board of Zoning Appeals  
c/o Ms. Lisa Welch  
Office of Zoning Administration  
City Hall Commons, Room 211  
201 E. Washington Street  
Syracuse, NY 13202

Re: Request for Partial Waiver of Screening Requirements for Parking – 2520 South Salina Street

Dear Zoning Board Members,

The Syracuse Land Bank recently submitted an application for a use variance to allow a project at 2520 South Salina Street, which contains a daycare, professional office, and light manufacturing dental laboratory in a Residential, Class AA zoning district. The adjacent property, 2520 South Salina Street will be used for accessory parking and is located in a Business Class A zoning district.

The Zoning Administrator has reviewed our application and informed us that since 2504 is proposed as a parking lot, that the Planting and Screening requirements in Section CI-5 of the Zoning Ordinance apply. While a 6' high privacy fence is proposed at the rear side of 2520 and between 2504 and the residential uses fronting Warner and Webster Avenues, we are requesting a waiver of the requirement for screening between the two parcels.

This request is not substantial. Our goal in designing the site plan was to use as much of the available space to meet the number of required parking spaces. If fencing is required on the property line, nine spaces would be lost and the aesthetics would be less pleasing. Further, once ReZone Syracuse is ratified both properties will be in a MX-2 zoning district and the requirement will be moot.

Please let me know if you require any additional information or documentation to facilitate your review of this request.

Sincerely,

Katelyn Wright  
Executive Director



## **Standards of Proof for Use Variance 2520 South Salina Street**

### **Background**

2520 South Salina Street is a multi-unit apartment building, which appears to have been built in the early 1900s. The Department of Assessment lists the date of construction as 1950, but this is most likely the date of a substantial renovation. The building contains nearly 16,000 sq. ft. on four levels including a raised basement. It originally included four apartments on each floor, for a total of 16 units. During a 1990s renovation, it was reconfigured to contain eight large apartments — two on each level, including the basement level. These apartments each contain two bathrooms, four bedrooms, a kitchen, dining room, and living room.

The property is located in a Residential, Class AA zoning district, which does not permit apartment buildings. In 2002, the then-owner applied for a permit to convert the building to 13 apartments and the Syracuse Board of Zoning Appeals granted a use variance. They never followed through with the renovation and it remains configured as eight units. The resolution from the BZA is attached to this application.

At some point, the building became tax-delinquent and in November of 2015 the City of Syracuse seized the property and turned it over to the Syracuse Land Bank for redevelopment.

The Land Bank has marketed the property for sale for the last five years with no viable offer until now. Our Board of Directors recently accepted a purchase offer from ACCESS Global Enterprises, LLC. Their proposal is to renovate the property and convert the fourth floor to offices for ACCESS Dental Laboratory. The third floor will be a dental lab used as light manufacturing for the dental laboratory, which will fabricate dental devices and implants. The second floor will contain five small offices to be rented to individual tenants for professional offices, a fitness center and a cafeteria/break room with kitchen for employees and tenants. The ground floor (raised basement) will contain a child-care facility serving the occupants of the building. They plan to invest over \$4 million in this project. ACCESS Dental is both an MBE and WBE owned entity that will be manufacturing dental restorations and appliances. They plan to hire from the surrounding neighborhood. This business will create several new entry-level employment opportunities for which ACCESS Dental will provide training.

The Land Bank also owns 2504 S. Salina Street immediately adjacent to the north. This approximately 2,000 sq. ft., one-story, wood-framed, single-family home is in very poor condition and will be demolished to make way for parking for 2520 S. Salina Street. Other site improvements include stormwater management infrastructure and landscaping. Parking is an allowed use on this parcel, which is zoned Local Business, Class A.

The offer from ACCESS Global Enterprises, LLC is contingent on the Land Bank obtaining a use variance for 2520 S. Salina Street, allowing their planned uses. While light manufacturing and professional offices are not allowed by right in the RAA zoning district, it should be noted that under ReZone Syracuse, this property will be designated MX-2, Neighborhood Center. The planned uses in this project will all be allowed under the MX-2 designation. The adjoining properties along South Salina Street are currently zoned Local Business, Class A and will also be re-zoned MX-2.

These purchasers originally planned to locate closer to Downtown at 1081 S. Salina Street. That site was zoned BA. Since dental laboratories are not an enumerated use in the BA district, those developers requested an interpretation of whether this would be an allowed use in a BA district. On October 24, 2019, the Board of Zoning Appeals issued a resolution that interpreted the permitted uses within a local business, Class A zoning district to include a dental laboratory.

*NOW THEREFORE BE IT, RESOLVED that the Interpretation request by Salina 1st, LLC to determine if the specific proposal of a dental laboratory falls within the within the meaning of the terms of the uses permitted within a Local Business, Class A zoning district is decided as follows:*

- 1) Recognizing that while at the time of the adoption of the City of Syracuse Zoning Rules and Regulations the proposed dental laboratory use was not contemplated by the drafters of the regulation it is a use that is substantially similar to manufacturing activities that were contemplated and allowed in a Local Business, Class A zoning district at the time of the drafting, and given that, like the manufacturing uses that were enumerated as allowed uses by the drafters of the Zoning Rules and Regulations, the proposed dental laboratory use would not by reason of the emission of noise, dust, or odors and the like become obnoxious or dangerous to the health and safety of the public, Mr. Stanton made a motion that a "dental laboratory" is akin and substantially similar to an industry also permitted in a Local Business, Class A zoning district as enumerated in Part B, Section III, Article 2, Paragraph 2, subparagraph i (the following industries are also permitted) , and that a manufacturing operator is someone who is directly engaged in the physical act of manufacturing the dental product.*

This complete resolution is also included in the attachments.

Our buyer's proposed uses will ultimately be allowed under the future MX-2 zoning designation. In the meantime, it is an anomaly that 2520 S. Salina Street, located on a major commercial corridor, is zoned RAA while the parcels fronting on Salina Street north and south of it are all zoned Local Business, Class A. The character of the corridor is that of a local business district. The BZA determined that this light manufacturing use would be allowed in the Local Business, Class A district. The character of this site is more akin to a BA zoning designation than an RAA, which you'll see is one of the factors we ask you to consider in our variance application.

So that construction can get underway for this transformative project, we are asking the BZA for a use variance to allow this project, which contains a daycare, professional office, and light manufacturing dental laboratory.

Following are the Standards of Proof.

**Reasonable Return (must show financial hardship by the current use of the property)**

2520 South Salina Street has been in the Syracuse Land Bank's inventory since 2015 with no viable offers for redevelopment. (We accepted another offer several years ago, but the buyer was unable to secure the financing needed to move forward with their project.) We have continued to incur carrying costs for these last five years, but as more time passes the risk of further deterioration and vandalism increases the odds that this building may someday require a costly demolition.

Access Global Enterprises LLC plans to invest over \$4 million into the renovation of 2520 South Salina Street. The breakdown for the renovations is detailed in the attached development proposal.

If the variance is not granted, the Greater Syracuse Land Bank would have three options for returning the property to a use that would be permitted in a Residential-AA zone:

1. Renovation of Eight Dwelling units

As stated above, in 2002 the Syracuse Board of Zoning Appeals granted a variance allowing the conversion of the building to 13 apartments but that construction was never completed and thus the variance is null and void. The Land Bank has held this property since 2015 but no buyer responded who was willing to invest in the current configuration of eight units or any other proposed use/configuration. It is likely that if a developer did materialize that was willing and able to renovate eight units that a variance would also be required for that configuration, as it's been vacant long enough to lose any grandfathering in its current configuration. The Land Bank's financial hardship is evident. If this property remains vacant we will continue to incur carrying and maintenance costs. It will continue to deteriorate until the only viable outcome is a costly demolition.

2. Conversion of 16,000 Sq. Ft. to a Daycare Center

Daycare centers are a permitted use in a Residential Class AA zoning district and, in-fact, Access Global Enterprises LLC wants to redevelop the basement level as a daycare center for its employees. The buyer is not in the business of daycare and this use will only be ancillary to their primary dental laboratory function. They do not wish to utilize the entire 16,000 sq. ft. as daycare space. No other buyer has come forth with a proposal to use all or part of the building as a daycare.

3. Demolition and Sale of the Vacant Lot

The only other option permitted in this zoning district is demolition of the existing structure and sale of the vacant lot for new construction. The estimated cost for demolition of this 16,000 sq. ft., masonry and reinforced concrete building is nearly \$200,000. If the Land Bank was forced to demolish the property, these costs could never be recovered through the sale of the vacant lot. Further, since private investors are not attracted to new residential construction in the city of Syracuse without substantial public subsidy we believe that the land would remain vacant for the foreseeable future.

Other permitted uses in this zone include single- and two-family dwellings, single- and two-family cluster developments, churches, studios, and offices of religious and educational institutions by special use permit. No buyer has come forth with a proposal to develop the property for these uses and in most cases the building is not suitable for these uses.

For these reasons, we believe that without the variance the Land Bank will be unable sell the property or to realize a reasonable return. Approval of this request will allow the Land Bank to sell the property to a buyer who will return it to a productive use and put it back on the tax rolls. This will be desirable for the City of Syracuse's tax base, the neighborhood, and for future potential owners.

**Unique Circumstances (Hardship is due to the subject property – not to the neighborhood as a whole)**

This building and the parcel on which it is located present an unusual circumstance that differs from other properties on the street, as it is the only property in the immediate vicinity on South Salina Street that is zoned RAA. All other properties are zoned BA.



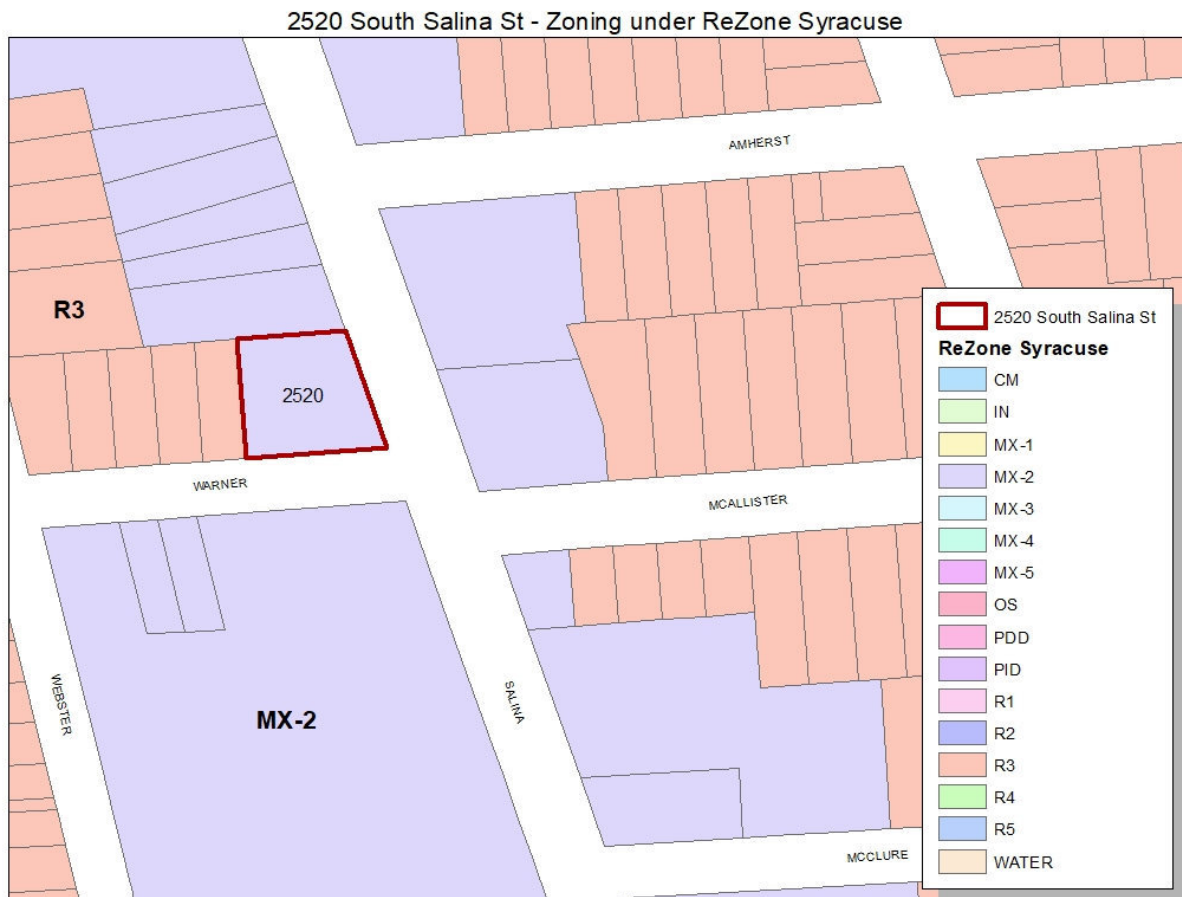
The property is currently configured as an apartment building which is not allowed in a Residential Class AA Zoning District. Any use proposed for this building would likely require a use variance.

It is also an increasingly rare example of early 20<sup>th</sup> century, usually brick, multi-family housing that was historically located on streetcar lines. Syracuse has lost many of these types of buildings, which were at one point an essential part of the character of our major commuter corridors. Unfortunately, today there is not much demand for this kind of multi-family housing. Syracuse's population has declined and property managers have found the interior corridors present unique management challenges. A new use would overcome this obstacle. This plan will facilitate the preservation and restoration of this iconic, visually prominent building.

Allowing the variance will facilitate the property's adherence to the ReZone Syracuse guidelines and will establish the new development pattern that has been approved by the community.

**Essential Character of the Locality (Proposed use will not alter the essential character of the existing neighborhood)**

The approval of this variance as a daycare center, professional offices, and light industrial (dental laboratory) will not change the essential character of the neighborhood. As noted in the zoning map above, all other buildings on this stretch of South Salina Street are zoned BA which allows the types of uses proposed here. The Salina-facing parcels along this business corridor are also consistently designated MX-2 under the planned ReZone. Although this single parcel is currently zoned RAA, the character of the corridor is that of a neighborhood business corridor in which mixed-use building such as this proposed development would have historically been common. All of the proposed uses above are allowed under MX-2. This plan is consistent with both the current character of the corridor and the planned vision for the corridor.



As discussed in the 10/24/2019 resolution, which permitted a dental laboratory in a Local Business, Class A zoning district, the Board reasoned that the non-residential use of a dental laboratory is

compatible with adjacent residential uses as it would not by reason of the emission of noise, dust, or odors and the like become obnoxious or dangerous to the health and safety of the public.

Allowing the variance and the subsequent sale of the property will improve the neighborhood by facilitating the redevelopment of this blighted and abandoned property.

**Not Self-Created**

This property was abandoned by an irresponsible property owner and fell into tax-delinquency. It was subsequently seized by the City of Syracuse in November 2015 and conveyed to the Land Bank for redevelopment. Since the property was vacated by the prior owner, it could be said that the hardship is the result of the inaction of a prior irresponsible owner in the chain of title. It was not however the result of an action taken by either the Land Bank, by the City of Syracuse, or by any future purchaser of the property.

BOARD OF ZONING APPEALS

CITY OF SYRACUSE, NEW YORK

Application: I-19-25

Release Date: October 24, 2019

The undersigned hereby certifies that the attached is a true copy of a resolution introduced by Mr. Stanton and seconded by Mr. Petragnani on October 3, 2019, and voted on as follows:

AYES:	Koenig, Stanton, Petragnani, Cheslik, Spillane
NAYES:	None
ABSENT:	Brightman-Frame

Adopted by the Board on October 24, 2019.

Filed with the Board in the Office of Zoning Administration on October 24, 2019.



Heather A. Lamendola  
Syracuse Zoning Administrator



A RESOLUTION ON AN INTERPRETATION OF PERMITTED USES  
WITHIN A LOCAL BUSINESS, CLASS A ZONING DISTRICT

- WHEREAS, Salina 1<sup>st</sup>, LLC, has requested an Interpretation of the City of Syracuse Zoning Rules and Regulations, as amended with respect to the permitted uses within a Local Business, Class A zoning district; and
- WHEREAS, the request is with respect to a potential tenant who desired to establish a dental laboratory use as illustrated on a floor plan submitted in a Project Site Review application for new construction to the Office of Zoning Administration; and
- WHEREAS, given the information provided by the petitioner, the Zoning Administrator has determined that the proposed dental laboratory is not an enumerated use; and
- WHEREAS, pursuant to Part A, Section II, Article 6 of the City of Syracuse Zoning Rules and Regulations, as amended, “Each of the zoning districts is hereby confined to the uses and purposes set forth on said amended plan and map, or amendments thereof and to the uses and purposes designated in the Zoning Rules and Regulations of the City of Syracuse, as amended. No structure or building shall be erected, located, altered or used in any of said districts; no land shall be used or developed in any of said districts; and no profession, business, trade or industry shall be carried on in any of said districts except as hereinafter specifically authorized and set forth and in conformity with the rules, regulations, restrictions and prohibitions herein contained.”; and
- WHEREAS, the petitioner requests that in consideration of the purpose and intent of the Local Business District, Class A, the proposed dental laboratory be considered permitted within the Local Business, Class A zoning district requirements as set forth in Part B, Section III, Article 2, Paragraph 2 (Uses Permitted); and
- WHEREAS, pursuant to Part B, Section III, Article 2, Paragraph 1 the Purpose and Intent of Local Business, Class A zoning district is to “provide areas within the City of Syracuse, but outside of the Central Business District, which permit the intensive development of land for mixed residential, retail, service and certain industrial uses. The specific purpose of this district is to create local and general business areas which provide goods and services to the public requiring both direct and frequent access; and to provide compatibility of residential and nonresidential land uses by permitting retail business and service uses that have operating characteristics of such a degree so as not to be considered hazardous, obnoxious, deleterious or a nuisance to the uses permitted in and adjacent to this district, or to the public that this district is intended to serve.”; and
- WHEREAS, there is no specific enumeration or definition of a dental laboratory use in Part A, Section III, Article 2 (Definition Terms); however, an “Industry” is defined as: “Storage, repair, manufacture, preparation or treatment of any article, substance or commodity whatsoever, including the operation of commercial garages”; and
- WHEREAS, the Local Business, Class A zoning district regulations in Part B, Section III, Article 2,



Paragraph 2 (Uses Permitted) have a provision in subparagraph i.: “the following industries are also permitted: “Bakeries, candy and confectionery establishments, dairies, carpenter shops, cabinet making, furniture-upholstery, cigar and tobacco manufacturers, electric and gas appliances, laundries, and tinsmiths, plumbing, steam and hot water fitting, tailor shops, provided that not more than five (5) manufacturing operators are engaged in the manufacturing of the product produced therein”; and

WHEREAS, it is noted that this list of industries: 1) is very specific; 2) does not include a “dental laboratory,”; 3) sets a maximum of five manufacturing operators; and 4) does not otherwise have a general provision for other, non-enumerated industries based on a set of characteristics, as are found in other parts of the Zoning Ordinance; and

WHEREAS, for example, the Industrial District, Class A regulations in Part B, Section VI, Article 1, Paragraph 2 (Uses Permitted) has a general provision for industries in subparagraph m. as follows: “Any trade or industry which does not by reason of the emission of noise, dust, or odors and the like become obnoxious or dangerous to the health and safety of the public; except as otherwise specifically excluded or regulated.”; and

WHEREAS, furthermore, the purpose and intent of the Local Business, Class A zoning district specifically states that only “certain industrial uses” are appropriate; it further addresses the compatibility of residential and nonresidential uses by permitting retail and service uses that are not hazardous, etc.; it does not state that additional unknown industrial uses that are otherwise compatible are allowed and/or otherwise encouraged or desired; and

WHEREAS, in terms of office uses, “Office buildings” are defined in Part A, Article 2, Section III (Definitions - Terms) as: “A building that is divided into offices, either single or suites, for the transaction of business other than for mercantile or manufacturing purposes where merchandise is on display and offered for sale. Offices used for a professional business, in part or in whole, will be classed as an office building.”; office buildings are an allowed use in Local Business District, Class A; however, the definition specifically states that Office Buildings do not include mercantile (retail) or manufacturing uses; and

WHEREAS, New York State zoning enabling statute provides boards of appeals with the power to interpret zoning regulation language, apply it to the facts before it, and render a decision; and case law precedents may also furnish guidance; and

WHEREAS, in its interpretation consideration if the proposed dental laboratory falls within the meaning of the terms and permitted uses within a Local Business, Class A zoning district, the Board considered the context of the neighborhood, the characteristics of the proposed use in general, the scope of the specific proposed use, and the balance of the activities proposed; and

WHEREAS, after due notice the Board held a public hearing on September 12 and October 3, 2019 at 1:00 p.m. in the Common Council Chambers, City Hall, Syracuse, New York to consider the application; and

WHEREAS, at said hearing the Board heard all those who desired to be heard and duly recorded their testimony; and

WHEREAS, the Board has carefully considered all testimony and has noted the pertinent facts related to the interpretation request;

NOW THEREFORE BE IT, RESOLVED that the Interpretation request by Salina 1<sup>st</sup>, LLC to determine if the specific proposal of a dental laboratory falls within the meaning of the terms of the uses permitted within a Local Business, Class A zoning district is decided as follows:

- 1) Recognizing that while at the time of the adoption of the City of Syracuse Zoning Rules and Regulations the proposed dental laboratory use was not contemplated by the drafters of the regulation it is a use that is substantially similar to manufacturing activities that were contemplated and allowed in a Local Business, Class A zoning district at the time of the drafting, and given that, like the manufacturing uses that were enumerated as allowed uses by the drafters of the Zoning Rules and Regulations, the proposed dental laboratory use would not by reason of the emission of noise, dust, or odors and the like become obnoxious or dangerous to the health and safety of the public, Mr. Stanton made a motion that a “dental laboratory” is akin and substantially similar to an industry also permitted in a Local Business, Class A zoning district as enumerated in Part B, Section III, Article 2, Paragraph 2, subparagraph i (the following industries are also permitted), and that a manufacturing operator is someone who is directly engaged in the physical act of manufacturing the dental product.

## CONTRACT TO PURCHASE

This **CONTRACT TO PURCHASE** is entered into by and between **GREATER SYRACUSE PROPERTY DEVELOPMENT CORPORATION**, a New York not-for-profit corporation having an office for the transaction of business at 431 E. Fayette Street, Suite 375, Syracuse, New York 13202 ("Seller") and **ACCESS Global Enterprises, LLC**, a New York limited liability company with an address of 305 N. Crouse Avenue, Syracuse, New York 13202 ("Buyer").

In consideration of the mutual covenants and promises hereinafter set forth, Buyer and Seller mutually covenant and agree as follows:

1. **PROPERTY.** Buyer agrees to buy and Seller agrees to sell those certain parcels of real property situate in the City of Syracuse, County of Onondaga, State of New York commonly known as **2520 and 2504 S Salina Street** and being all of current City tax map parcels 077.-03-17.0 and 077.-03-16.0, respectively, together with all improvements thereon and fixtures and articles of personal property now attached or appurtenant to the property and owned by Seller, together with all easements and rights-of-way, if any, benefitting or appurtenant thereto, and all right, title and interest of Seller in and to any land lying in the bed of any highway, street, road or avenue, opened or proposed, in front of or abutting or adjoining said real property (all of the foregoing real property, easements, rights-of-way, and right, title and interest are collectively referred to herein together as the "Property").

In the event any personal property should be included, such shall be limited to whatever personal property is located at the Property and shall be transferred by Seller to Buyer by a quitclaim bill of sale and be subject to the "As Is" provision set forth below. In addition, Buyer shall be solely responsible for and shall hold Seller harmless as to the filing of any sales tax return and the payment of any sales tax in regard to such personal property. The terms of this provision shall survive Closing.

2. **PURCHASE PRICE.** The Purchase Price for the Property shall be **\$12,500.00** which amount has been deposited with the Seller and shall be applied to the Purchase Price at Closing or otherwise disbursed in accordance with this Agreement.

3. **INSPECTIONS AND TESTS.** Buyer, at Buyer's sole cost and expense, may enter on the Property and make or cause to be made any inspections, tests or other desired evaluation of the Property ("Tests"), subject to the following:

a) Buyer shall give Seller at least 2 business day's written notice prior to initiating any such Tests; and

b) No Tests shall be initiated or conducted without the Seller approving the type, method, date and time of any Tests; and

c) No subsurface Tests shall be conducted without Seller's prior written approval; and



d) Seller shall have the right, but not the obligation, to have its representatives present at such times as the Tests are taking place; and

e) All such Tests shall be completed within 30 calendar days of acceptance of this Contract by Seller.

Buyer agrees that any damage caused by Buyer, its agents or employees in the course of such entry shall be promptly repaired by Buyer at no cost whatever to Seller. Buyer shall indemnify and hold Seller harmless against any and all losses, expenses, claims or damages (including reasonable attorney's fees) caused by or resulting from Buyer's entry upon the Property, including, without limitation, claims for personal injury and damage to the Property.

Prior to entry and as a condition to undertake the Tests, Buyer agrees to provide a liability insurance certificate and policy endorsement naming Seller as an additional insured in such amounts as reasonably agreeable to Seller and with no endorsements limiting or restricting coverage with respect to New York Labor Law.

In the event the results of such Tests are unsatisfactory to Buyer, then Buyer may, at Buyer's sole option, deem this Contract null and void and the Deposit shall be returned to Buyer. Buyer shall have 3 calendar days from the date on which the Tests were required to be completed to deliver written notice, together with a copy of each such Test, to Seller of Buyer's election to so deem this Contract null and void. In the event Buyer shall not deliver such written notice, then Buyer shall be deemed to have waived any and all rights Buyer may have pursuant to this paragraph.

4. **ABSTRACTS, TAX SEARCHES AND SURVEY.** Seller is not responsible for and shall not deliver to Buyer an abstract of title or real property tax search for the Property. Any abstract of title or property tax search or other due diligence related to the Property shall be obtained by and at the sole cost and expense of the Buyer. Seller shall provide an existing survey of the Property dated November 3, 2017 but Seller shall be under no obligation to update such survey.

5. **TITLE AND DEED.** Buyer acknowledges that Seller obtained title to the Property following a municipal tax foreclosure proceeding and, as such, Seller makes no representations or warranties as to title to the Property other than Seller has not done or suffered anything whereby the Property has been encumbered in any way whatever. Buyer shall have a period of 30 days from the date of acceptance of this Contract by Seller to examine and accept or reject title to the Property and deliver written notice to Seller of Buyer's election to reject title and deem this Contract null and void. In the event Buyer shall not deliver such written notice, then such failure shall be deemed an acceptance of title. At Closing, Seller shall transfer title to the Property to the Buyer by a Bargain and Sale Deed with a covenant against grantor's acts.

6. **IMPROVEMENT OF PROPERTY.** Buyer has agreed to improve, develop and use the Property (the "Development Plan") as specified in a certain Property Purchase Application submitted by the Buyer to the Seller dated June 3, 2019 attached hereto and made a part hereof as Exhibit A (the "Application"). Seller's obligations under this Contract are subject to Buyer executing and delivering at Closing a Development Enforcement Mortgage in form

acceptable to Seller, in its sole but reasonable discretion, to ensure Buyer fulfills the Development Plan within a period of 2 years from Closing.

7. **CONTINGENCIES.** In addition to any other contingencies set forth herein, Seller's obligations under this Contract are subject to Buyer providing Seller with reasonable satisfactory proof of Buyer's financial ability to complete the Development Plan. Such reasonable satisfactory proof may be in the form of a grant commitment or award, a construction mortgage loan commitment upon such terms and conditions as are acceptable to Buyer or such other written proof of financial ability to complete the Development Plan as Seller deems acceptable in its sole but reasonable discretion. Buyer shall provide such evidence of financial ability to complete the Development Plan on or before December 31, 2020 or Seller may cancel this Contract at Seller's option by written notice as provided for herein at which time this Contract will be terminated.

8. **AS IS.** The Buyer acknowledges and agrees that the Buyer is purchasing the Property, any personal property and any and all improvements, buildings, fixtures and fittings belonging to or used in the operation of the Property and owned by Seller, **AS IS, WITH NO WARRANTIES OR REPRESENTATIONS WHATSOEVER, WHETHER SUCH ARE EXPRESS OR OTHERWISE; IMPLIED OR OTHERWISE; AS TO THE CONDITION, SUITABILITY OF USE, MERCHANTABILITY, OR FITNESS FOR A PARTICULAR PURPOSE OF THE PROPERTY OR ANY PORTION OF SUCH, OR OTHERWISE.** The terms of this provision shall survive Closing.

9. **CLOSING.** The Closing shall be held on or before the 30<sup>th</sup> calendar day following Seller's acceptance of Buyer's proof of financial ability to complete the Development Plan, time being of the essence. The Closing shall be held at the office of the attorney for Seller unless otherwise agreed.

10. **ADJUSTMENTS.** Prepaid or unpaid charges for real property taxes and other assessments levied and assessed against the Property, including water usage charges, rents, fuel oil and special district levies, shall be apportioned as of the date of Closing, with Seller being responsible for the apportioned costs attributable to the time period prior to Closing, and Buyer being responsible for the apportioned costs attributable to the time period subsequent to Closing. Under no circumstances shall Seller be responsible for the payment of any missing meter charges, "turn on" or reconnection charges imposed by a utility company or municipality in establishing or reestablishing water or any other utility services to the Property. Buyer acknowledges that Seller is an exempt entity and pays no real property tax and, in accordance with Section 520 of the New York Real Property Tax Law, the Property may become immediately subject to real property tax upon Closing.

11. **INSPECTION PRIOR TO CLOSING.** Buyer shall have the right of reasonable inspection of the Property immediately prior to Closing in order to verify that the condition of the Property is in substantially the same condition as it was in as of the date of this Contract, absent ordinary wear and tear.

12. **POSSESSION.** Possession of the Property shall be delivered by Seller to Buyer at Closing subject to the rights of tenants therein.

13. **RECORDING EXPENSES AND CLOSING FEE.** Buyer shall pay at Closing all costs, if any, for recording the deed and any related transfer documents including the Real Property Transfer Report (RP-5217) and the Transfer Tax Return (TP-584) and, as Seller is wholly exempt from all taxation, Buyer is obligated to pay any New York State transfer tax due upon the sale of the Property. Buyer shall also pay a closing fee to the attorney for the Seller which fee shall be due and payable at Closing together with the Purchase Price. Seller shall be responsible for the cost, if any, to record any Development Enforcement Mortgage required by Seller.

14. **ASSIGNMENT.** Buyer may assign its interest in this Contract to a business entity wholly owned by Buyer or wholly owned by the same principals who own Buyer. Otherwise, this Contract may not be assigned by Buyer without Seller's written consent. Buyer shall remain fully liable to Seller for the performance of this Contract, regardless of any such assignment.

15. **RISK OF LOSS.** The risk of loss or damage to the Property by fire or other causes until Closing shall remain with Seller.

16. **BROKER.** Seller and Buyer represent that neither has dealt with any broker in connection with this Contract. Seller shall be responsible for the payment of any real estate commission which may be due in accordance with a separate agreement with such broker. No realtor or broker commission shall be due and owing by Seller until Closing and passing of title by delivery of a deed by Seller to Buyer. This provision shall control regardless of the statements set forth in any Disclosure/Authorization Addendum executed in connection with this Contract.

17. **DEFAULT.** In the event Buyer defaults in its obligations under this Contract and fails to close and pay the Purchase Price then Seller shall retain and be able to pursue all equitable and legal remedies it may have as the result of Buyer's default hereunder. In the event Seller defaults in its obligations under this Contract and fails to close and deliver the Deed, Buyer may, at its option and as its sole and exclusive remedy, pursue either of the following remedies: (a) sue Seller for specific performance; or (b) terminate this Contract.

18. **MISCELLANEOUS.**

a) This Contract shall be interpreted and enforced in accordance with the laws of the State of New York.

b) Section heading are inserted for the convenience of the parties and may not be used as a means of interpreting this Contract.

c) This Contract shall be binding upon and inure to the benefit of the parties hereto, their respective legal representatives, heirs, executors, administrators, successors and assigns.

d) All notices under this Contract shall be in writing and shall be served by personal service, or by certified or registered mail, return receipt requested. Notices by mail shall be addressed to each party at the address set forth in this Contract. Any party may notify the other parties of a different address to which notices shall be sent.

e) There are and were no verbal or written representations, agreements, or promises pertaining to the subject matter of this Contract not incorporated in writing in this Contract.

f) The waiver by any party hereof of any breach of any provision of this Contract shall not operate or be construed as a waiver of any subsequent breach.

g) The acceptance of the Deed by Buyer shall be deemed to be the full performance and discharge of every agreement and obligation on the part of Seller to be performed pursuant to the provisions of this Contract.

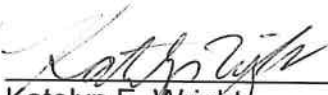
h) If any action, suit, arbitration or other proceeding is instituted to remedy, prevent or obtain relief from a default in the performance by Seller or Buyer of its obligations under this Contract, the prevailing party shall be entitled to recover all of such party's reasonable attorneys' fees incurred in each and every such action, suit, arbitration or other proceeding, including any and all appeals therefrom.

**IN WITNESS WHEREOF**, the Seller and Buyer have executed this Contract as of the date first above written.

**Greater Syracuse Property  
Development Corporation**

**ACCESS Global Enterprises LLC**

By:

  
Katelyn E. Wright  
Executive Director

By:



Date:

4/13/2020

Date:

04/13/2020

Seller's Attorney:

John P. Sidd  
Hancock Estabrook  
AXA Tower I, 1800  
100 Madison Street  
Syracuse, New York 13202  
315.565.4559

Buyer's Attorney:

David Reed  
501 West Manchester Rd  
Syracuse, NY 13219  
(315) 414-1338

**EXHIBIT A**  
**Property Purchase Application**





## Property Purchase Application

Submit completed Application with Purchase Contract to the sales agent with which the property is listed.

### Purchaser

---

Name: \_\_\_\_\_

Address: \_\_\_\_\_  
(no PO Box)

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Indicate type of entity:

Corporation Incorporated in what state: \_\_\_\_\_ Date incorporated: \_\_\_\_\_

Authorized to do business in New York State? \_\_\_\_Yes \_\_\_\_ No

Partnership Indicate type of partnership: \_\_\_\_\_

Number of general partners: \_\_\_\_\_ Number of limited partners: \_\_\_\_\_

Not-for-Profit Incorporated in what state? \_\_\_\_\_ Date incorporated: \_\_\_\_\_

Limited Liability Company

Formed in what state: \_\_\_\_\_ Date formed: \_\_\_\_\_

Authorized to do business in New York State? \_\_\_\_Yes \_\_\_\_ No

Sole Proprietorship

Name of Sole Proprietor: \_\_\_\_\_

Individual Person

Not-for-Profits and Corporations, attach Certificate of Incorporation. LLCs, attach Articles of Organization.

Corporate Applicants, list below the identity of all partners or principles with ownership interest. Not-for-profits, list board members (attach additional pages, if necessary):

Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

**Purchaser (continued)**


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Yes      No

Do you own any other properties in Onondaga County?

*If yes, attach list of properties.*

Do you have a personal or professional relationship with the Greater Syracuse Property Development Corporation, any of its directors, or employees?

Are there any outstanding judgments against you?

Have you filed for bankruptcy within the past 7 years?

Are you party to a lawsuit?

Have you directly or indirectly been obligated on any loan which resulted in foreclosure, transfer of title in lieu of foreclosure, or judgment?

Have you owned property foreclosed on for tax-delinquency?

Have you or an immediate family member previously owned the property for which you are applying?

*If you answered yes to any of these questions, attach an explanation.*

**Property**


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Address(es) of the property you are interested in purchasing:

**Development/Management Plan**


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	<b>Redevelopment</b>	<b>Management</b>
I plan to:	Renovate	Occupy this property as my primary residence
(Check all that apply)	Occupy/Operate As-Is	Occupy this property with my own business
	Demolish/Deconstruct	Operate this property as a rental
	New Construction	Redevelop and re-sell to an owner occupant
		Redevelop and re-sell

Is your proposal eligible for any of the land bank's defined discount programs? (see: <http://syracuselandbank.org/>)

Affordable Housing Development

Public Employees Discount Program

Affordable Home Ownership Program

If you plan to occupy the home yourself, have you owned a home before?      Yes      No

If you plan to manage as a landlord you must be located in Onondaga County or an adjacent county or you must have a local property manager.

Property Manager's Name:

Phone number:

**Attachments** (see below for description of each attachment)

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Remember to include all applicable attachments:

- Description of applicant's experience/qualifications to complete the proposed project
- List of other properties owned in Onondaga County
- Redevelopment Plan
- Proof of Financing for purchase and renovation costs
- Management Plan (for rentals)
- Evidence of Financial Ability to Maintain the Property (home owner)
- Purchase Contract (offer)
- Deposit (\$500 minimum)
- Certificate of Incorporation or Articles of Organization (corporate applicants)
- Copy of Applicant's Photo ID
- Home-Buyer Education Course Certificate of Completion (required for first-time buyers)

**Redevelopment Plan:** Attach detailed work specifications and an itemized budget for all work to be completed. Ensure that these include the Land Bank's minimum energy upgrade standards, if applicable to your project. If proposing new construction, include schematic drawings. Include a brief description of the project, whether the applicant will undertake certain portions of the project or hire contractors, and an estimated timeline for completion. In addition, attach **proof of financing** available to complete the work proposed. Acceptable forms of proof of financing include:

- Bank statement      Loan Pre-Qualification Letter
- Letter of Credit      Grant Award/Funding Commitment Letter

**Management Plan:** If the applicant plans to manage the property as a rental, attach a monthly income and expense budget for the property and a narrative description of your marketing plan, management procedures, standard lease agreement, and anticipated market served.

**Financial Ability to Maintain Property:** If the property is to be owner-occupied, provide documentation of current income (W2 or three recent pay stubs) and an estimate of anticipated mortgage, taxes, insurance, and maintenance costs.

**Applicants' Experience/Qualifications:** Unless the purchaser plans to occupy/operate the property in as-is condition, they must attach a narrative description of their experience completing similar development or renovation projects, their qualifications or training to complete the project, and/or their plan to engage qualified individuals to complete the project.

**Signature**

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The applicant hereby certifies that the statements contained in this application are truthful and complete and agrees to provide further documentation upon request. Attach a copy of the applicant's photo ID. This application does not guarantee transfer of property; all sales subject to approval by the GSPDC Board of Directors.



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Signature

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Date

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Name (print)

**Request for Proposal**  
**2520 and 2504 South Salina Street Syracuse, NY 13205**  
**February 4, 2020**

**Applicant: ACCESS Global Enterprises, LLC DBA ACCESS Dental Laboratories**  
**Dr. Shanelle Reid and Mr. Todd Reid, Owners**  
**422 David Drive**  
**North Syracuse, NY 13212**

**Description of applicant's experience**

**Mr. Todd R. Reid Sr. is the President and CEO of ACCESS Dental Laboratories.** He has been in the dental industry for over 25 years. He is a model expert and accomplished ceramist.

**Dr. Shanelle R. Reid is the Vice President and CAO of ACCESS Dental Laboratories.** She has over 25 years of educational training, teaching, mentoring and leadership experience.

ACCESS Dental Laboratories was birthed from 25 years of dental experience, 10 years of community involvement and the lack of diversity in the dental industry. The driving force was earning an above average wage directly out of high school without formal education, have lucrative employment options in other parts of the country and becoming a productive member of society immediately.

The greatest competition comes from small basement laboratories and large, full service laboratories, like the following: Aurora Dental, BonaDent, RTG Dental and BioGenic dental Corp.

**Sarah Stephens, SS Funding & Procurement Resources, LLC** will provide general administration, funding procurement and grant management services to the assist Mr. Jones. Mrs. Stephens provides these services to municipalities, business owners, contractors and developers in the Central New York area. She has overseen, managed and procured over \$200 million in grant funds over almost 20 years.

**Hueber-Breuer Construction** will serve as General Contractor for the project.

**List of other properties owned in Onondaga County**

**422 David Drive, Syracuse, NY 13212**

**ACCESS Global Enterprises, LLC**  
**DBA ACCESS Dental Laboratories**  
**2502 and 2504 South Salina Street, Syracuse, NY 13205**

### **Redevelopment Plan**

ACCESS Dental plans to purchase and renovate the property at 2520 South Salina Street and demolish 2504 South Salina Street to serve as the corporate US Headquarters for ACCESS Dental Laboratories. ACCESS Dental will occupy the 3<sup>rd</sup> and 4<sup>th</sup> floors as well as a portion of the 2nd; the remaining space will be built out for commercial tenant occupancy.

ACCESS Dental is both an MBE and WBE owned entity that will be manufacturing dental restorations and appliances and creating new jobs. Many of the positions will be entry level and ACCESS Dental will provide training. Due to the close proximity to low income families with known transportation barriers, these new jobs will be easily accessed. The hope is that employees will be pulled from the surrounding neighborhood; given employment opportunity to the un and underemployed.

ACCESS Dental Laboratories has selected this site due to its location in Syracuse's South Side, as part of ACCESS Dental's business plan, it wishes to reside in poorer neighborhoods with high unemployment so that it can assist local residents combat unemployment and poverty. Syracuse's Southside is one of the lowest socio-economic areas with an unemployment rate three times the national average. Their objective is to combat poverty by offering above average wages and adding value to disadvantaged communities. This will be accomplished by training and hiring individuals from the very neighborhoods they occupy; helping to eliminate transportation barriers. As part of employment training, employees will be provided specialized curriculum, hands-on seminars and employee readiness forums. Additionally, employees will participate in conferences on leadership, home ownership and community involvement.

ACCESS Dental is committed to transforming the city by building the first black owned, full service dental laboratory on the south side of Syracuse.

This blighted area is surrounded by vacant and under-developed properties. This investment will clean up a significant parcel along this corridor and greatly improve the streetscape.

The project builds workforce development by providing no cost access training for employment and career advancement while simultaneously working and generating income to make the opportunity viable to individuals that cannot afford school or being out of work. Additionally, it responds to the need for social services by connecting residents with the opportunity to entry level positions with career advancement. ACCESS Dental's has targeted lower income high unemployment areas to provide opportunity to the residents with higher than average salaries. The site is in one of Syracuse's lowest socio-economic area with a median household income of \$22,901 well below the national average of \$56,516.

ACCESS Dental looks to have first floor tenants that will provide amenities to its employees; they are looking to locate a daycare and café on the first floor; additionally, there will be a fitness center available for employees to use free of charge.

### **Scope of work:**

2520 South Salina Street – This building will be renovated for commercial use.

The first floor will have house the tenant day care center.

**ACCESS Global Enterprises, LLC  
DBA ACCESS Dental Laboratories  
2502 and 2504 South Salina Street, Syracuse, NY 13205**

A portion of the second floor will be built out as a vanilla box, awaiting tenant interest for final build out; ACCESS Dental would like one of those spaces to be a café. The remaining portion will be a fitness center for employees and tenants, a conference room for tenants as well as common space for tenants.

The third and fourth floors will be occupied by ACCESS Dental; the ACCESS Dental Laboratory will be located on the 3<sup>rd</sup> floor with the 4<sup>th</sup> serving as ACCESS Dental lab offices and supply room.

An elevator will be installed on site.

A detailed scope of work for the buildout is included as part of the budget provided by Hueber Breuer.

2504 South Salina Street – will be demolished and transformed into additional parking.

**The budget for this project includes:**

- **Acquisition \$12,500**
- **Fitness center and kitchen - \$75,000 estimate**
- **Arch and Design - \$28,700 estimate**
- **Production Machinery - \$750,000**
- **FF&E - \$218,400**
- **HB Budget \$2,871,098**

**Total Project Budget \$3,955,698**

ACCESS Dental currently has a NYS Empire State Development award of \$280,000 as well as an Excelsior Tax Credit award of \$150,000; with the modification in the project ACCESS Dental plans to discuss an increase in award with ESD. They also have a pending award in the amount of roughly \$500,000 for the AEI funding. Additionally, ACCESS Dental will be seeking funding from the National Grid Economic Development Program and incentives from SIDA. A \$2.8 million loan from Pathfinder Bank has been secured to assist in the capital investment in addition to owner equity and investor dollars.

The project will also be required to seek a use variance as it is currently zoned for residential use.

**ACCESS Global Enterprises, LLC  
DBA ACCESS Dental Laboratories  
2502 and 2504 South Salina Street, Syracuse, NY 13205**

**Additional Information**

**ACCESS Dental Laboratories**

**Project Budget**

**February 3, 2020**

Load Bearing Walls remain	
No work in Shell Spaces (5,000sf)	
New Stairs	1
Elevator	1



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1st Floor	3,600	2/3 shell
2nd Floor	3,600	shell
3rd Floor	3,600	fit out
4th Floor	3,600	fit out
<b>TOTAL GSF</b>	<b>14,400</b>	

Division #	Division Name	Extension	\$/SF	Comments
<b>One</b>	General Conditions / Requirements	267,868	18.60	
<b>Two</b>	Existing Conditions	166,455	11.56	
<b>Three</b>	Concrete	59,015	4.10	
<b>Four</b>	Masonry	227,325	15.79	
<b>Five</b>	Structural Steel / Misc Metals	3,251	0.23	
<b>Six</b>	Woods and Plastics	85,121	5.91	
<b>Seven</b>	Thermal / Moisture Protection	87,638	6.09	
<b>Eight</b>	Doors and Windows	191,249	13.28	
<b>Nine</b>	Finishes	350,480	24.34	
<b>Ten</b>	Specialties	23,132	1.61	
<b>Eleven</b>	Equipment	14,500	1.01	
<b>Twelve</b>	Furnishings	6,006	0.42	
<b>Thirteen</b>	Special Construction	-	-	
<b>Fourteen</b>	Conveying Systems	140,000	9.72	
<b>Subtotal General Construction</b>		<b>1,622,039</b>	<b>112.64</b>	
<b>Twenty-one</b>	Fire Suppression	39,600	2.75	
<b>Twenty-two</b>	Plumbing	126,000	8.75	
<b>Twenty-three</b>	HVAC	220,800	15.33	
<b>Twenty-six</b>	Electric	295,200	20.50	
<b>Subtotal Plumbing/ Mechanical / Electrical</b>		<b>681,600</b>	<b>47.33</b>	
<b>Thirty-one</b>	Earthwork	58,967	4.09	
<b>Thirty-two</b>	Exterior Improvements	140,032	9.72	
<b>Thirty-three</b>	Utilities	69,000	4.79	
<b>Subtotal Sitework</b>		<b>267,999</b>	<b>18.61</b>	
<b>Subtotal of Construction</b>		<b>2,571,637</b>	<b>178.59</b>	
Construction Contingency 5%		128,582	8.93	
Owner Allowances EXCLUDED		-	-	
Testing / Special Inspection EXCLUDED		-	-	
P and P Bond EXCLUDED		-	-	
General Liability 0.0075		20,252	1.41	
Building Permit		20,200	1.40	
Design Services EXCLUDED		-	-	
Preconstruction Services		20,000	1.39	
CM Fee 4%		110,427	7.67	
<b>Total Cost of Construction</b>		<b>2,871,098</b>	<b>199.38</b>	

*No Sales Tax Included*  
*No Design Services Included*  
*Design Contingency Not Included*  
*Owner Contingency Not Included*  
*No Utility Fees included*





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.5 Years

26 Weeks

6 Months

Division One: General Conditions

Description	Quantity	Unit	Unit Price	Extension
<b>A. General conditions (management)</b>				
1 Senior Project Manager (\$134/hr, 2hr/wk)	26	WKS	268	6,968
2 Project Mgr. (\$108/hr, 16Hr/wk)	26	WKS	1,728	44,928
3 Project Supt. (\$96/hr, FT)	26	WKS	3,840	99,840
4 Asst. Project Supt.		WKS		
5 Project Supt.- 2nd Shift		WKS		
6 Secretary / Project Coordinator (\$55/hr, 8hr/wk)	26	WKS	440	11,440
7 Project Engineer		WKS		
8 Foreperson		WKS		
9 Safety Engineer (\$85/hr, 4hr/wk)	26	WKS	340	8,840
10 Estimator		MTHS		
11 Accounting (\$88/hr, 4hr/month)	6	MTHS	352	2,112
<b>General conditions (management)</b>			<b>Subtotal</b>	<b>174,128</b>
<b>B. General conditions (project costs)</b>				
<b>Office Supplies and Expenses</b>				
1 Office Supplies	6	MTHS	50	300
2 Postage & Shipping		MTHS		0
3 Telephone System				0
4 Cell Phones and Service	6	MTHS	300	1,800
5 Computer-PCS	1	LS	1,500	1,500
6 Copy Machines/Maintenance	10	MTHS	450	4,500
7 Blueprint/Photostat.	1	LS	1,000	1,000
<b>Office Supplies and Expenses</b>			<b>Subtotal</b>	<b>9,100</b>
<b>Field Office Rental</b>				
1 Job Office Trailer Rent	10	MTHS	1,250	12,500
2 Office Jobsite Set-up	1	LS	3,500	3,500
3 Temp. Const. Trailer/Storage	6	MTHS	400	2,400
4 Office Furniture	1	LS	2,000	2,000
5 Temp. Electric-Office	10	MTHS	500	5,000
6 Water & Sewer	10	MTHS	150	1,500
7 Maintenance / Janitorial	10	MTHS	150	1,500
				0
				0
<b>Field Office Rental</b>			<b>Subtotal</b>	<b>28,400</b>
<b>Professional Services</b>				
1 Design / Engineering				0
2 Data Processing				0
3 Consulting Fees & Expenses				0
4 Project Scheduling		LS		0
5 Survey Equipment/Layout	1	LS	2,500	2,500
6 MBE / WBE Development				0
7 Brownfield Compliance				0
8 Photos		MTHS		0
9 Videos		MTHS		0
<b>Professional Services</b>			<b>Subtotal</b>	<b>2,500</b>



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Division One: General Conditions

Description	Quantity	Unit	Unit Price	Extension
<b>Transportation / Travel</b>				
1 Site Trucks and Deliveries	6	MTHS	2,500	15,000
2 Travel/Mileage 4 vehicles 500/mth ea + 480/mth ea fuel		MTHS		0
3 Small Tools	6	MTHS	3,700	22,200
<b>Transportation / Travel Subtotal</b>				<b>37,200</b>
<b>Safety Expenses</b>				
1 Safety Equipment	6	MTHS	100	600
2 First Aid/Med. Treatment	6	MTHS	50	300
3 Fire Protection, Extinguishers	6	MTHS	80	480
<b>Safety Expenses Subtotal</b>				<b>1,380</b>
<b>Permits and Fees</b>				
1 Builders Risk Insurance (By Owner)				0
2 Third Party Inspections		By Others		0
<b>Permits and Fees Subtotal</b>				<b>0</b>
<b>Cleaning</b>				
1 Dump Fees/Hauling	6	MTHS	1,500	9,000
2 Final Clean Glass and Alum.		See Div 8		0
3 Final Cleaning		See Div 9		0
4 Continuous Cleanup		WKS		0
<b>Cleaning Subtotal</b>				<b>9,000</b>
<b>Temporary Utilities</b>				
1 Temporary Toilets	6	MTHS	260	1,560
2 Temporary Electric Installation	1	LS	5,000	
3 Temporary Power	6	MTHS	500	3,000
4 Temporary Heat		NONE		
5 Construction Water	6	MTHS	100	600
<b>Temporary Utilities Subtotal</b>				<b>5,160</b>
<b>Access</b>				
1 Temporary Stairs				0
<b>Access Subtotal</b>				<b>0</b>
<b>Miscellaneous Expenses</b>				
1 Job Signs, Direction, Wayfinding	1	LS	1,000	1,000
2 Closeout Documents				0
3 Punchlists				0
4 Snow Removal				0
5 Protect Elevator Cabs				0
6 Temporary Jobsite Fence (Chain link)		See Div 31		0
<b>Miscellaneous Expenses Subtotal</b>				<b>1,000</b>
<b>Total General Conditions</b>				<b>267,868</b>



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**Division Two: Existing Conditions**

Description			Quantity	Unit	Unit Price	Extension	Remarks
A. Abatement							
	1	ACM Abatement : 4-story Building	1	LS	4,200	4,200	
	2	Bird Guano Removal	1	LS	16,800	16,800	
	2	House Demo under Abatement Conditions	1	LS	26,700.00	26,700	
B. Selective Demolition							
	1	Interior walls, flooring, ceilings, windows, MEP	14,400	SF	7.29	105,005	
	2	Stair removals	3	Landings	1,000	3,000	
	3	Shoring Load Bearing Walls	130	LF	55	7,150	
	4	Floor System removal	800	SF	4.50	3,600	
C. Vapor Mitigation				EXCLUDED			
<b>Division Two: Existing Conditions</b>						<b>166,455</b>	



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**Division Three: Concrete**

Description	Quantity	Unit	Unit Price	Extension	Remarks
A. Foundations					
1 Elevator Pit Slab	6	CY	525	3,150	
2 Elevator Pit Walls - 4'	6	CY	525	3,150	
C. Concrete Slabs					
1 SOG patching for utility trenches and elevator - 1st Flr	1,000	SF	3.25	3,250	
2 Conc Materials	19	CY	125.00	2,315	
3 Pumping / Hoisting - at 9Ksf /pour	1	POURS	1,800	1,800	
4 Stair pan fill	57	Treads	150	8,550	
D. Equipment Pads					
1 Allowance	1	ALLOW	800	800	
E. Reinforcing Steel		In Line			
F. Gypsum Cement Underlayment					
1 1" Dependable GSL K2.6; Keen Quiet Qurl 55/025 MC Sound Matt	14,400	SF	2.50	36,000	
G. Winter Conditions / Temporary Protection		EXCLUDED			
<b>Division Three: Concrete</b>				<b>59,015</b>	

NOTE: No Winter or cold weather conditions are included in this estimate



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**Division Four: Masonry**

Description			Quantity	Unit	Unit Price	Extension	Remarks
A	CMU						
	1	Stair Shafts	2,540	SF	17	43,180	
	2	Elevator Shaft	1,470	SF	17	24,990	
B	Masonry Restoration						
	1	Masonry Veneer Repointing and repair Allowance 20% of	2,066	SF	60.50	125,005	
	2	Parapet Reconstruction Allowance 250'x2' - 60%	300	SF	60.50	18,150	
	3	Stone Window Sill Replacement - 20%	20	EA	800	16,000	
C.	Winter Conditions / Temporary Protection		NONE - Excluded				
<b>Division 4: Masonry</b>						<b>227,325</b>	



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Division 5: Structural Steel / Misc. Metals

Description	Quantity	Unit	Unit Price	Extension	Remarks
A. Structural Steel		NONE			
B. Misc Metal					
1 Bollards Loading docks and equipment pads		NONE			
2 Loading Dock Pit edge frames		NONE			
3 Elevator Hoist Beams	1	EA	1,500	1,500	
4 Lintels, frames, misc supports	14,400	SF	0.50	7,200	
5 Window Security Griles	24	EA	600	14,400	
C. Stair and Railings					
1 Stair towers - 1 towers, 11' floor to floor	57	RISER	800	45,600	
2 Elev Pit Ladders	1	EA	350	350	
Division 5: Structural Steel / Misc. Metals				3,251	



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**Division Six: Woods and Plastics**

Description		Quantity	Unit	Unit Price	Extension	Remarks
A.	Rough Carpentry					
1	Floor Infills at removed Stairs	140	SF	25	3,500	
2	New Floor at Main Entry Lobby	300	SF	25	7,500	
3	Beams and Headers at removed LB Walls	130	LF	52	6,721	based on three 14" LVL with posts at 10'
4	Roof Framing and sheathing repairs	1	ALLOW	5,000	5,000	
B.	Millwork					
1	One Reception Desk, Kitchenettes	10,800	SF	3.00	32,400	Floors 1, 3, 4. None on 2.
2	Solid Surface Window sills	500	LF	60	30,000	All floors
<b>Division Six: Woods and Plastics</b>					<b>85,121</b>	





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**Division Seven: Thermal & Moisture Protection**

Description	Quantity	Unit	Unit Price	Extension	Remarks
A. Waterproofing / Dampproofing					
1 Elevator pit (8'x9'x5'd)	1	LS	2,500.00	2,500	
B. Vapor Barrier					
1 Underslab Vapor Barrier - 10mil		NONE			
2 Exterior wall Air vapor Barrier		NONE			
D. Insulation					
1 Building Walls - 4"	41,324	BF	0.95	39,258	
2 Floor cavities	10,800	SF	1.00	10,800	
3 Roof truss cavity	3,600	SF	1.50	5,400	
E. Fireproofing		NONE			
E. Siding, Façade		NONE			
F. Roofing					
1 Asphalt Shingles over existing wood trusses	4,160	SF	5.75	23,920	
G. Caulking/Sealants	14,400	SF	0.40	5,760	
<b>Division Seven: Thermal and Moisture Protection</b>				<b>87,638</b>	



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Division Eight: Doors & Windows

Description		Quantity	Unit	Unit Price	Extension	Remarks
A.	Doors/Frames/Hardware					
1	Doors and Frames - commercial spaces, Stairs	14,400	SF	1.75	25,200	
B.	Curtainwall		NONE			
C.	Aluminum Entrances and Storefront					
1	Storefront, Inside Vestibule, transoms	126	SF	40	5,040	
2	Entry Doors	3	EA	1,700	5,100	
D.	Windows					
1	Fixed, Aluminum Frame	2,184	SF	70	152,880	
E.	Misc Glazing					
1	Interior vision panels / lites	1	ALLOW	1,500	1,500	
F.	Final Clean Glass and Alum.	4,368	SF	0.35	1,529	
Division Eight: Doors & Windows					191,249	



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**Division Nine: Finishes**

Description		Quantity	Unit	Unit Price	Extension	Remarks
A.	Drywall / Framing / Acoustic / Batt Insulation					
1	Interior Partitions - Studs and Drywall	9,400	SF	7.25	68,150	Fit out Spaces only
2	Perimeter Wall - framing and sheetrock	22,000	SF	5.00	110,000	Based on Wall Area
B.	Ceilings					
1	RC-1, one layer 5/8" GWB T&F	14,400	SF	3.50	50,400	
2	Drop Ceilings and Bulkheads Allowance	9,400	SF	2.75	25,850	Fit out Spaces only
C.	Ceramic Tile					
1	Floor tile - Toilet Rooms - 2/floor 8'x8'	512	SF	13	6,656	
2	Wainscot/Wall Tile - residential bathrooms	1,024	SF	11	11,264	
3	Porcelain Floor Tile at Main Lobby	300	SF	13	3,900	
4	Tile base at Lobby	100	LF	9	900	
5	Lobby Feature Wall	500	SF	14	7,000	
6	Shower Room at one of the 1st floor toilet rooms	320	SF	14	4,480	
D.	Resilient Flooring	9,400	SF	3.70	34,780	Fit out spaces only
E.	Paint / Stain	9,400	SF	2.5	23,500	Fit out Spaces only
F.	Final Building Cleaning	14,400	SF	0.250	3,600	
<b>Division Nine: Finishes</b>					<b>350,480</b>	

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Division Ten: Specialties

Description	Quantity	Unit	Unit Price	Extension	Remarks
A. Toilet room Accessories (8 Toilet rooms)					
1 Paper Towel Dispenser - motion sensor	8	EA	75	600	
2 Soap Dispenser - motion sensor	8	EA	100	800	
3 baby changing stations	4	EA	300	1,200	
4 18" GB	8	EA	58	464	
5 36" GB	8	EA	58	464	
6 42" GB	8	EA	58	464	
7 TP Holder	8	EA	120	960	
8 Sanitary Napkin Disposal	4	EA	65	260	
9 Wall Mirror	8	EA	60	480	
10 Waste Receptacle	8	EA	195	1,560	
B. Toilet Partitions Phenolic Overhead braced		NONE			
C. Signage					
1 Room, Wayfinding, ADA Signage	14,400	SF	0.10	1,440	
2 Building Signs - Letters	12	EA	1,000	12,000	
D. Entry Mats		NONE			
E. Flagpoles		NONE			
F. Fire Extinguisher / Cabinets					
1 Extinguisher and wall bracket	4	EA	110	440	
2 Cabinets and extinguishers	8	EA	250	2,000	
<b>Division Ten: Specialties</b>				<b>23,132</b>	



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Division Eleven: Equipment

Description	Quantity	Unit	Unit Price	Extension	Remarks
A. Residential Appliances - 2 Breakrooms					
1 Refrigerator 18cf (WRT148FZDB)	4	EA	680	2,720	
2 Dishwasher (WDF550SAHB)	4	EA	600	2,400	
3 Staked Washer and Dryer (WF42H5000AW & DV42H5000E)	1	EA	1,380	1,380	1st Floor Day Care
B. Kitchen Equipment - Café		BY OTHERS			
C. Fitness Equipment		BY OTHERS			
D. Exhaust Fume Hood	1	ALLOW	8,000	8,000	
<b>Division Eleven: Equipment</b>				<b>14,500</b>	



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Division Twelve: Furnishings

Description				Quantity	Unit	Unit Price	Extension	Remarks
A.	Window Treatments			2,184	SF	2.75	6,006	
Division Twelve: Furnishings							6,006	



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Division Thirteen: Special Construction

Description				Quantity	Unit	Unit Price	Extension	Remarks
					NONE			
Division Thirteen: Special Construction							-	





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Division Fourteen: Conveying Systems

Description				Quantity	Unit	Unit Price	Extension	Remarks
A.	Elevator							
	1	4-story; 5 stops; 2 front entrances, 3 rear entrances; 3500#; 150 fpm; Otis Gen2 Underslung		5	STOPS	28,000	140,000	3500#, 150 fpm
Division Fourteen: Conveying Systems							140,000	



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Division Twenty-one: Fire Suppression

Description				Quantity	Unit	Unit Price	Extension	Remarks
A.			Fire Protection	14,400	SF	2.75	39,600	
Division Twenty-one: Fire Suppression							39,600	



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**Division Twenty-two: Plumbing**

Description				Quantity	Unit	Unit Price	Extension	Remarks
A.	Plumbing							
	1	1st Floor: Café roughin, two toilet rooms, washing machine connections. one shower room		3,600	SF	12.50	45,000	
	2	Shell Space - 2nd Floor - Two toilet rooms and one breakroom		3,600	SF	7.50	27,000	
	3	2nd and 3rd Floor: four toilet rooms, two kitchenettes		7,200	SF	7.50	54,000	
Division Twenty-two: Plumbing							126,000	



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**Division Twenty-three: HVAC**

Description				Quantity	Unit	Unit Price	Extension	Remarks
A.			H.V.A.C.					
	1		Conditioned Space - Hat pump system	9,400	SF	18	169,200	
	2		Tenant Shell space - freeze protection	5,000	SF	2	10,000	
	3		Tenant Shell space - upsize main equipment for future utilization	5,000	SF	4	20,000	
	4		Additional Exhaust and Makeup air at 3rd Floor Lab space	3,600	SF	3	10,800	
	5		Additional Exhaust and Makeup air at 1st Floor Café and Fitness Room space	3,600	SF	3	10,800	
<b>Division Twenty-three: HVAC</b>							<b>220,800</b>	



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Division Twenty-six: Electric

Description				Quantity	Unit	Unit Price	Extension	Remarks
A.	Electric			14,400	SF	16.00	230,400	
	Fixture Package Allowance - \$4000							
	Raceways for Data or Telephone Cabling							
B.	Telephone and Data							
	Data Racks, equipment and Terminations by others				By Others			
C.	Security and Surveillance - equipment, raceways, wiring							
		Card Access at 2 building entry doors, 3rd and 4th floor suite entry doors, and elevator.		14,400	SF	1.50	21,600	
		CATV - two exterior cameras, four interior cameras		14,400	SF	1.00	14,400	
D.	Fire Alarm			14,400	SF	2.00	28,800	entire building
Division Twenty-six: Electric							295,200	



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Division Thirty-one: Earthwork

Description	Quantity	Unit	Unit Price	Extension	Remarks
A. Earthwork					
1 Mobilize, Insurances	1	LS	3,500	3,500	
2 Strip, dispose	560	CY	20	11,200	
3 Tree Removal	1	LS	6,000	6,000	
B. Excavation / Backfill					
1 Hand Excavate for elevator pit	35	CY	100	3,500	
2 Backfill around elevator pit	11	CY	180	1,980	
3 trenching for utilities in 1st floor	1	ALLOW	20,000	20,000	
4 Box out for paving and sidewalks		Inc Above			
5 8" stone under paving	398	CY	28	11,131	
6 6" stone under sidewalks	59	CY	28	1,656	
C. Deep Foundations		NONE			
D. Shoring		NONE			
Division Thirty-one: Earthwork				58,967	

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 ARCHITECT:  
 Estimate Prepared by: Hueber Breuer Const. Co. Inc.

01/30/20  
 Revision #1

Division Thirty-two: Exterior Improvements

Description				Quantity	Unit	Unit Price	Extension	Remarks
A.	Roads and Walks							
	1	Asphalt						
		a.	Parking Lot	13,350	SF	3.85	51,398	
		b.	Road Patching	1	ALLOW	5,000	5,000	
	2	Curbing						
		a.	Granite - at street	Existing Remains				
		b.	Concrete - site interior		NONE			
		c.	Reset Existing Granite at Utility Install	100	LF	28	2,800	
	3	Concrete Pavement						
		a.	Sidewalks - site interior	1,017	SF	8.50	8,645	
		b.	Sidewalks - City Spec	1,500	SF	10.00	15,000	
		c.	Concrete Steps - Rear	6	EA	500.00	3,000	Use existing foundation
		d.	Dumpster Pad 12'x12'	144	SF	13.00	1,872	
B.	Segmental Units							
	1	Unit Pavers			NONE			
	2	Landscape Walls			NONE			
C.	Landscaping							
	1	Landscaping - ALLOWANCE						
		a.	Trees	4	EA	650	2,600	
		b.	Shrubs	10	EA	250	2,500	
	2	Seeding						
		a.	Lawns	2,400	SF	0.20	480	
		b.	Topsoil for lawns - 6" imported	44	CY	45	1,980	
	3	Planting Beds		10	CY	100	1,000	
D.	Site Improvements							
	1	Bike Racks		1	EA	850	850	
	2	Bollards		2	EA	650	1,300	
E.	Fencing							
	1	Construction Fence and two gates		734	LF	22	16,148	Temporary
	2	Dumpster Enclosure - 6'?		288	SF	25	7,200	
	3	Gates at Dumpster enclosure		2	EA	850	1,700	
	4	Rear Property Line Fence 6'		414	LF	40	16,560	
Division Thirty-two: Exterior Improvements							140,032	





PROJECT: 2520 South Salina Street  
 CLIENT: Access Dental  
 ARCHITECT:  
 Estimate Prepared by: Hueber Breuer Const. Co. Inc.

01/30/20  
 Revision #1

**Division Thirty-three: Utilities**

Description			Quantity	Unit	Unit Price	Extension	Remarks
A.	Utilities						
	1	Water service	50	LF	80	4,000	
	2	Electrical Service	50	LF	50	2,500	
	3	Sanitary Sewer	50	LF	90	4,500	
	4	Storm Sewer	0.5	ACRES	80,000	40,000	
	5	Utility Company Fees		EXCLUDED			
	6	Off Site Sanitary Upgrade		EXCLUDED			
	7	Off Site Water Service Upgrade		EXCLUDED			
	8	Electrical Service Fee		EXCLUDED			
	9	gas Service Fee		EXCLUDED			
	10	Water / Wastewater System Improvement Plans		EXCLUDED			
B.	Site Electric						
	1	Light Poles in Parking lot - Allowance	4	EA	4,500	18,000	
<b>Division Thirty-three: Utilities</b>						<b>69,000</b>	

NOTE: No Decorative or Utility light poles or bases included along Streets

April 15, 2020

Ms. Heather Lamendola  
Assistant Director/Zoning Administrator  
Syracuse-Onondaga County Planning Agency  
201 East Washington Street  
Syracuse, NY 13202

Re: 2520 S. Salina Street Variance

Dear Ms. Lamendola,

The Greater Syracuse Land Bank is seeking a use variance for 2520 S. Salina Street (the property). ACCESS Dental Laboratories hopes to purchase the property and renovate the building and site to house ACCESS Dental.

ACCESS Dental is both an MBE and WBE owned entity that will be manufacturing dental restorations and appliances. ACCESS Dental Laboratories has selected this site due to its location in Syracuse's South Side, as part of ACCESS Dental's business plan, it wishes to reside in poorer neighborhoods with high unemployment so that it can assist local residents combat unemployment and poverty. Syracuse's Southside is one of the lowest socio-economic areas with an unemployment rate three times the national average. Their objective is to combat poverty by offering above average wages and adding value to disadvantaged communities. This will be accomplished by training and hiring individuals from the very neighborhoods they occupy; helping to eliminate transportation barriers. As part of employment training, employees will be provided specialized curriculum, hands-on seminars and employee readiness forums. Additionally, employees will participate in conferences on leadership, home ownership and community involvement. Hours of operation will be from 7am-6pm with staggered shifts.

ACCESS Dental is committed to transforming the city by building the first black owned, full service dental laboratory on the south side of Syracuse. This blighted area is surrounded by vacant and under-developed properties. This investment will clean up a significant parcel along this corridor and greatly improve the streetscape.

ACCESS Dental looks to have a first floor tenants that will operate a daycare. There will be a cafeteria and a fitness center on the second floor available for employees to use. The building will be open between the hours of 7am to 6pm Monday through Friday. The daycare located on the first floor anticipates having 4-6 FTE's; the second floor is comprised of one person offices which we anticipate to be occupied by 5 people total for that floor. ACCESS Dental anticipates opening with 12 FTE's of which 7 will be administrative positions and 5 operational, by the end of year 1 we anticipate adding 9 positions on the operations side. At full capacity after approximately 5 years; ACCESS Dental hopes to employ 50 FTE's; of which 38 will be operational and 12 will be administrative. It is important to note that the end product being produced on site are teeth and various dentures, bridges, etc. these small items are produced using molds, ceramics and equipment no larger than a household microwave; this is not an intense industrial process.

Due to the close proximity to low income families with known transportation barriers, these new jobs will be easily accessed. The hope is that employees will be pulled from the surrounding neighborhood; reducing the dependency and need for vehicles by the employees therefore not putting a strain on parking or traffic.

We look forward to working with you on this project. Please feel free to reach out to Sarah Stephens at 315-530-2502 if you require additional information.

Yours truly,





7 FRONT OF 2504 SOUTH SALINA STREET  
P-003



4 REAR OF 2504 SOUTH SALINA STREET  
P-003



6 REAR AND NORTH SIDE - 2520 SOUTH SALINA ST.  
P-003



3 REAR AND SOUTH SIDE - 2520 SOUTH SALINA ST.  
P-003



5 FRONT AND NORTH SIDE 2520 SOUTH SALINA ST.  
P-003



2 FRONT FRONT AND SOUTH SIDE 2520 SALINA ST.  
P-003



1 LOCATION MAP  
P-003

0 50 100 150  
SCALE IN FEET

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER ANY ITEM IN THESE DOCUMENTS IN ANY WAY.

CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS, SIZES, DIMENSIONS & EQUIPMENT PER REQUIREMENTS SET FORTH IN THE GENERAL SUPPLEMENTARY GENERAL CONDITIONS OF THIS CONTRACT

ACCESS DENTAL LABORATORIES  
US CORPORATE HEADQUARTERS  
2520/2504 SOUTH SALINA STREET  
SYRACUSE, NEW YORK

ACCESS GLOBAL ENTERPRISES, LLC  
SYRACUSE, NEW YORK

PROJECT

Established 1978

**A  
&C**

**ALESIA &  
CREWELL**  
ARCHITECTS, P.C.

SUBMISSION SET  
04/15/2020

STAMP

**KEPLINGER  
FREEMAN  
ASSOCIATES**

LANDSCAPE ARCHITECTURE & LAND PLANNING  
4320 ELY ROAD, SUITE 100, EAST SYRACUSE, NEW YORK 13207  
PHONE: (315) 445-7980 FAX: (315) 445-7981

CONSULTANT		
date	revisions	no.

REVISIONS	
date	4/15/2020
drawn by	JPR
checked by	EGK
approval	ANA
scale	AS NOTED
project no.	2681

DRAWING INFO

PHOTO BOARD

SHEET TITLE

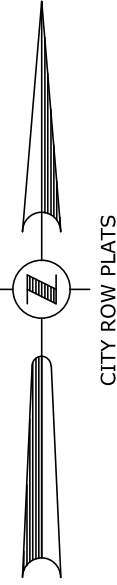
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FILE STRUCTURE

**P1.0**

SHEET NUMBER





MAP NOTES

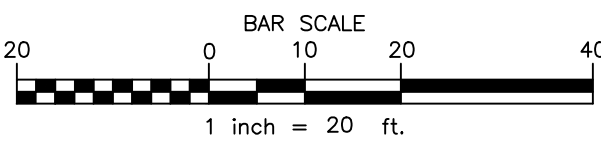
- 1.) NORTH ORIENTATION IS BASED ON CITY OF SYRACUSE ROW PLATS.
- 2.) VERTICAL DATUM IS BASED ON NAVD 1988 DATUM FROM RTK GPS OBSERVATIONS.
- 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
- 4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY), THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
- 5.) FIELD WORK PERFORMED ON MARCH 31, 2020.

MAP REFERENCES

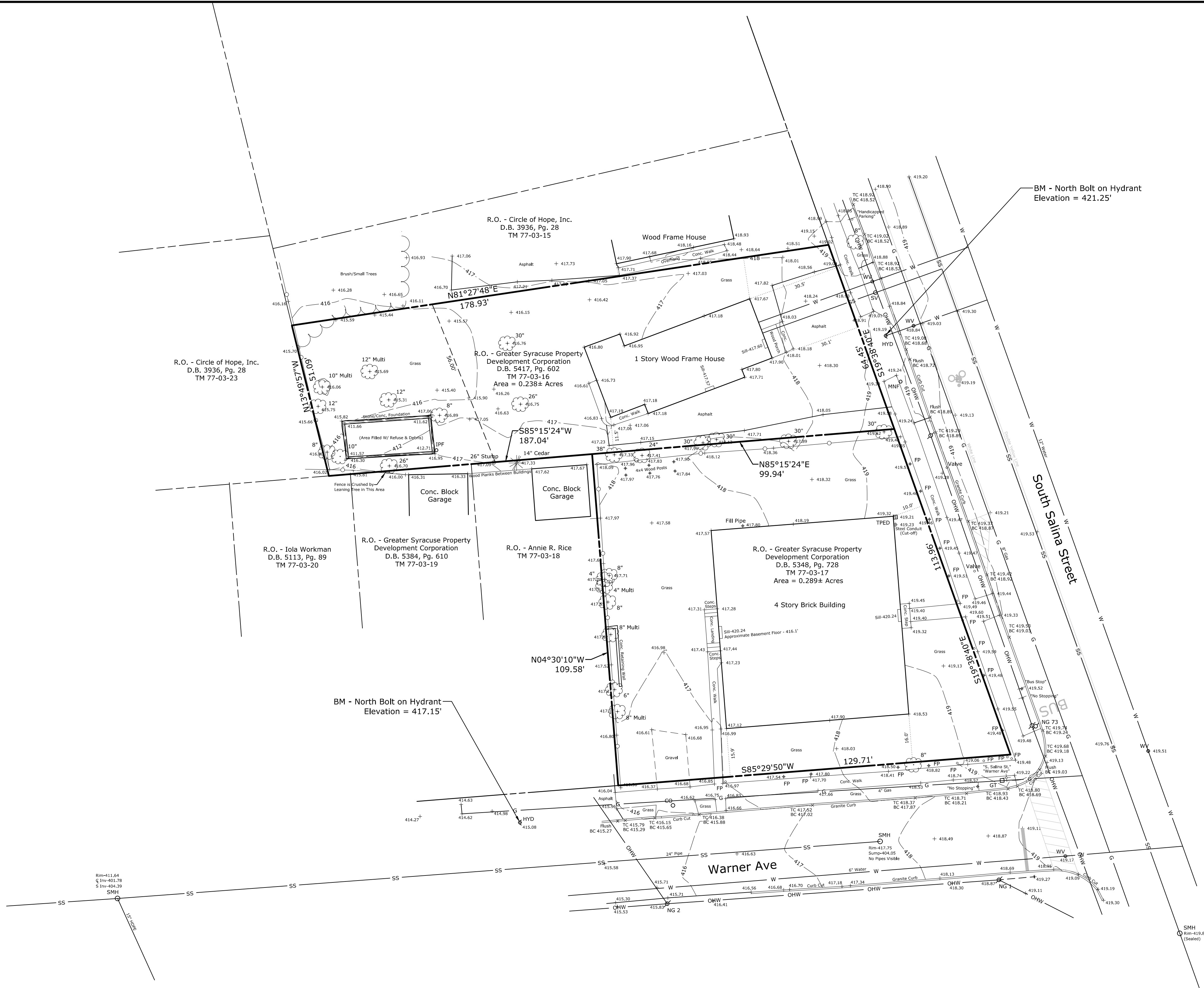
- 1.) MAP OF THE TOLMAN TRACT PREPARED BY G.E. HIGGINS, C.E. DATED SEPT. 6, 1930 AND RECORDED AS MAP NUMBER 770.
- 2.) MAP OF THE WARNER TRACT PREPARED BY FRANK J. SCHNAUBER, C.E. DATED MARCH 6, 1923 AND RECORDED AS MAP NUMBER 1833.

LEGEND

- FP, ----- FENCE POST
- SIGN
- TPED □ ----- TELEPHONE PEDESTAL
- CO □ ----- CLEANSOUT
- SV ○ ----- SEWER VENT
- SMH ○ ----- SANITARY MANHOLE
- WV ○ ----- WATER VALVE
- HYD □ ----- HYDRANT
- GT □ ----- GAS TEST
- UTILITY POLE
- GUY WIRE
- Mon □ ----- MONUMENT
- MNF ○ ----- MAG NAIL FOUND
- IPF ○ ----- IRON PIPE FOUND
- CONIFEROUS TREE
- DECIDUOUS TREE
- CHAINLINK FENCE
- OVERHEAD WIRES
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- TELEPHONE LINE
- STORM SEWER LINE
- SS ----- SANITARY SEWER LINE



"ONLY COPIES OF THIS MAP SIGNED IN RED INK AND EMBOSSED WITH THE SEAL OF AN OFFICER OF C.T. MALE ASSOCIATES OR A DESIGNATED REPRESENTATIVE SHALL BE CONSIDERED TO BE A VALID TRUE COPY".



I CERTIFY THAT THIS SURVEY WAS PREPARED FROM AN ACTUAL FIELD SURVEY AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND HAS BEEN PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE OF THE N.Y.S. ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

*David M. Sliski* 04/07/2020  
DAVID M. SLISKI PLS # 50105 DATE



DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.
					2020 C.T. MALE ASSOCIATES
					APPROVED:
					DRAFTED : JAD
					CHECKED : DMS
					PROJ. NO : 20.0263
					SCALE : 1"=20'
					DATE : APRIL 2, 2020

BOUNDARY AND TOPOGRAPHIC SURVEY MAP		
FOR THE LANDS OF GREATER SYRACUSE PROPERTY DEVELOPMENT CORPORATION		
2504 & 2520 SOUTH SALINA STREET		
LOT 1 OF THE TOTMAN TRACT and LOTS 1 & 2 OF THE WARNER TRACT PART OF LOT 92, SUB 6		
CITY OF SYRACUSE		ONONDAGA COUNTY, NEW YORK
<b>C.T. MALE ASSOCIATES</b> Engineering, Surveying, Architecture, Landscape Architecture, & Geology, D.P.C. 200 GATEWAY PARK DRIVE, BLDG. C, P.O. BOX 3246 SYRACUSE, NY 13220-3246 315.458.6498 * FAX 315.458.4427		 SHEET 1 OF 1 DWG. NO: 20-0244





LOCATION MAP



GENERAL NOTES

X-1-GEN-NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY CT MALE ASSOCIATES, NORTH SYRACUSE, DATED APRIL 2, 2012.
- OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.
2. SAW CUT FOR PAVING REMOVALS. EXTEND REMOVAL LINES TO INCLUDE ANY ADJOINING BROKEN OR DETERIORATING PAVING. CAREFULLY REMOVE STOCKPILE AND PROTECT ANY ITEMS NOTED FOR SALVAGE. ALL DEMOLITION RUBBLE, DEBRIS AND EXCESS SOILS TO BE PROMPTLY REMOVED FROM SITE. STRIP AND STOCKPILE SUFFICIENT EXISTING ORGANIC TOPSOILS FOR RESPREADING AS REQUIRED ON DISTURBED AND REGRADED AREAS TO BE ESTABLISHED AS LAWN AND FOR REPAIR OF DISTURBED EXISTING LAWNS TO REMAIN. STOCKPILE ALL MATERIALS IN APPROVED LOCATIONS WITHOUT INTERFERING WITH OTHER CONTRACTOR WORK, SCHOOL TRAFFIC OR DRAINAGE.
3. ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.
4. PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.
5. ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.
6. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-1980.
7. ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.
8. ALL NON-PAVED AREAS ARE TO BE LAWN UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE WITHIN THE CONTRACT LIMIT LINE. EXISTING LAWNS SHALL BE MOVED AS MUCH AS PRACTICAL TO KEEP AREA FROM LOOKING UNSIGHTLY. ALL TRASH AND DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	CONTOUR
+377.7	---	SPOT ELEVATION
CT/CE	---	CURB TAPER/END
TC/BC	---	TOP/BOTTOM OF CURB
HP/LP	---	HIGH / LOW POINT
TP-2	---	TEST PIT
B-1	---	BORING (SEE SPECIFICATIONS FOR BORING INFO)
---	---	FENCE
---	---	UTILITY POLE
---	---	WATER LINE
---	---	FIRE HYDRANT
---	---	STORM PIPE
---	---	UNDERDRAIN
---	---	SANITARY PIPE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	TELEPHONE
---	---	STORM STRUCTURE
---	---	DRYWELL
---	---	INLET
---	---	CATCH BASIN/MANHOLE
---	---	CLEAN OUT
---	---	SANITARY MANHOLE
---	---	ASPHALT PAVEMENT-PARKING
---	---	CONCRETE PAVEMENT
---	---	SAFETY SURFACING
---	---	TRAFFIC SIGN
---	---	LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
---	---	CURB
---	---	CURB FLUSH (1" REVEAL UNLESS OTHERWISE NOTED)
---	---	SILT FENCE
---	---	TREE
---	---	SHRUB
---	---	PLANT KEY
---	---	VEGETATION

EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES

X-1-1-SITE-PREP-NOTES

- CONTRACT LIMIT LINE
1. SAWCUT ASPHALT OR CONCRETE PAVEMENT. SAWCUT ASPHALT IN NEAT STRAIGHT LINE AND SAWCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
2. REMOVE ASPHALT PAVEMENT INCLUDING BASE MATERIAL AND DISPOSE OF OFF SITE.
3. REMOVE DEBRIS, TIRES, GARBAGE, PLASTIC, ETC. AND DISPOSE OF OFF SITE.
4. REMOVE TOPSOIL AND STOCKPILE FOR RE-USE.
5. REMOVE CHAIN LINK FENCE INCLUDING FOOTINGS, POSTS AND DISPOSE OF OFF SITE. BACKFILL VOIDS WITH 95% COMPACTED SUBBASE COURSE MATERIAL.
6. REMOVE/DECONSTRUCT EXISTING BUILDING. REFER TO SPECIFICATIONS FOR ANY SPECIAL INSTRUCTIONS REGARDING BUILDING DEMOLITION. REMOVE BUILDING FOUNDATION WALLS TO 24 INCHES BELOW PAVEMENT OR LAWN SUBGRADE. ALL EXISTING SLABS THAT WILL REMAIN IN PLACE SHALL BE SUFFICIENTLY BROKEN UP IN PLACE TO ALLOW FOR DRAINAGE OR REMOVED.
7. REMOVE EXISTING CONCRETE PAVEMENT INCLUDING BASE MATERIAL AND LEGALLY DISPOSE OF OFF-SITE.
8. CONTRACTOR TO COORDINATE WITH NATIONAL GRID FOR THE REMOVAL OF THE EXISTING OVERHEAD ELECTRIC SERVICE. NATIONAL GRID SHALL TERMINATE SERVICE TO HOUSE, REMOVE METER SOCKET AND REMOVE SERVICE FROM THE POLE TO THE WEATHERHEAD ON EACH HOUSE. CONTRACTOR SHALL REMOVE ALL OTHER ELECTRICAL SERVICE ITEMS FROM EACH HOUSE. COORDINATE REMOVALS OF TELEPHONE AND CABLE SERVICES WITH VERIZON AND SPECTRUM.
9. EXISTING FIRE HYDRANT REMAINS. PROTECT.
10. CONTRACTOR SHALL CONTACT THE CITY OF SYRACUSE WATER DEPARTMENT PRIOR TO COMMENCEMENT OF DEMOLITION TO HAVE THE WATER METERS REMOVED FROM EACH HOUSE AND HAVE THE WATER TURNED OFF AT THE CURB BOX. CONTRACTOR SHALL CUT AND CAP EACH WATER SERVICE AT THE CURB BOX. TERMINATION AND CAPPING OF EXISTING WATER LINES SHALL BE PERFORMED BY THE CITY OF SYRACUSE WATER DEPARTMENT AT THE WATER MAIN.
11. TERMINATE AND CAP EXISTING SANITARY LINES. WORK SHALL BE COMPLETED BY A LICENSED PLUMBER. TERMINATION SHALL BE ACCOMPLISHED BY EXCAVATING, CUTTING, CAPPING AND SEALING WITH CONCRETE. PLUMBING CONTROL SHALL INSPECT PRIOR TO BACKFILLING.
12. NEW 'AT GRADE' BUILDING ENTRANCE TO BE CONSTRUCTED ON NORTH SIDE OF BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR MODIFICATIONS TO EXISTING BUILDING FACADE. FIELD VERIFY BUILDING ELEVATIONS AT NEW DOORWAY THRESHOLD AND REPORT RESULTS TO LANDSCAPE ARCHITECT. ADJUSTMENTS TO EXTERIOR PAVEMENT AND LANDSCAPE GRADES MAY BE NECESSARY.
13. REMOVE EXISTING TREE/SHRUB/VEGETATION INCLUDING ROOT SYSTEM AND DISPOSE OF OFF SITE.
14. REMOVE CONCRETE RETAINING WALL AND DISPOSE OF OFF SITE.
15. REMOVED 4' X 4' WOODEN POSTS INCLUDING FOOTINGS AND DISPOSE OF OFF SITE.
16. REMOVE GRAVEL SURFACING AND DISPOSE OF OFF SITE.
17. REMOVE OLD STONE AND CONCRETE FOUNDATION AND DISPOSE OF SITE. THIS AREA TO BE USED FOR STORMWATER DRAINAGE.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER ANY ITEM IN THESE DOCUMENTS IN ANY WAY.

CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS, SIZES, DIMENSIONS AND EQUIPMENT PER REQUIREMENTS SET FORTH IN THE GENERAL SUPPLEMENTARY GENERAL CONDITIONS OF THIS CONTRACT

ACCESS DENTAL LABORATORIES  
US CORPORATE HEADQUARTERS  
2520/2504 SOUTH SALINA STREET  
SYRACUSE, NEW YORK

ACCESS GLOBAL ENTERPRISES, LLC  
SYRACUSE, NEW YORK

PROJECT



SUBMISSION SET  
04/15/2020

STAMP



CONSULTANT

date	revisions	no.

REVISIONS

date	4/15/2020
drawn by	JPR
checked by	EGK
approval	ANA
scale	AS NOTED
project no.	2681

DRAWING INFO

SITE  
PREPARATION  
PLAN

SHEET TITLE

modelspace: PLANS  
x-ref: XXX  
x-ref: XXX  
paperspace: PLANS

FILE STRUCTURE

L1.1  
SHEET NUMBER



1. ANY/FILL FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
2. WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT, AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
3. ALL CONCRETE PAVING AT ALL DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE CURED TO FOUNDATION WALL PER DETAILS.
4. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
5. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
6. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.

CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS, SIZES, DIMENSIONS & EQUIPMENT PER REQUIREMENTS SET FORTH IN THE GENERAL SUPPLEMENTARY GENERAL CONDITIONS OF THIS CONTRACT

ACCESS DENTAL LABORATORIES  
US CORPORATE HEADQUARTERS  
2520/2504 SOUTH SALINA STREET  
SYRACUSE, NEW YORK

ACCESS GLOBAL ENTERPRISES, LLC  
SYRACUSE, NEW YORK

Established 1978

**AC**  
**&C**

**ALESIA &  
CREWELL**  
ARCHITECTS, P.C.

**STAMP**

**KEPLINGER  
FREEMAN  
ASSOCIATES**

**LANDSCAPE ARCHITECTURE & LAND PLANNING**

6320 FLY ROAD, SUITE 109 EAST SYRACUSE, NEW YORK 13057  
PHONE: (315) 445-7980 FAX: (315) 445-7981

**CONSULTANT**

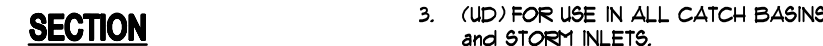
date	revisions	no.

date	4/15/2020
drawn by	JPR
checked by	EGK
approval	ANA
scale	AS NOTED
project no.	2681

# SITE GRADING, DRAINAGE AND UTILITIES PLAN

modelspace:	PLANS
x-ref:	XXX
x-ref:	XXX
paperspace:	PLANS

L2.1



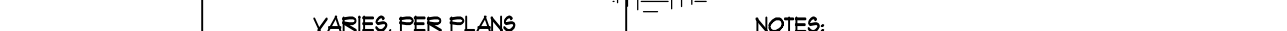
**5 UNDERDRAIN (UD)**  
L2.1 NOT TO SCALE 33-4000-21

4  
L2.1

**LAWN DRAIN**

**NOT TO SCALE**

33-4000-



**3 DRYWELL (DW)**  
**L2.1 NOT TO SCALE**



1-3/4" HT. UNLESS NOTED OTHERWISE

3/4" MIN. EMBEDMENT

2 POUND RIB-BACK U-CHANNEL SIGN POST

3/8" DIA. HEX HEAD BOLT WITH HEX NUT AND WASHERS, SET 4" APART, ONE ABOVE, ONE BELOW GRADE

4"

5/16" OVERLAP

FINISH GRADE

2 POUND RIB-BACK U-CHANNEL SIGN POST

ITEMS:  
FABRICATE SIGN PANELS OF .080 ALUMINUM.  
ALL SIGNS SHALL BE FASTENED TO OR MOUNTED ON POST WITH GALVANIZED BOLTS, NUTS AND WASHERS.  
FOR FURTHER INFORMATION, REFER TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.  
COORDINATE SIGN LOCATION TO AVOID UTILITIES.



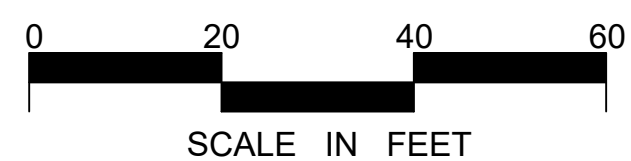
**2 RESERVED PARKING STALL**  
 12.1 NOT TO SCALE 32-1723-

ITEMS:  
FABRICATE SIGN PANELS OF .080 ALUMINUM.  
ALL SIGNS SHALL BE FASTENED TO OR MOUNTED ON POST WITH GALVANIZED BOLTS, NUTS AND WASHERS.  
FOR FURTHER INFORMATION, REFER TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.  
COORDINATE SIGN LOCATION TO AVOID UTILITIES.

**1** **TRAFFIC CONTROL SIGN**  
**L2.1** NOT TO SCALE 32-4000-01

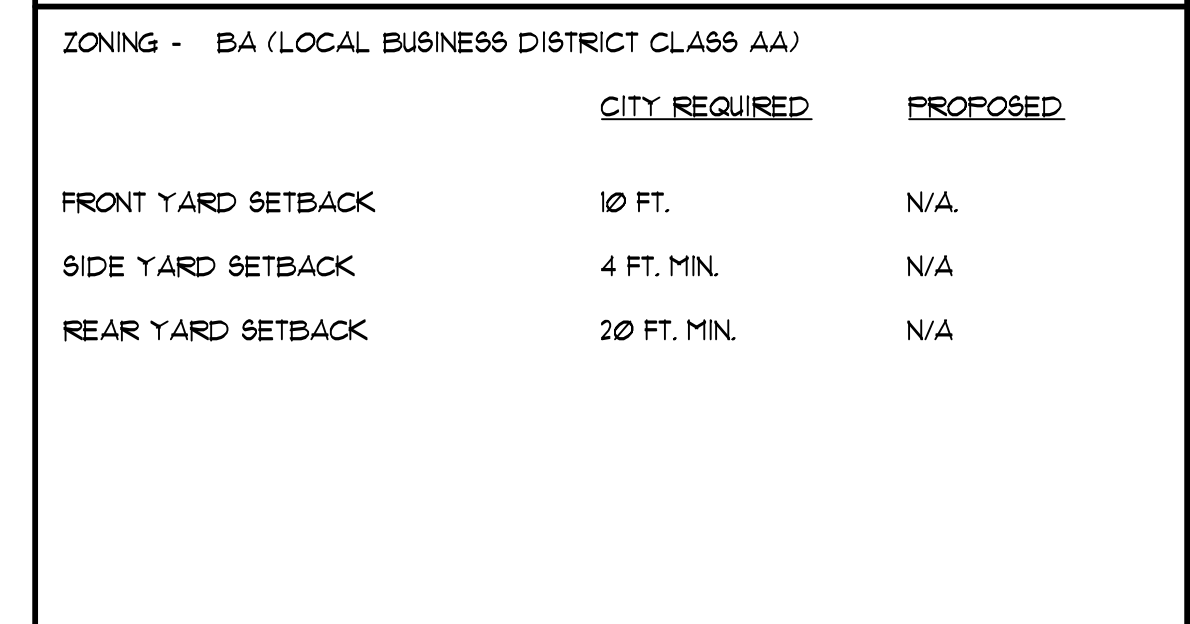
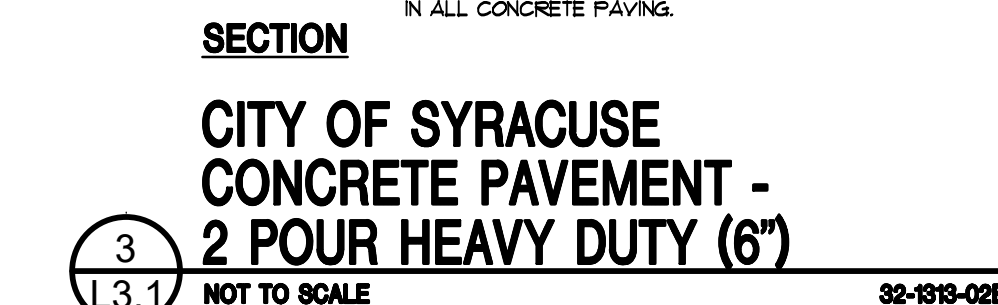
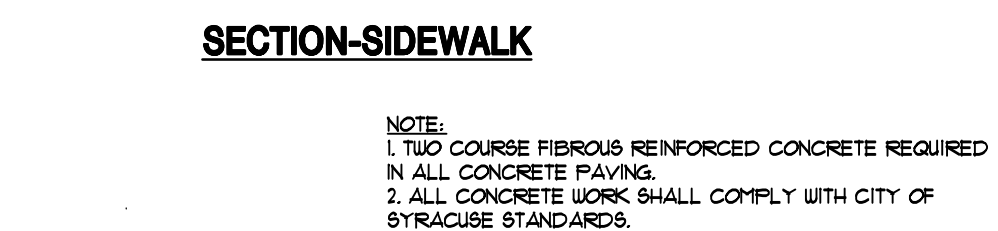
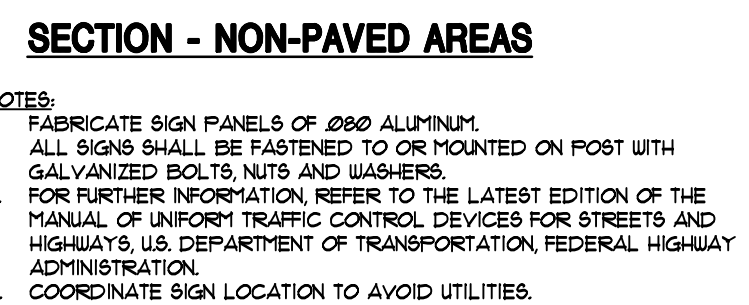


**6** **GRANITE CURB**  
121 NOT TO SCALE

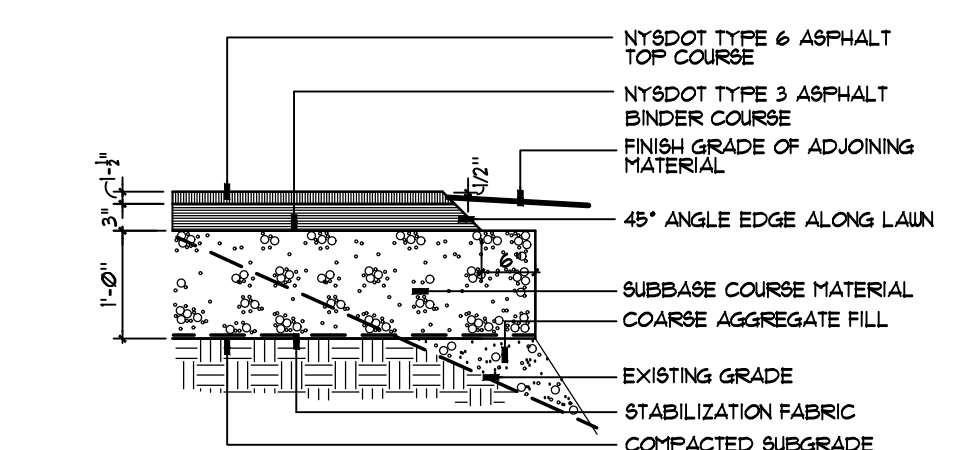
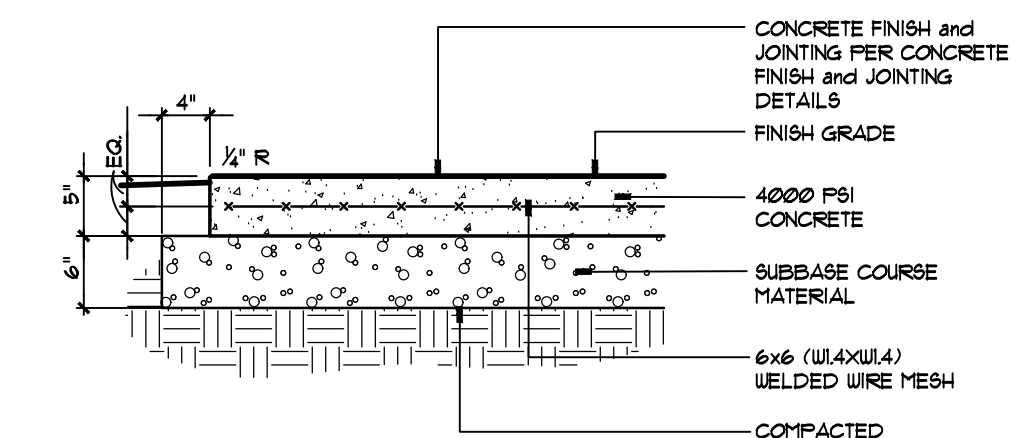


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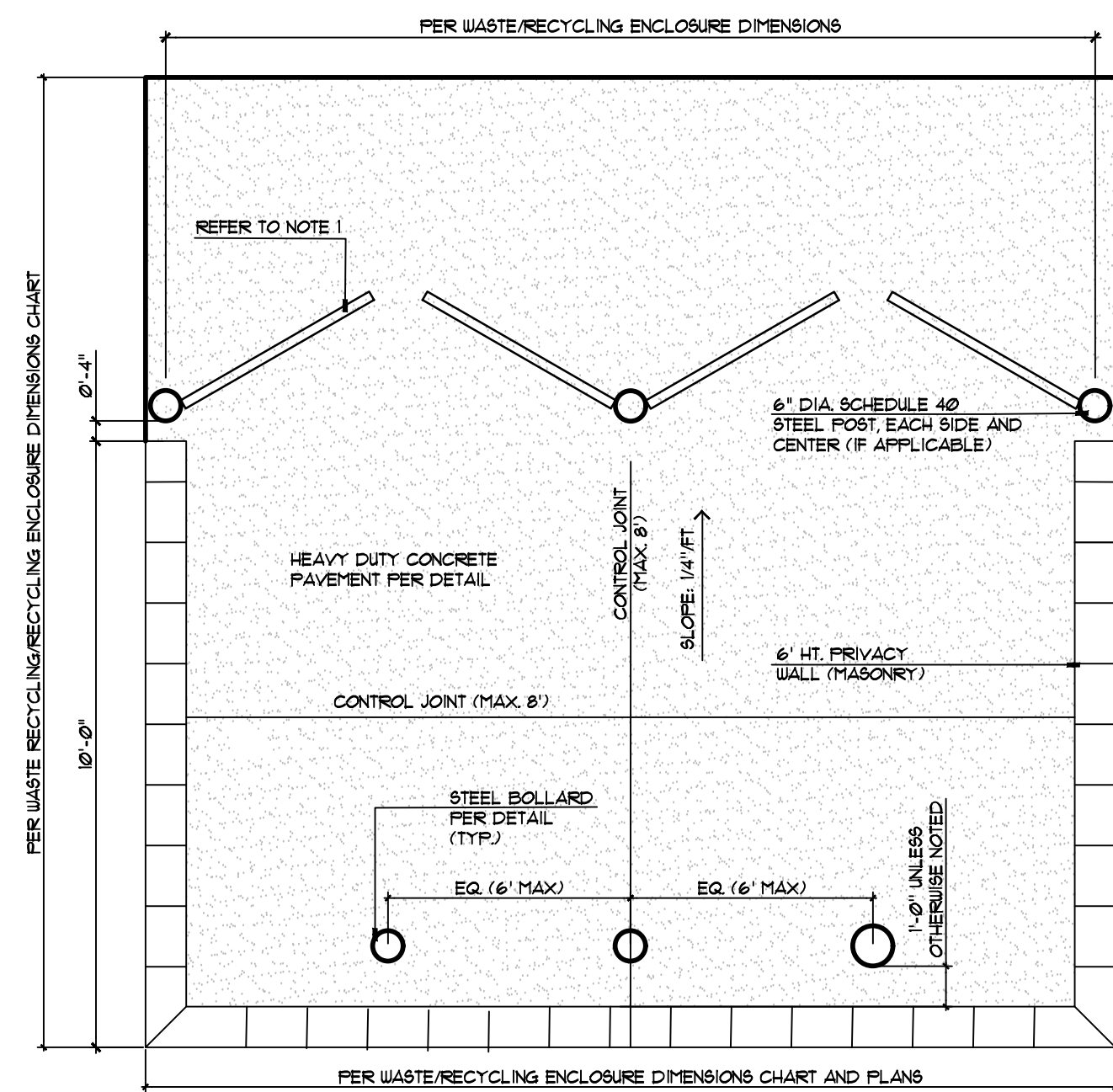




- # LAYOUT CONSTRUCTION NOTES
- L4Q2-LAYOUT-NOTES
1. INSTALL ASPHALT PARKING PAVEMENT PER DETAIL XXXX.
  2. INSTALL CONCRETE PAVEMENT PER DETAIL XXXXXX.
  3. INSTALL HEAVY DUTY CONCRETE PAVEMENT PER DETAIL XXXX.
  4. 4" WIDE PAINTED LINES, (TYP.).
  5. INSTALL ACCESSIBLE RAMP TYPE - B PER DETAIL.
  6. INSTALL PLAYGROUND EQUIPMENT.
  7. INSTALL RESERVED PARKING PER DETAIL XXXX.
  8. INSTALL PERGOLA.
  9. INSTALL SIGN POST PER DETAIL XXXXX.
  10. INSTALL 6' HEIGHT PVC PRIVACY FENCE PER DETAIL XXXXX.
  11. INSTALL PLAYGROUND CURBING AND SURFACING PER DETAIL XXXX.
  12. INSTALL SEEDED LAWN PER DETAIL XXXX.
  13. INSTALL GRANITE CURB PER DETAIL XXXX.
  14. INSTALL ASPHALT DRIVE PAVEMENT PER CITY OF SYRACUSE.
  15. INSTALL WASTE ENCLOSURE PER DETAIL XXXXXX.







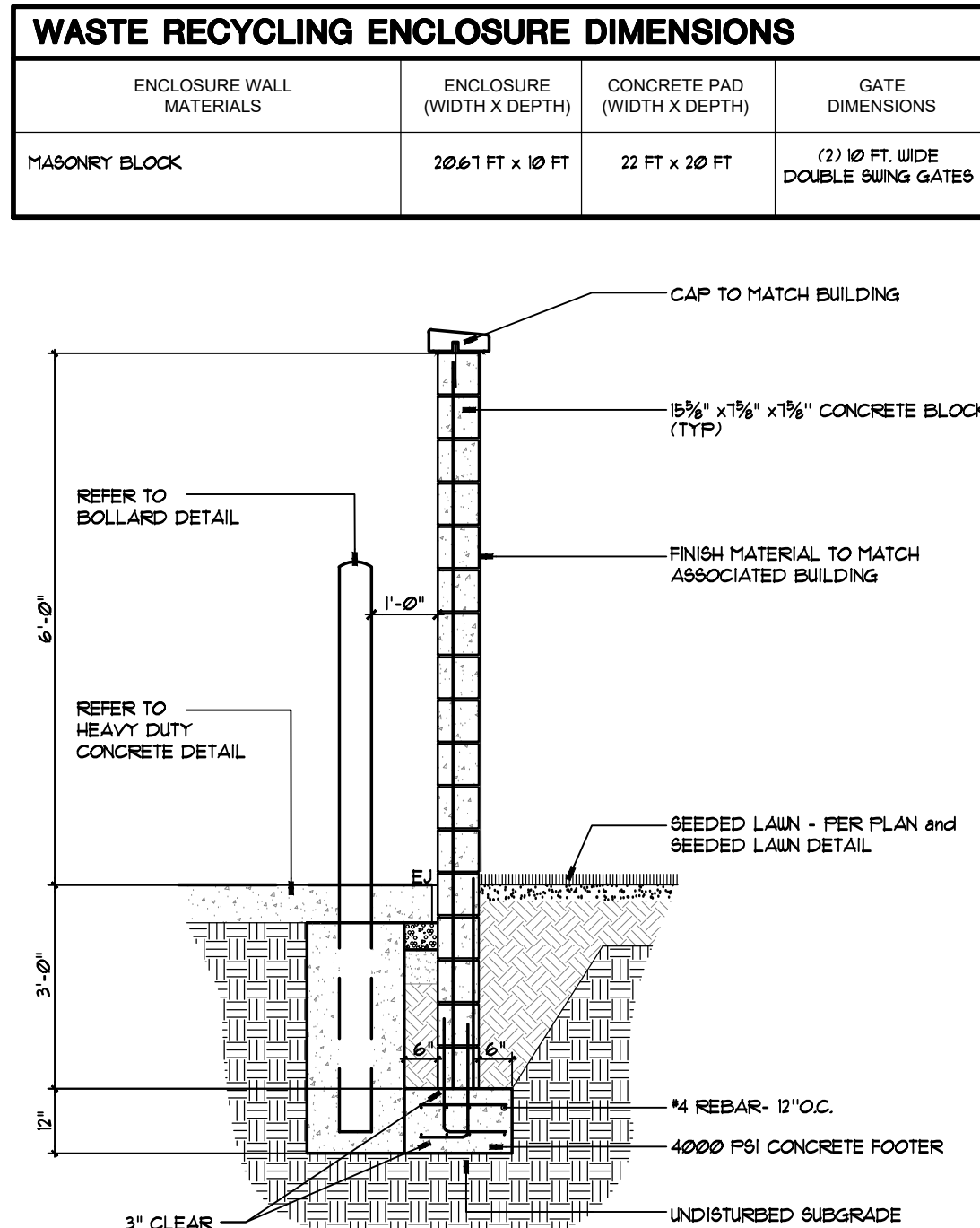
PLAN

- NOTES:
1. INSTALL 8'x40' 100 DOUBLE SLING GATE (GALVANIZED AND POWDER COATED METAL GATE WITH LOUVERS) AS MANUFACTURED BY AMETCO OR APPROVED EQUAL. REFER TO WASTE/RECYCLING ENCLOSURE DIMENSIONS CHART FOR GATE WIDTH.
  2. MATERIAL AND COLOR OF ENCLOSURE STRUCTURE SHALL MATCH ASSOCIATED BUILDING.
  3. REINFORCE CONCRETE MASONRY UNITS WITH HORIZONTAL LADDER TYPE REINFORCING EVERY OTHER COURSE. AT A MINIMUM, PROVIDE VERTICAL REINFORCING OF (1) #5 BAR AT 4'-0\"/>

## WASTE/RECYCLING ENCLOSURE

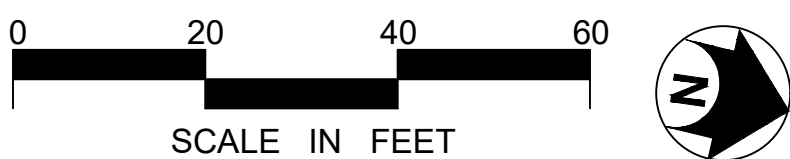
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32-4001-02



ELEVATION - ENCLOSURE WALL

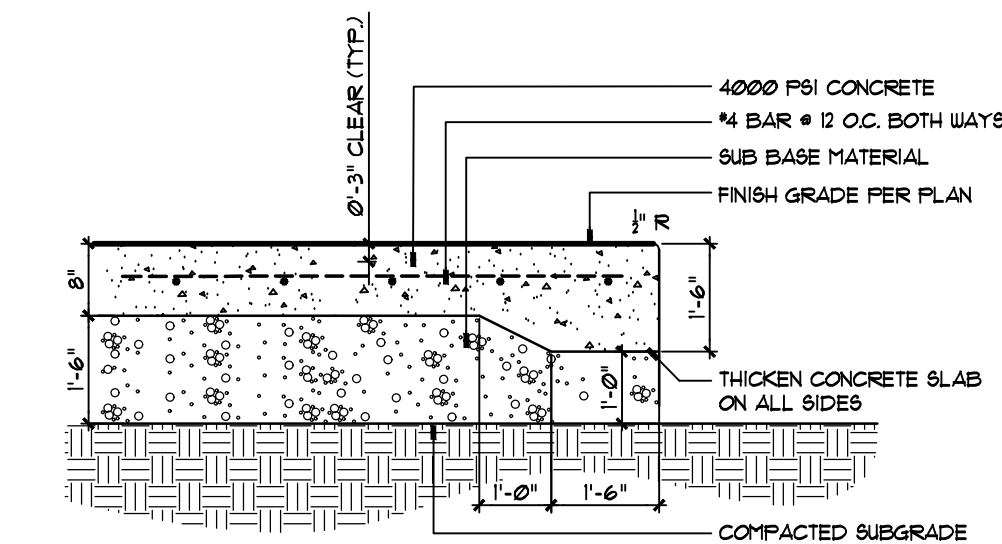
- NOTES:
1. REFER TO BOLLARD DETAIL.
  2. REFER TO HEAVY DUTY CONCRETE DETAIL.



KEY	COMMON NAME	BOTANICAL NAME	CALIFER	HEIGHT	CONDITION	NOTE
TREES						
Ac	HEDGE MAPLE	ACER CAMPESTRE	2" CAL.	-	B4B	
Sv	JAPANESE TREE LILAC	STRYNGA VULGARIS 'IVORY SILK'		4'-5'	B4B	
Ms	SUGAR TYME CRAB APPLE	MALUS 'BUTYZAN'		4'-5'	B4B	
Bn	RIVER BIRCH	BETULA NIGRA	--	8'-10'	B4B	MIN 3" CANE
Ag	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHER GRANDIFOLIUM 'AUTUMN BRILLIANCE'		-		
SHRUBS						
Hp	BOBO HYDRANGEA	HYDRANGEA PANICULATA 'ILVOBO'		-	#3 CONT.	--
Jc	SEA GREEN JUNIFER	JUNIPERUS CHINENSIS 'SEA GREEN'		--	3 GAL.	
Ja	BLUEBERRY DELIGHT JUNIFER	JUNIPERUS COMMUNIS 'AMIDAK'	-	-	#3 CONT.	--
Hm	ENDLESS SUMMER HYDRANGEA	HYDRANGEA MACROPHYLLA 'BAILMER'	-	-	#3 CONT.	--
PERENNIALS						
P-H	ALBOMARGINATA HOSTA	HOSTA FORTUNE 'ALBOMARGINATA'		--	1 GAL.	
P-Hm	AUREOMARGINATA HOSTA	HOSTA FORTUNE 'AUREOMARGINATA'		--	1 GAL.	
P-Hg	GOLD STANDARD HOSTA	HOSTA FORTUNE 'GOLD STANDARD'		--	1 GAL.	
GRASSES						
G-F	DWARF FOUNTAIN GRASS	PENNISETUM 'HAEMEL'		--	1 GAL.	

## PLANT NOTES

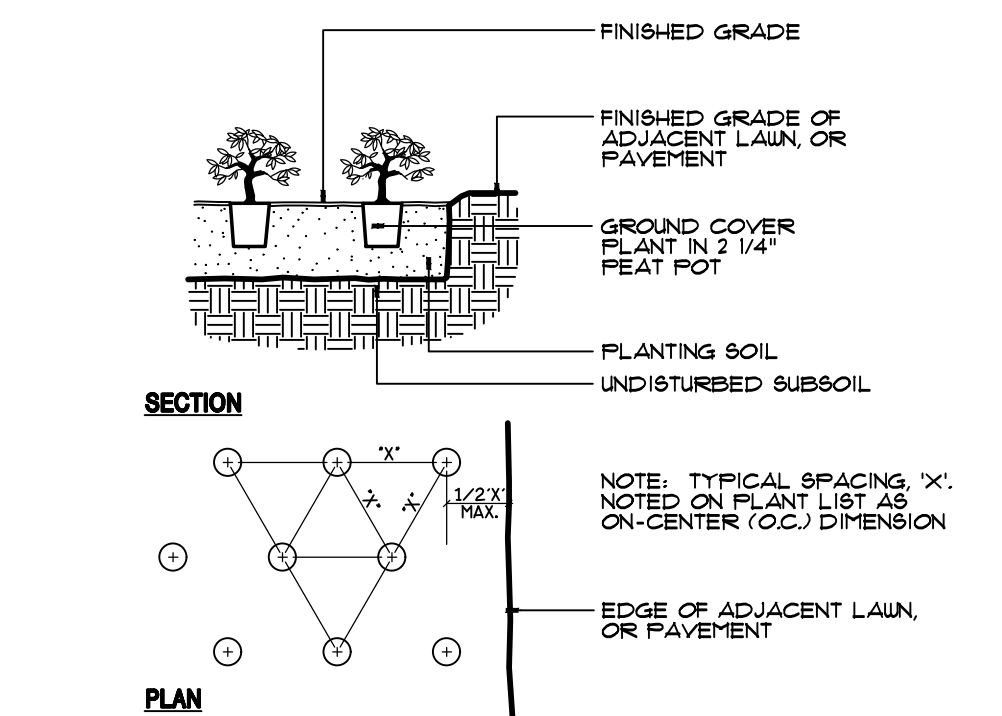
1. 3" SHREDDED BARK MULCH WITH 18" PLANT SOIL AS SPECIFIED.
2. ALL PLANT BEDS TO HAVE SPADE CUT EDGES UNLESS OTHERWISE SPECIFIED.



## SECTION 5 HEAVY DUTY CONCRETE PAVEMENT

NOT TO SCALE

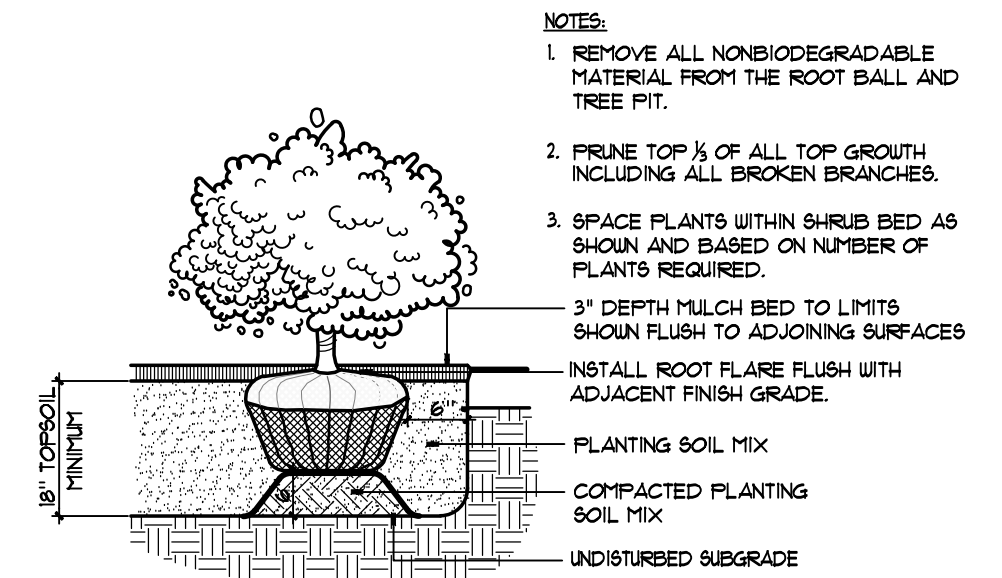
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## SECTION 4 GROUND COVER PLANTING

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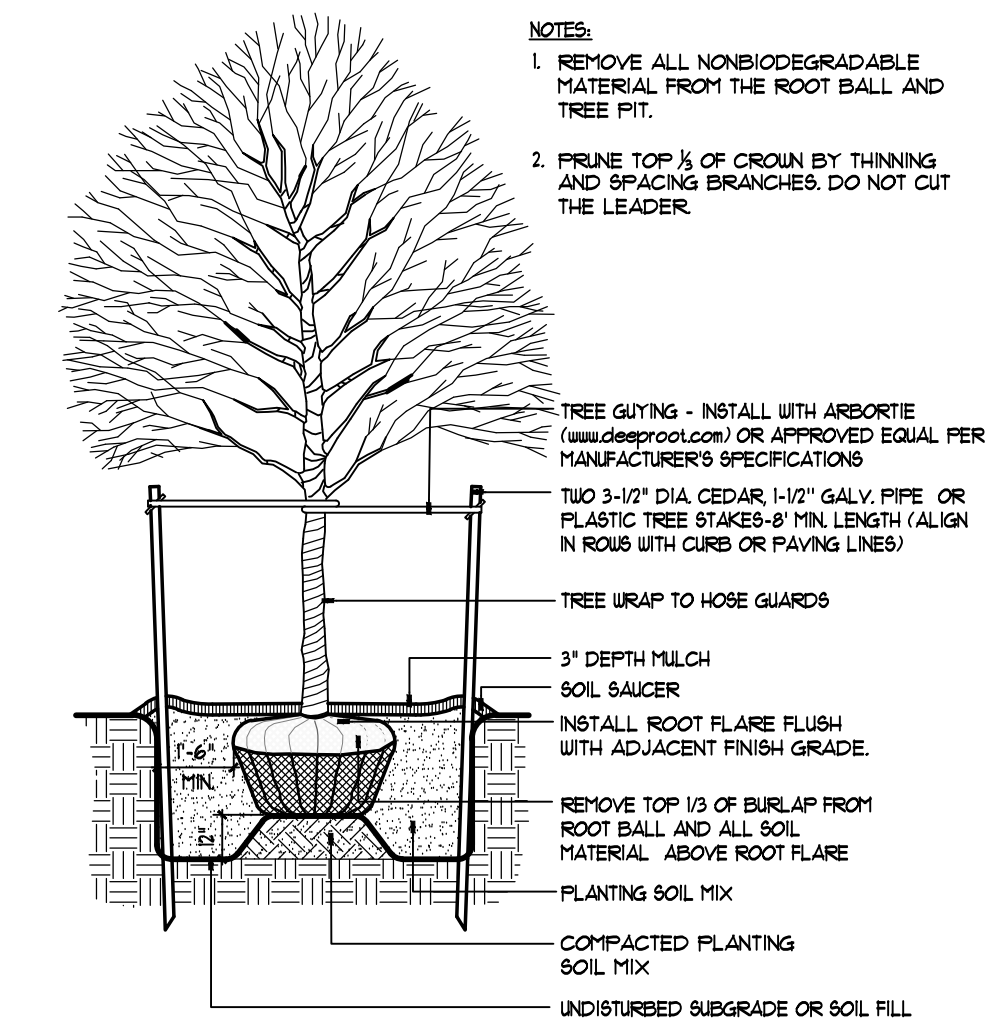
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## SECTION 3 SHRUB PLANTING

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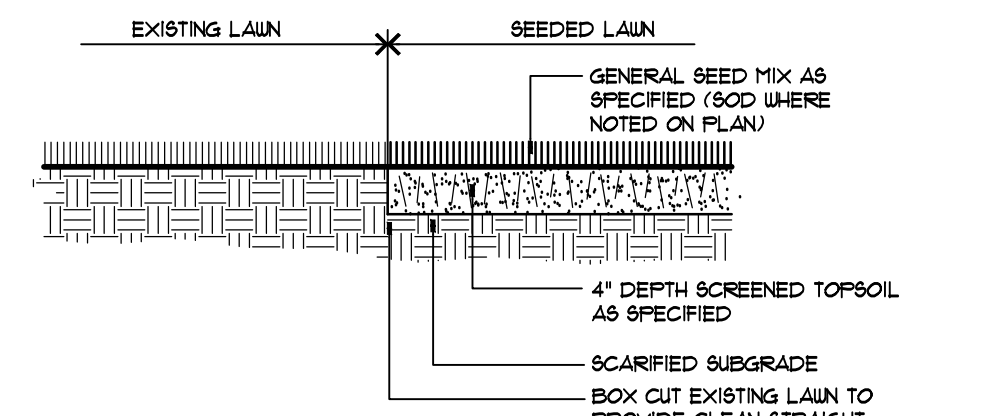
32-8300-02



## SECTION 2 TREE PLANTING

NOT TO SCALE

32-8300-01



## SECTION 1 SEEDED LAWN

NOT TO SCALE

32-8200-01A

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ACCESS DENTAL LABORATORIES  
US CORPORATE HEADQUARTERS  
2520/2504 SOUTH SALINA STREET  
SYRACUSE, NEW YORK  
ACCESS GLOBAL ENTERPRISES, LLC  
SYRACUSE, NEW YORK

PROJECT



SUBMISSION SET  
04/15/2020

STAMP  
KEPLINGER FREEMAN ASSOCIATES  
LANDSCAPE ARCHITECTURE & LAND PLANNING  
6320 ELY ROAD, SUITE 200, EAST SYRACUSE, NEW YORK 13207  
PHONE: (315) 445-7900 FAX: (315) 445-7901

CONSULTANT

date	revisions	no.

REVISIONS

date	4/15/2020
drawn by	JPR
checked by	EGK
approval	ANA
scale	AS NOTED
project no.	2681

DRAWING INFO

SITE  
PLANTING  
PLAN

SHEET TITLE

modelspace: PLANS  
x-ref: XXX  
x-ref: XXX  
paperspace: PLANS

FILE STRUCTURE

L3.2

SHEET NUMBER



WASTE DISPOSAL / SPILL PREVENTION NOTES

- WASTE DISPOSAL NOTES:**
- COLLECT AND STORE ALL WASTE MATERIALS AND DEBRIS IN DUMPSTERS OR OTHER ACCEPTABLE WASTE FACILITIES. ALL COLLECTED WASTE MATERIALS SHALL BE LEGALLY REMOVED AND DISPOSED OF OFF SITE. DUMPSTER SHALL BE EMPTIED ON A PERIODIC BASIS DEPENDING ON GENERATION OF WASTE MATERIAL. NO BURNING OR BUYING OF WASTE MATERIALS WILL BE ALLOWED.
  - STORE, HANDLE AND DISPOSE OF ALL HAZARDOUS MATERIALS AS SPECIFIED BY LOCAL OR STATE LAWS.
- SPILL PREVENTION NOTES:**
- CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT EXCESS CONCRETE OR DRUM WASH WATER EXCEPT FOR AT DESIGNATED CONCRETE WASHOUT AREAS.
  - ALL ON-SITE FUELING OF EQUIPMENT AND VEHICLES SHALL BE CONDUCTED PER NYSDEC GUIDELINES FOR PETROLEUM BULK STORAGE.
  - MONITOR ALL CONSTRUCTION VEHICLES AND EQUIPMENT FOR LEAKS.
  - ALL PETROLEUM AND LUBRICANTS USED FOR THE OPERATION OF VEHICLES AND EQUIPMENT SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. WHEN POSSIBLE, STORE THESE PRODUCTS IN APPROPRIATE CONTAINERS OR UNDER ROOFED FACILITIES.

SWPPP LEGEND

- 6" SILT FENCE
- SEDIMENT TRAP @ CB/INLET
- SLOPE PROTECTION
- CONSTRUCTION ENTRANCE
- CHECK DAM
- SEDIMENT FILTER LOG

SOIL RESTORATION NOTES

- ACCORDING TO SECTION 5 OF THE NYS STORMWATER DESIGN MANUAL, SOIL RESTORATION PRACTICES MUST BE APPLIED ACROSS THE SITE IN AREAS OF SOIL DISTURBANCE.
  - SOIL RESTORATION REQUIREMENTS:**

**TYPE OF SOIL DISTURBANCE**

NO SOIL DISTURBANCE  
RESTORATION NOT PERMITTED

MINIMAL SOIL DISTURBANCE  
RESTORATION NOT REQUIRED

AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE  
H&G A/B - APPLY 6 INCHES OF TOPSOIL  
H&G C/D AERATE\* AND APPLY 6 INCHES OF TOPSOIL

AREAS OF CUT OR FILL  
H&G A/B - AERATE AND APPLY 6 INCHES OF TOPSOIL  
H&G C/D - APPLY FULL SOIL RESTORATION\*

HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN ZONE 5-75 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)  
APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)

AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED  
RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.

REDEVELOPMENT PROJECTS  
SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.
- \*REFER "DEEP RIPPING AND DE-COMPACTION, DEC 2008".

- 3. SOIL RESTORATION PRACTICE IMPLEMENTATION:**
- APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
  - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER TOWING AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
  - ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
  - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
  - VEGETATE AS REQUIRED BY APPROVED PLAN.
  - COMPOST SHALL BE AGED FROM PLANT DERIVED MATERIALS, FREE OF VIABLE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.

FIGURES 5/6 AND 5/7 TO THE BELOW SHOW TWO ATTACHMENTS USED FOR SOIL DECOMPACTION, TILLING (STEP 2 ABOVE) SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATION THAT ARE WITHIN 24 INCHES OF THE SURFACE.

Figure 5.16 Soil aerator implement Figure 5.17 Soil aerator implement



- AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT.
- THE CONTRACTOR MUST KEEP THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS. CONSIDER PEDESTRIAN FOOTPATHS. (SOMETIMES IT MAY BE NECESSARY TO DE-HATCH THE TURF EVERY FEW YEARS)
- ALL SOIL RESTORATION SHALL BE IN ACCORDANCE WITH NYSDEC REGULATIONS AND THE APPROVED SWPPP FOR THE PROJECT.

EROSION CONTROL NOTES and EROSION CONTROL SEQUENCING

- EROSION AND SEDIMENT CONTROL NOTES:**
- PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES, AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR, AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE DESIGN GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL AND THE SWPPP PREPARED FOR THE PROJECT, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - BARE SOILS SHALL BE MULCHED WITH STRAW AT A RATE OF TWO TONS PER ACRE WITHIN 14 DAYS OF EXPOSURE. UNLESS CONSTRUCTION WILL BEGIN WITHIN 21 DAYS, IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDED IMMEDIATELY.  
\*\* ALL DISTURBED AREAS WITHIN THE NYSDOT RIGHT-OF-WAY SHALL BE STABILIZED BY STRAW OR OTHER NYSDOT APPROVED METHOD, AT THE END OF EACH WORK WEEK, REGARDLESS OF WHEN THE SOIL WILL BE DISTURBED AGAIN.
  - SITE PREPARATION SHALL INCLUDE:

A. SEEDED PREPARATION - SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROOTS OR STUMPS.

B. SOIL AMENDMENTS

    - LIME TO PH 6.0
    - FERTILIZE WITH 6000 LBS OF 5-10-10 OR EQUIVALENT PER ACRE (14 LBS/1000 SQ FT).

C. SEED MIXTURES

    - TEMPORARY SEEDINGS
      - RYEGRASS (ANNUAL OR PERENNIAL) @ 30 LBS/ACRE (21 LBS/1000 SQ FT).
      - CERTIFIED "ARCOSTOCK" WINTER RYE (CEREAL RYE) @ 100 LBS/ACRE (23 LBS/1000 SQ FT).
    - PERMANENT SEEDINGS
      - ROUGH OR OCCASIONALLY MOULDED AREAS:

EMPIRE BIRDSEED	LBS/ACRE	LBS/1000 SQ FT
8	0.10	
TREFOIL OR COMMON WHITE CLOVER PLUS*	8	0.10
TALL FESCUE PLUS	20	0.45
REDTOP	2	0.05
RYEGRASS (PERENNIAL)	5	0.10

\*ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING

D. METHOD OF SEEDING - BROADCASTING, DRILLING WITH CULTIPACK TYPE SEEDER OR HYDROSEEDING ARE ACCEPTABLE.
  - DISTURBED AREAS SHALL BE SEEDED AS NOTED ABOVE AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL. ON SLOPES GREATER THAN 3:1 SEEDED AREAS SHALL BE STAKED WITH JUTE MESH OR SODDED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.
  - ACCESS TO DISTURBED AREAS SHALL BE LIMITED TO THE AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN AND ANY OTHER LOCATIONS THE CONTRACTOR INTENDS TO ENTER THE SITE FROM THE ADJACENT ROADWAYS.
  - ANY EXISTING DRAINAGE FACILITIES DISRUPTED BY CONSTRUCTION OR IMPACTED BY INSTALLATION OF EROSION CONTROL MEASURES SHALL BE REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.
  - ALL DESIGN AND MAINTENANCE MEASURES OUTLINED IN THE SWPPP PREPARED FOR THIS PROJECT SHALL BE IMPLEMENTED AND CARRIED OUT BY THE PARTIES DEEMED RESPONSIBLE FOR THOSE DUTIES.
  - THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN OR NYSDEC.
  - PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLAN AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ON ADJOINING PROPERTY, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK. COMPLY WITH THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL" AND THE NYSDEC'S "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".
  - MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES AND EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (1" RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPLACING DAMAGED OR SiltED IN EROSION CONTROLS, CLEANING OUT STRUCTURES, AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
  - CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE, LAUNHS HAVE BECOME ESTABLISHED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.
  - CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL."

EROSION CONTROL and CONSTRUCTION SEQUENCE

- PRIOR TO SITE DISTURBANCE, CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AS DETAILED AT THE ENTRANCE LOCATION SHOWN ON THE DRAWING.
- SILT FENCE - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLAN PRIOR TO EARTHWORK. SILT FENCE SHALL BE UTILIZED ONLY AS A TEMPORARY MEASURE. DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY FOLLOWING THE COMPLETION OF ANY EARTHWORK PHASE.
- CLEARING AND GRUBBING - REMOVE ALL TREES, STUMPS AND BRUSH PRIOR TO EARTHWORK.
- PROVIDE ALL DRAINAGE CHANNELS AND INSTALL EROSION CONTROL MEASURES WITHIN DRAINAGEWAYS. INSTALL CHECK WHERE INDICATED ON THE PLAN.
- PROVIDE DRAINAGE STRUCTURES AND PIPING, INCLUDING DRAINAGE INLET PROTECTION AS SHOWN ON THE DRAWING.
- EXCAVATE, FILL AND GRADE PARKING LOT SUBBASE AS SHOWN ON THE DRAWING. FINE GRADE, SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
- EXCAVATE AND FILL REST OF SITE AREAS. FINE GRADE, SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
- REMOVE TEMPORARY CONSTRUCTION ENTRANCE WHEN ASPHALT BINDER COURSE IS PLACED.
- CLEAN ALL STORMWATER BMP'S AFTER ALL UPSTREAM CONTRIBUTORY DRAINAGE AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
- REMOVE TEMPORARY SILT FENCING AFTER SITE IS COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED. PROVIDE UNDERDRAIN WITH DETENTION BASIN PER PLANS.

FINAL CLEAN UP & PREVENTATIVE MAINTENANCE

- REMOVE AND/OR MAINTAIN STOCKPILE AREAS.
- REMOVE EROSION CONTROL MEASURES FROM STABILIZED AREAS.
- FINAL CLEAN UP - REMOVE EROSION CONTROL MEASURES AND CLEAN OUT ALL DRAINAGE STRUCTURES AND PIPES AFTER LAWN IS WELL ESTABLISHED. OWNER IS RESPONSIBLE FOR MAINTAINING SITE UPON PROJECT CLOSEOUT.
- CONTRACTOR, ARCHITECT, AND OWNER TO REVIEW SITE FOR COMPLETION. CONTRACTOR TO ADDRESS FINAL COMMENTS ON PUNCH LIST FROM ARCHITECT AND SWPPP INSPECTION REPORTS.
- SUBMIT NOTICE OF TERMINATION UPON FULL STABILIZATION OF SITE.

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ACCESS DENTAL LABORATORIES  
US CORPORATE HEADQUARTERS  
2520/2504 SOUTH SALINA STREET  
SYRACUSE, NEW YORK  
ACCESS GLOBAL ENTERPRISES, LLC  
SYRACUSE, NEW YORK

PROJECT



SUBMISSION SET  
04/15/2020

STAMP



CONSULTANT

date	revisions	no.

REVISIONS

date	4/15/2020
drawn by	JPR
checked by	EGK
approval	ANA
scale	AS NOTED
project no.	2681

DRAWING INFO

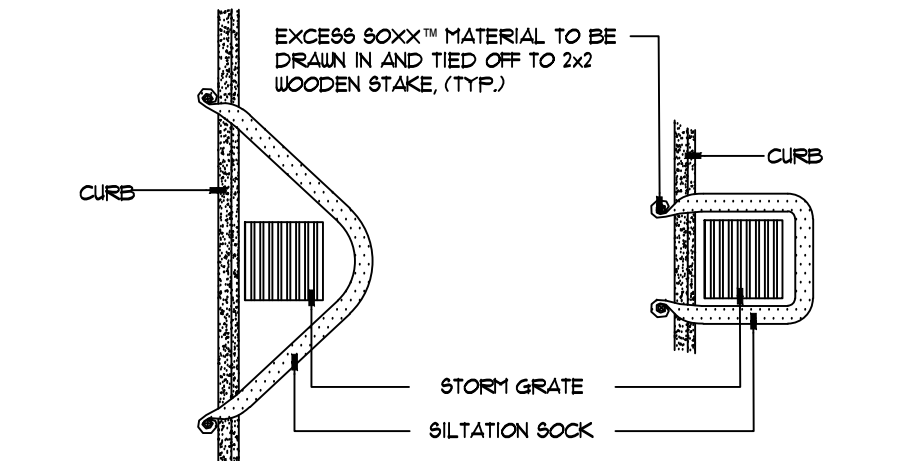
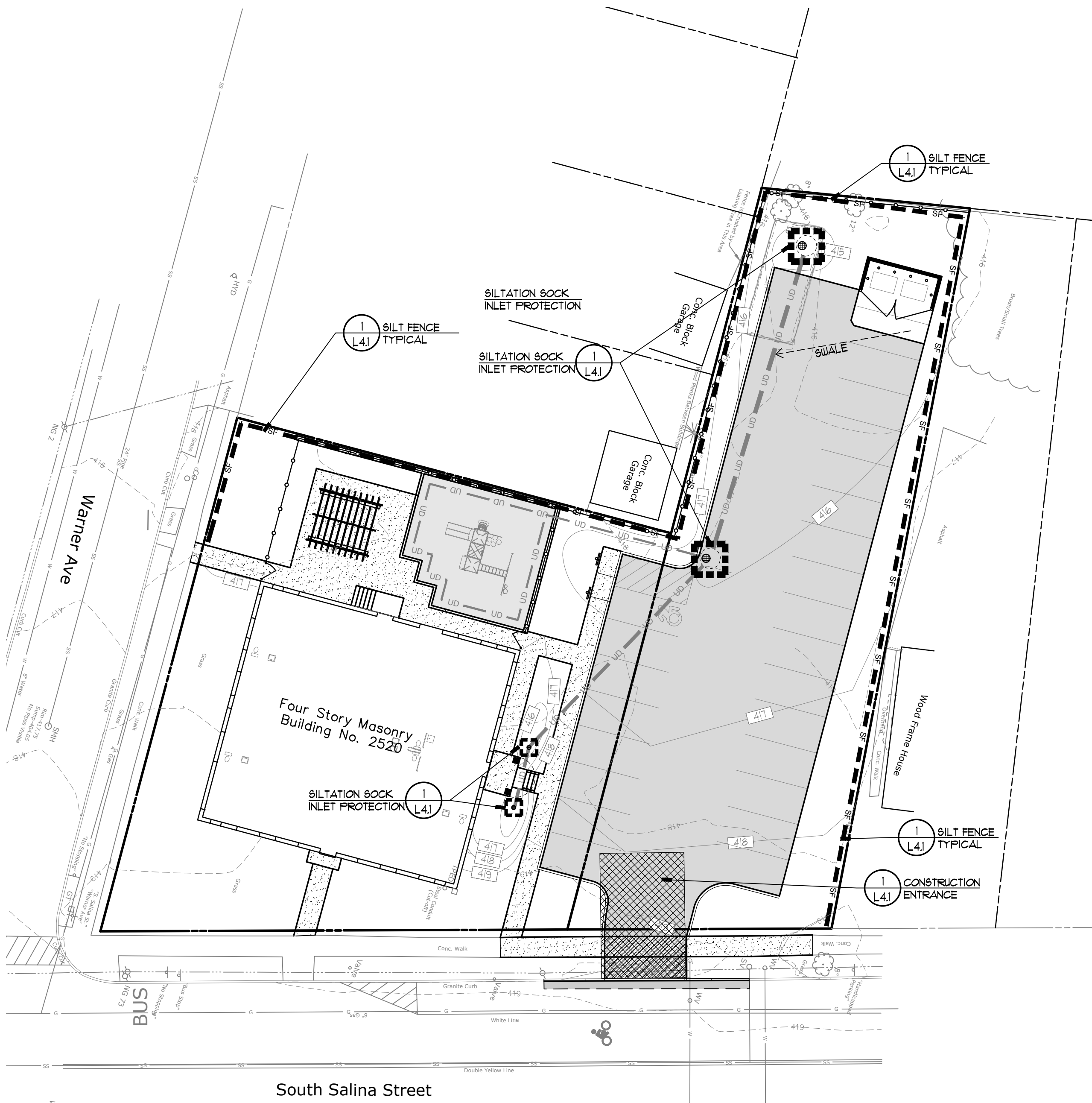
EROSION CONTROL PLAN

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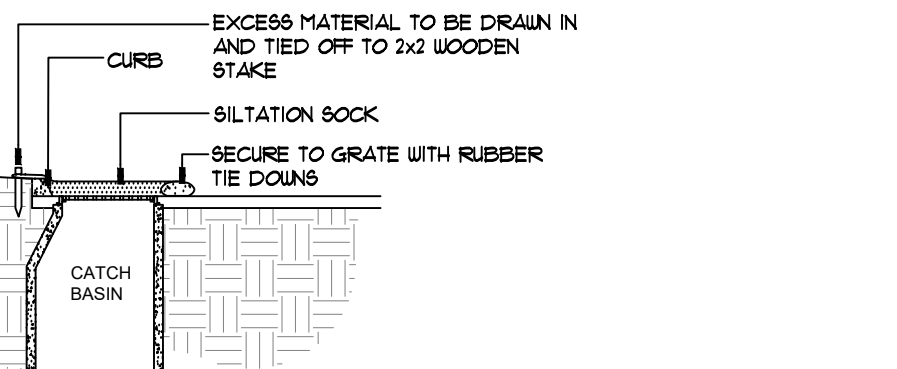
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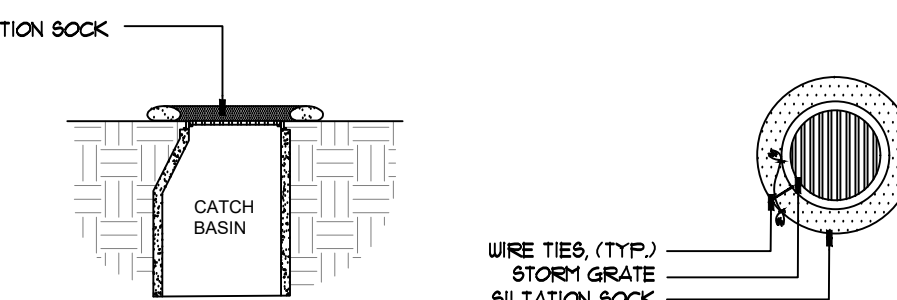
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SHEET NUMBER



CURBSIDE SECTION



DRAIN INLET SECTION

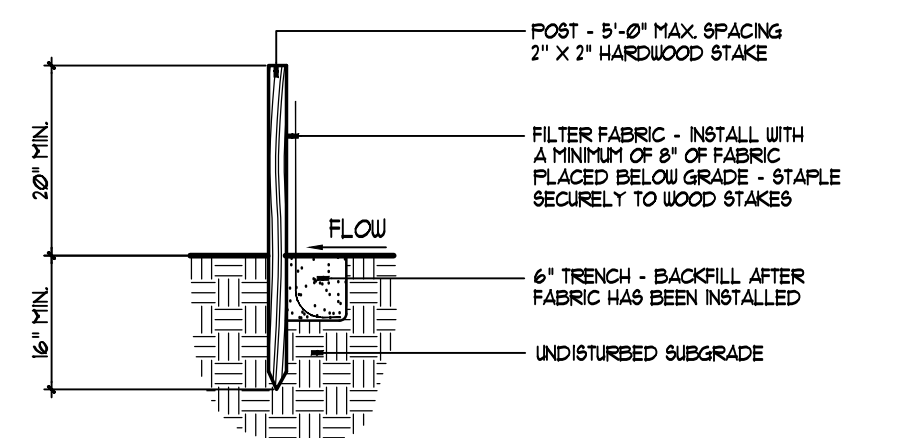


DRAIN INLET PLAN

- NOTES:
- ALL MATERIAL TO MEET MANUFACTURER SPECIFICATIONS.
  - FILL TO MEET APPLICATION REQUIREMENTS.
  - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

4 SILTATION SOCK INLET PROTECTION

NOT TO SCALE

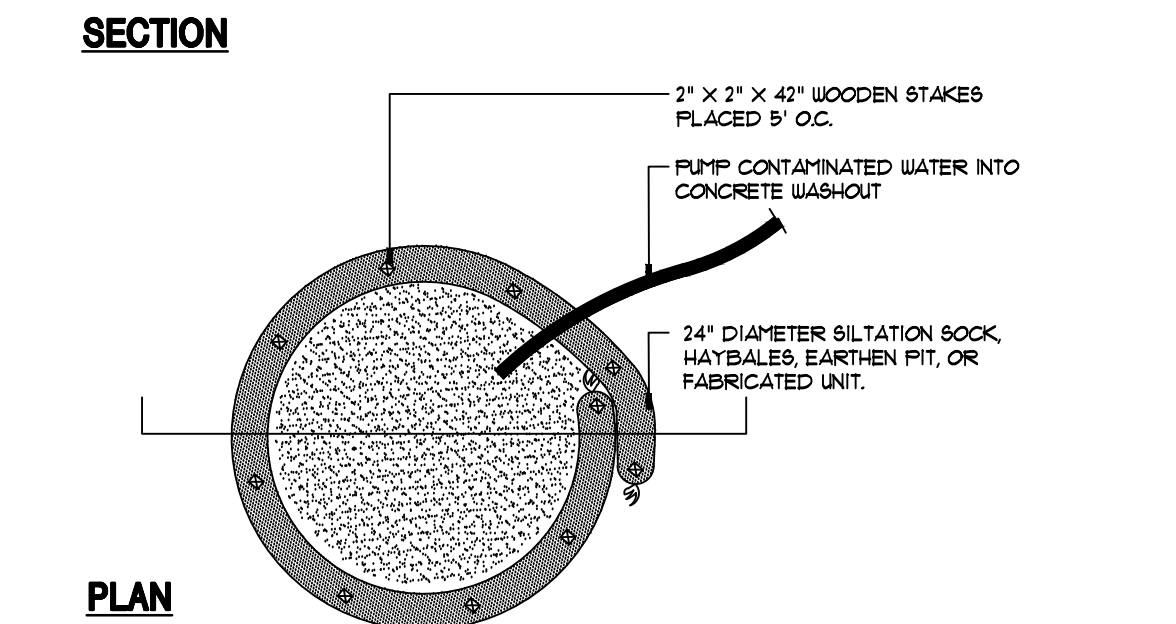


NOTES:

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. FENCING SHALL BE INSPECTED MONTHLY, AND FOLLOWING MAJOR RAINFALLS.
- THE FOLLOWING MATERIALS SHALL BE USED FOR CONSTRUCTION OF THE SILT FENCE:  
POSTS: STEEL EITHER 1" OR 1 1/2" TYPE OR 2" HARDWOOD  
FENCE: WOVEN WIRE 14-12 GA. 6" MAX. MESH OPENING  
FILTER CLOTH: FILTER X, HIRAFI 100X, STABILINKA THIN OR APPROVED EQUAL.  
PREFABRICATED UNIT, GEOPAX, ENVIRONMENT, OR APPROVED EQUAL.
- REFER TO NYS STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS FOR ADDITIONAL GUIDANCE.

3 SILT FENCE (SF)

NOT TO SCALE



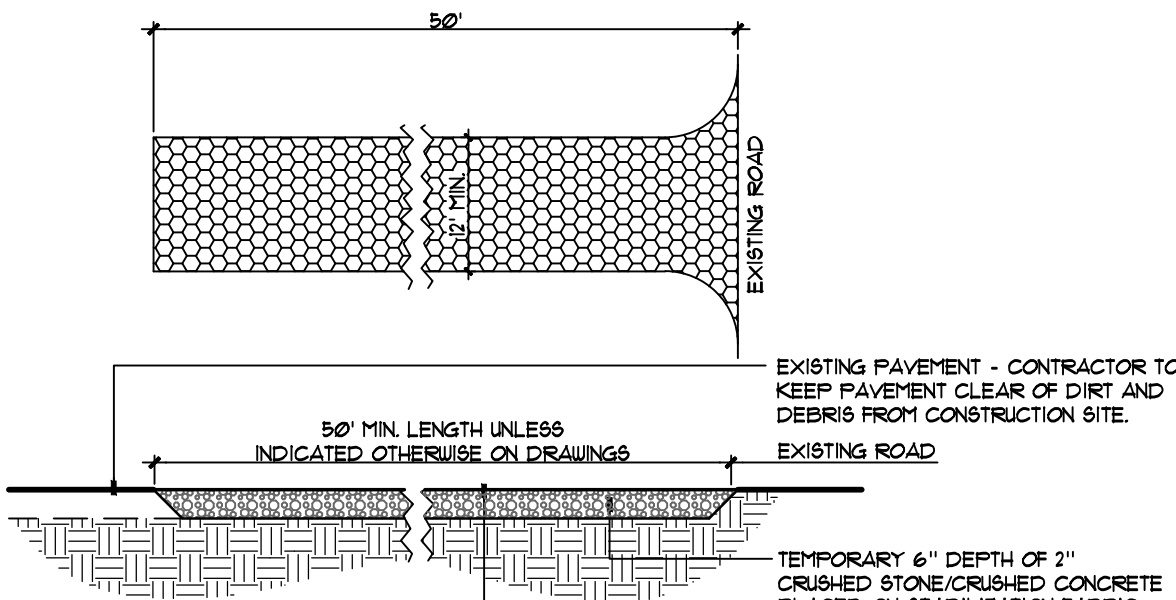
CONCRETE WASHOUT

NOTES:

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
- ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA, SUCH AS GRASS FILTER STRIP.
- ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
- DISPOSE OF HARDENED MATERIAL OFF SITE IN A CONSTRUCTION/DEMOLITION FILL LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE SWPPP. IN THE CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH. THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
- THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF WASHOUT FACILITY.
- INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

2 CONCRETE WASHOUT

NOT TO SCALE



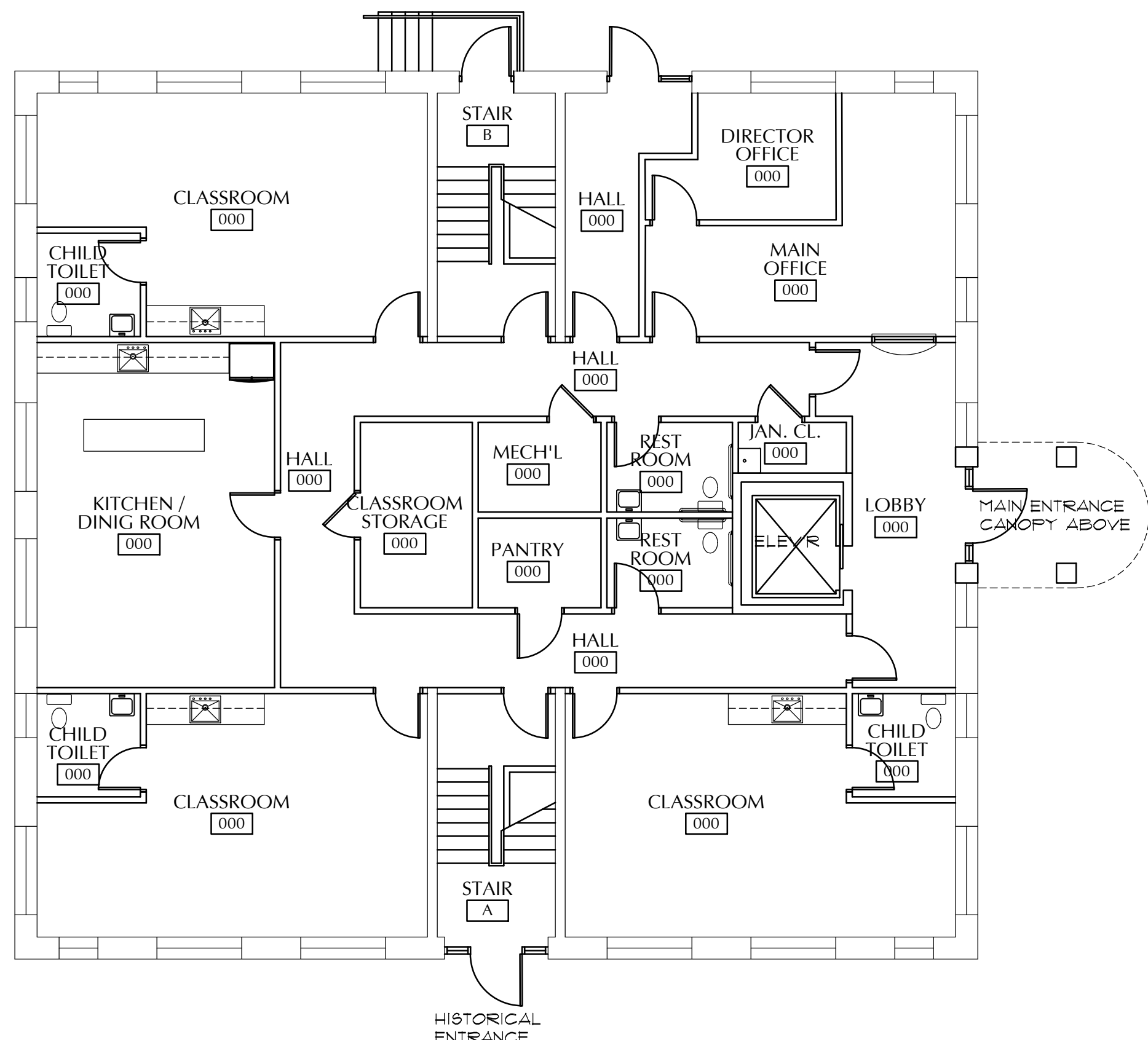
NOTE: UNLESS OTHERWISE INDICATED ON THE DRAWINGS, INSTALL IN AREAS WHERE FREQUENT ON-SITE/OFF-SITE TRAFFIC OCCURS

- NOTES:
- WIDTH-TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER-ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PUMPED ACROSS THE ENTRANCE. IF PUMPING IS IMPRACTICAL, A MOUNTABLE BERT WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
  - REFER TO SWPPP SECTION 7 FOR NYS STANDARDS & SPECIFICATIONS FOR STABILIZED CONSTRUCTION ENTRANCES.

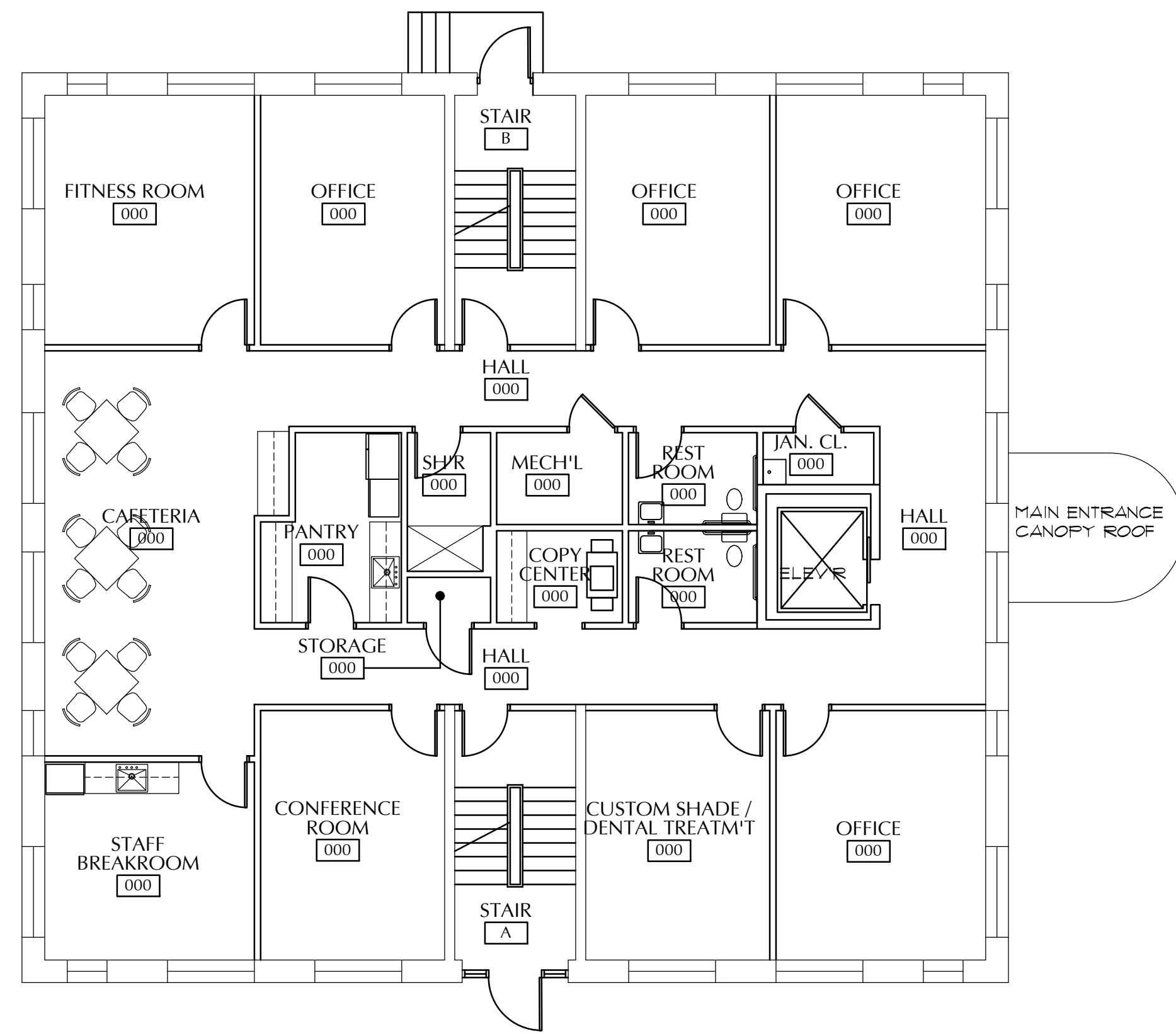
1 CONSTRUCTION ENTRANCE (MUDRACK)

NOT TO SCALE

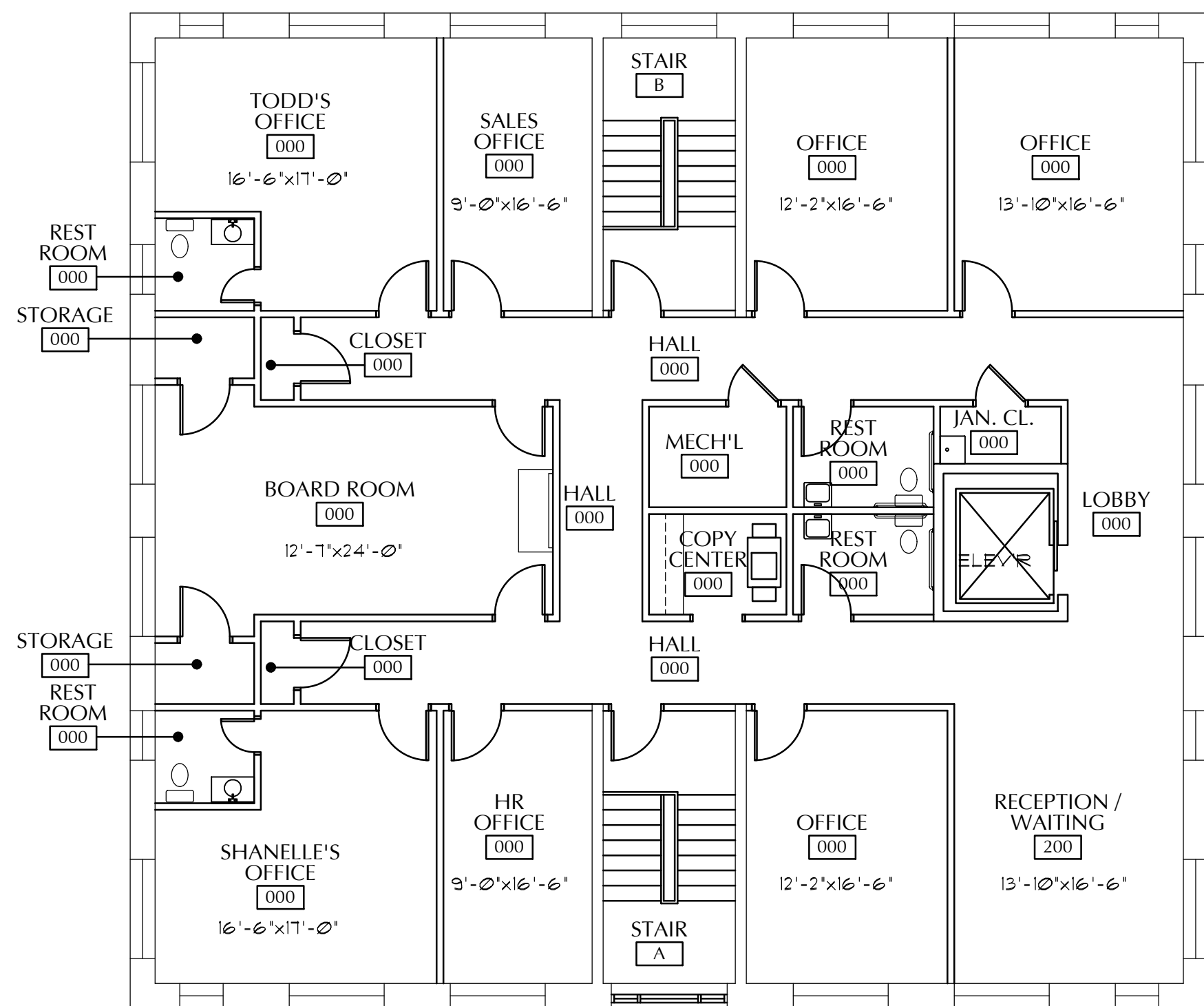




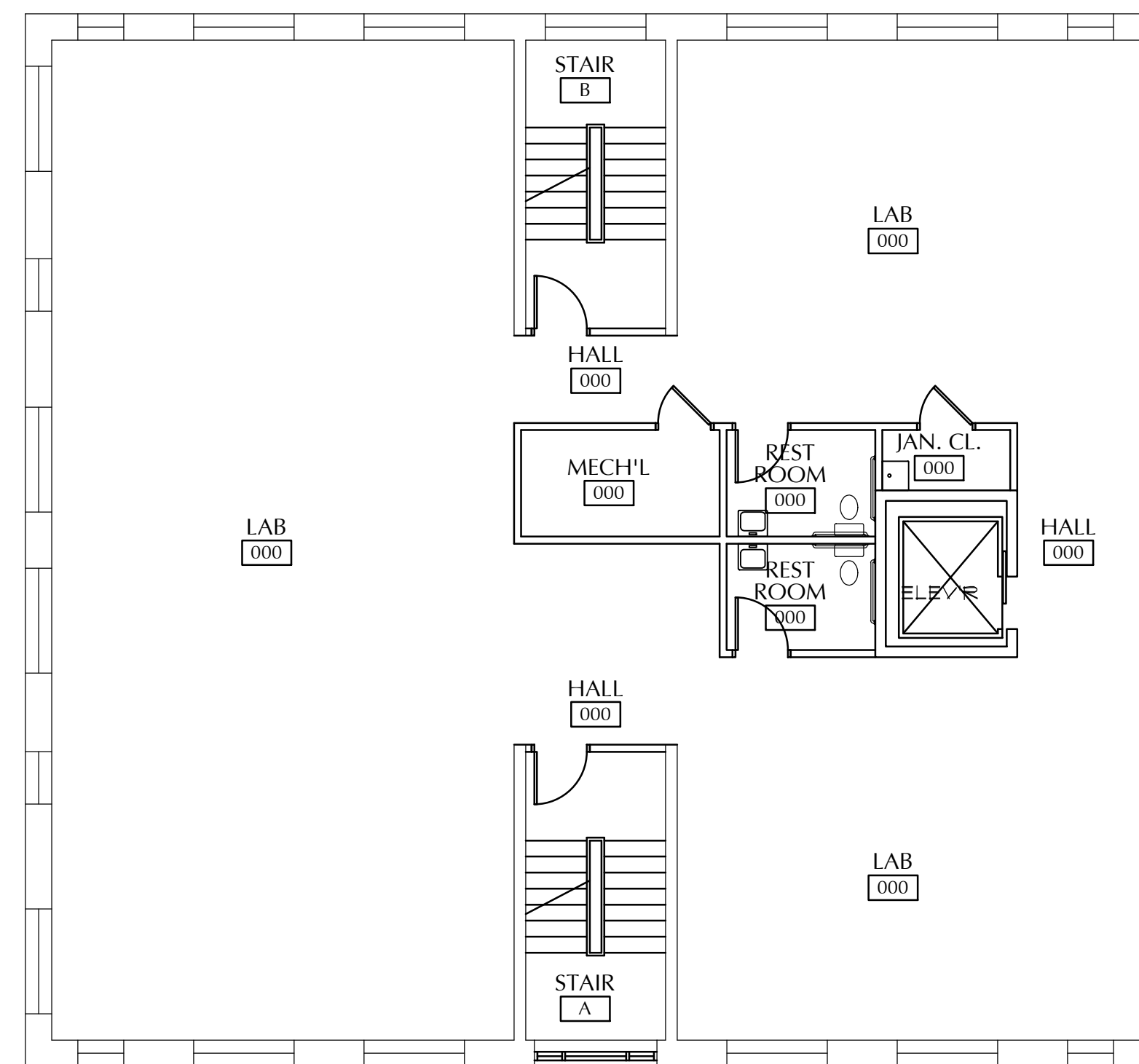
**FIRST FLOOR CONCEPT PLAN**  
CHILD CARE LEVEL  
SCALE: 1/8"=1'-0"



**SECOND FLOOR CONCEPT PLAN**  
OFFICE INCUBATOR LEVEL  
SCALE: 1/8"=1'-0"



**FOURTH FLOOR CONCEPT PLAN**  
CORPORATE HEADQUARTERS LEVEL  
SCALE: 1/8"=1'-0"



**THIRD FLOOR CONCEPT PLAN**  
DENTAL LABORATORY LEVEL  
SCALE: 1/8"=1'-0"



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ACCESS DENTAL LABORATORIES  
US CORPORATE HEADQUARTERS  
2520/2504 SOUTH SALINA STREET  
SYRACUSE, NEW YORK  
ACCESS GLOBAL ENTERPRISES, LLC  
SYRACUSE, NEW YORK

PROJECT  
Established 1978  
**ALESIA & CREWELL**  
ARCHITECTS, P.C.

STAMP

CONSULTANT

date	revisions	no.
4/9/20	CANOPY REVISION	01
4/16/20	RM LABEL CHANGE	02

REVISIONS

date	4/7/20
drawn by	ANA
checked by	ANA
approval	ANA
scale	AS NOTED
project no.	2681

DRAWING INFO

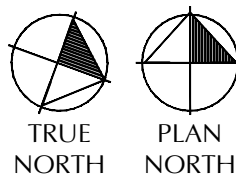
ALTERNATE  
CONCEPTUAL  
FLOOR PLANS

SHEET TITLE

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x-ref: XXX  
x-ref: XXX  
paperspace: PLANS

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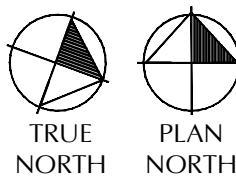
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EXISTING SOUTH ELEVATION

WARNER STREET ELEVATION

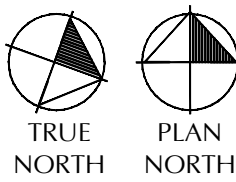
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EXISTING EAST ELEVATION

SALINA STREET ENTRANCE ELEVATION

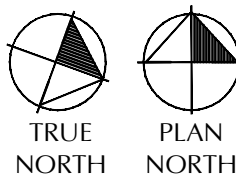
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EXISTING NORTH ELEVATION

PROPOSED PARKING LOT ENTRANCE ELEVATION

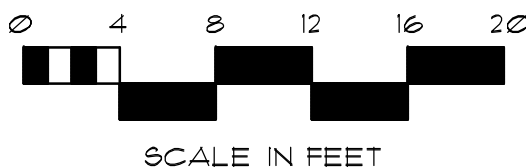
SCALE: 1/8"=1'-0"



EXISTING WEST ELEVATION

REAR ENTRANCE ELEVATION

SCALE: 1/8"=1'-0"



SCALE IN FEET

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2520/2504 SOUTH SALINA STREET  
SYRACUSE, NEW YORK

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SYRACUSE, NEW YORK

PROJECT



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CONSULTANT

date	revisions	no.
4/7/20	CORRECTIONS	01
4/9/20	CORRECTIONS	02

REVISIONS

date	4/7/20
drawn by	ANA
checked by	ANA
approval	ANA
scale	AS NOTED
project no.	2681

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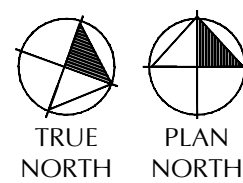
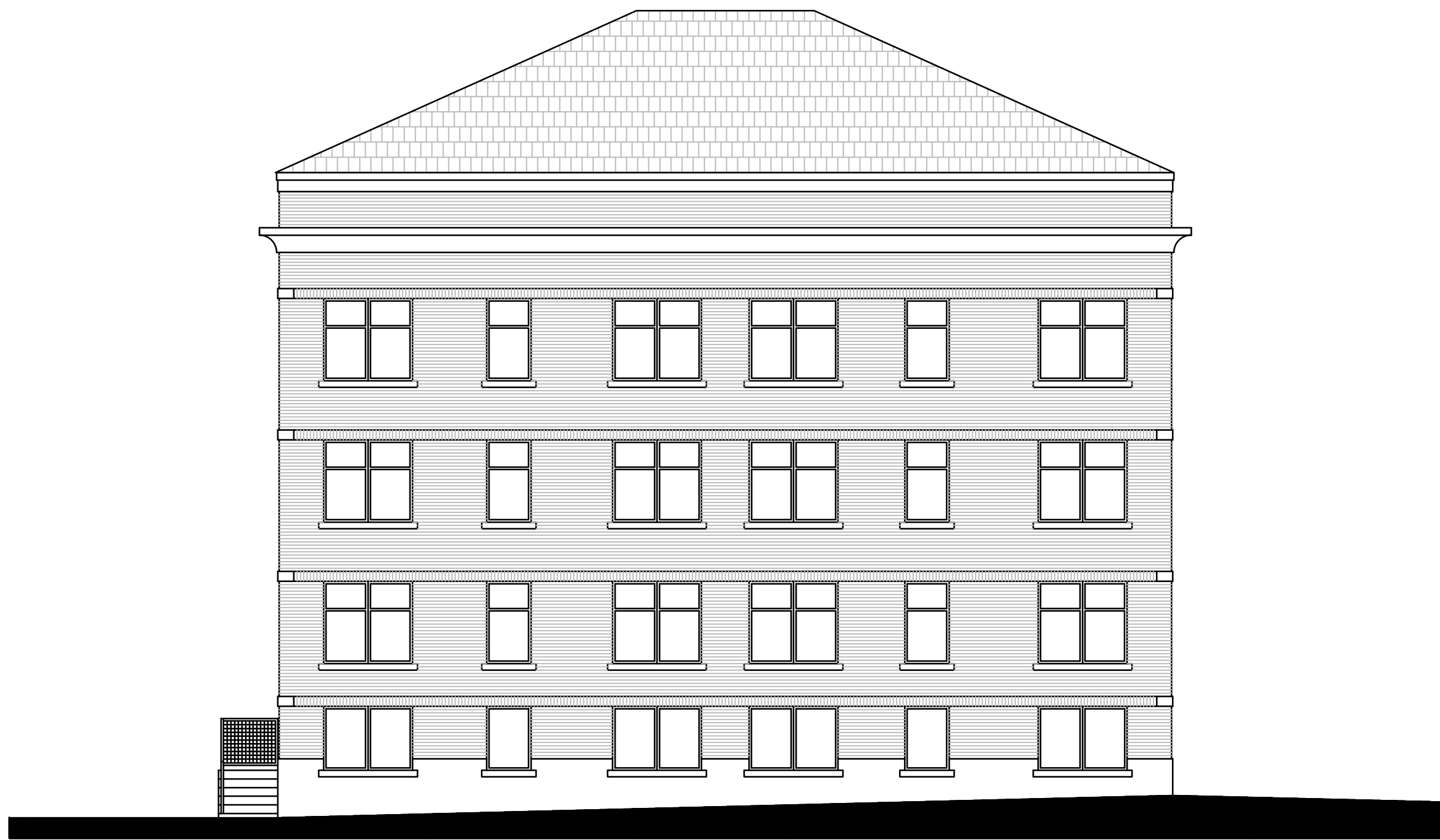
EXISTING  
BUILDING  
ELEVATIONS

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paperspace: PLANS

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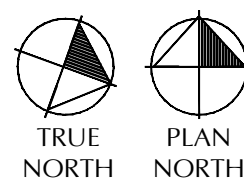
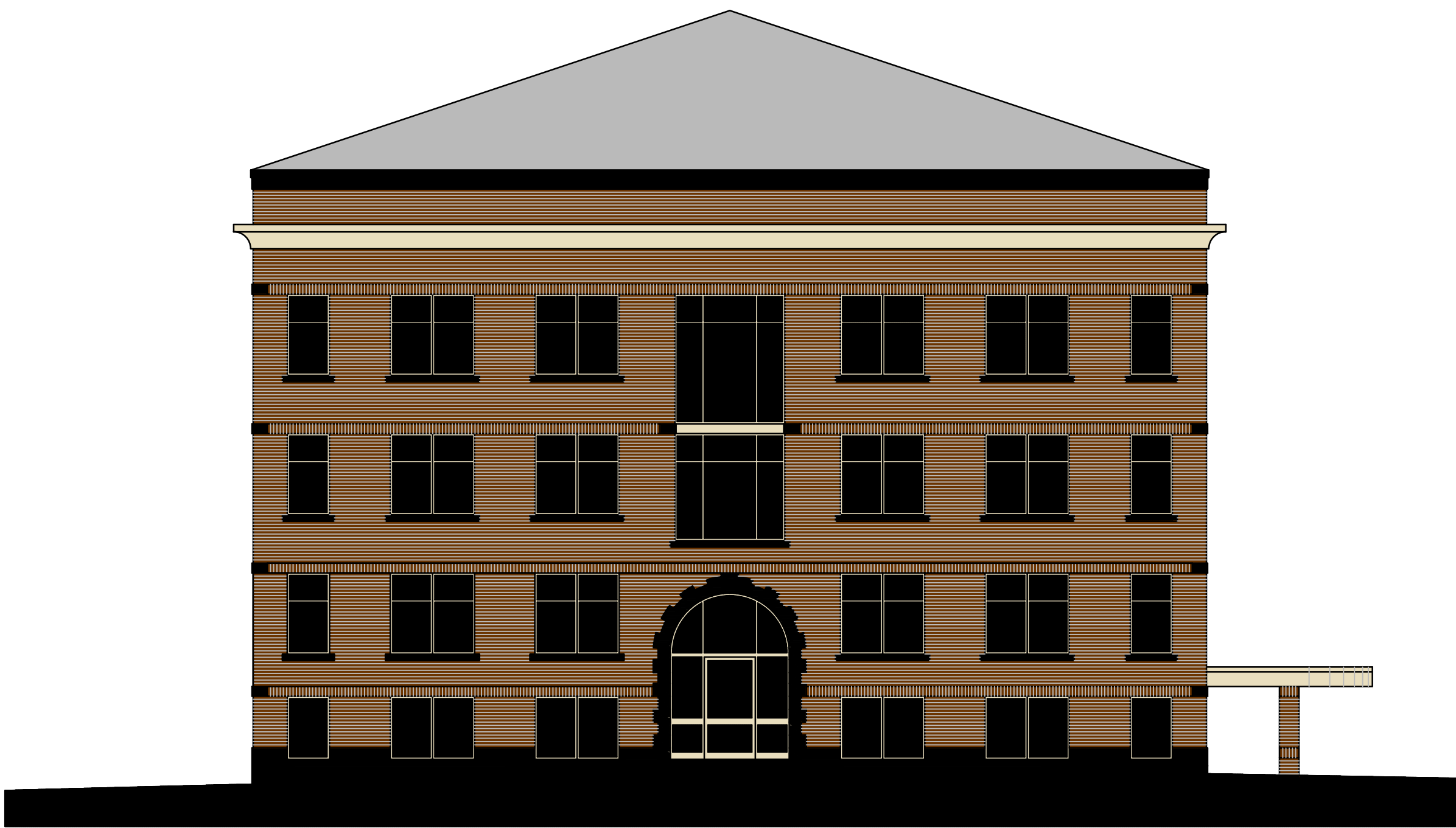
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SHEET NUMBER



PROPOSED SOUTH ELEVATION

WARNER STREET ELEVATION

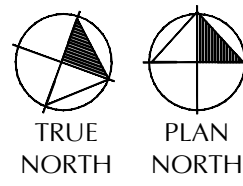
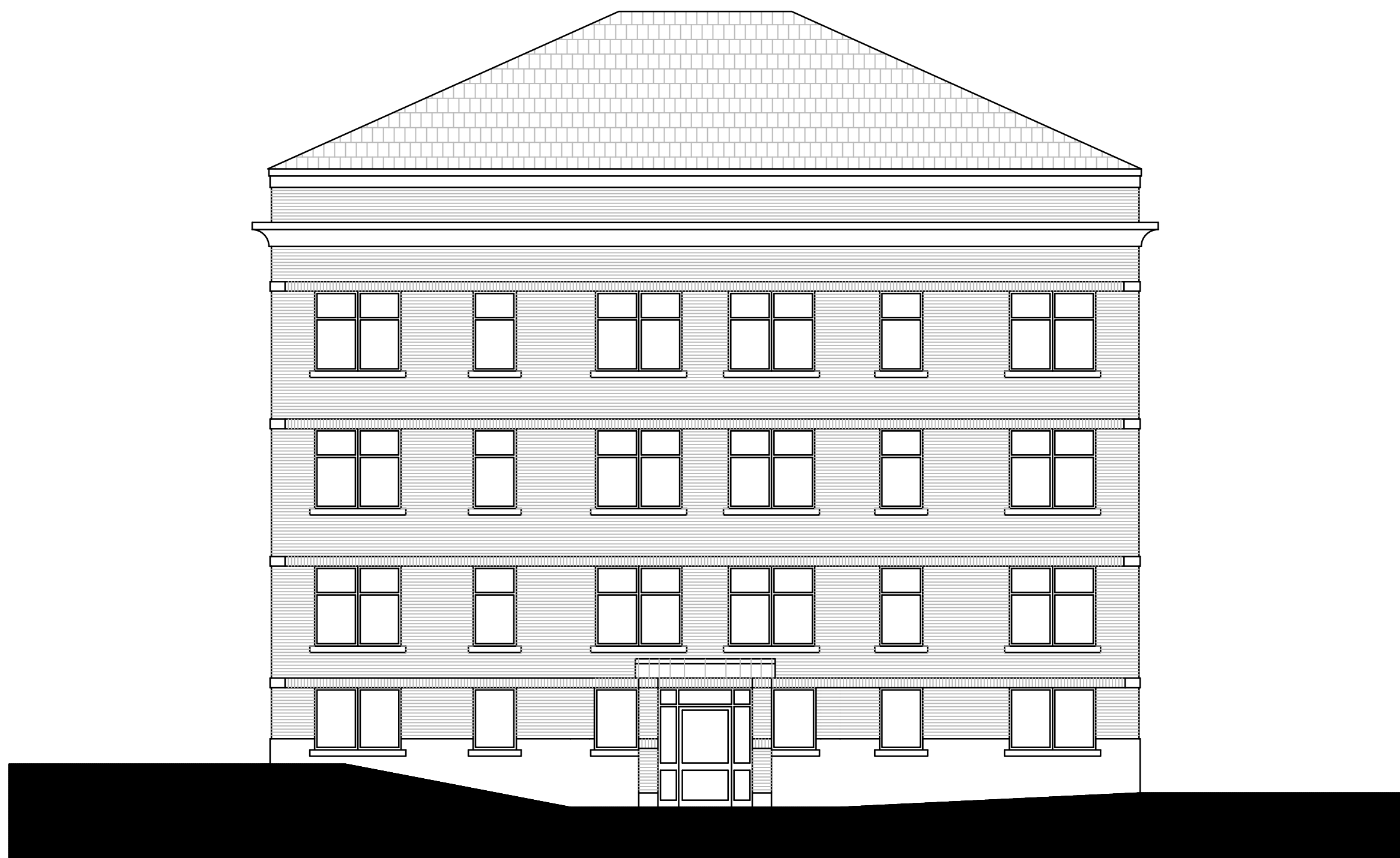
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PROPOSED EAST ELEVATION

PROPOSED SALINA STREET ELEVATION

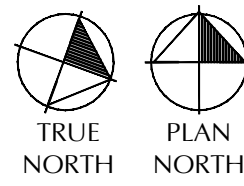
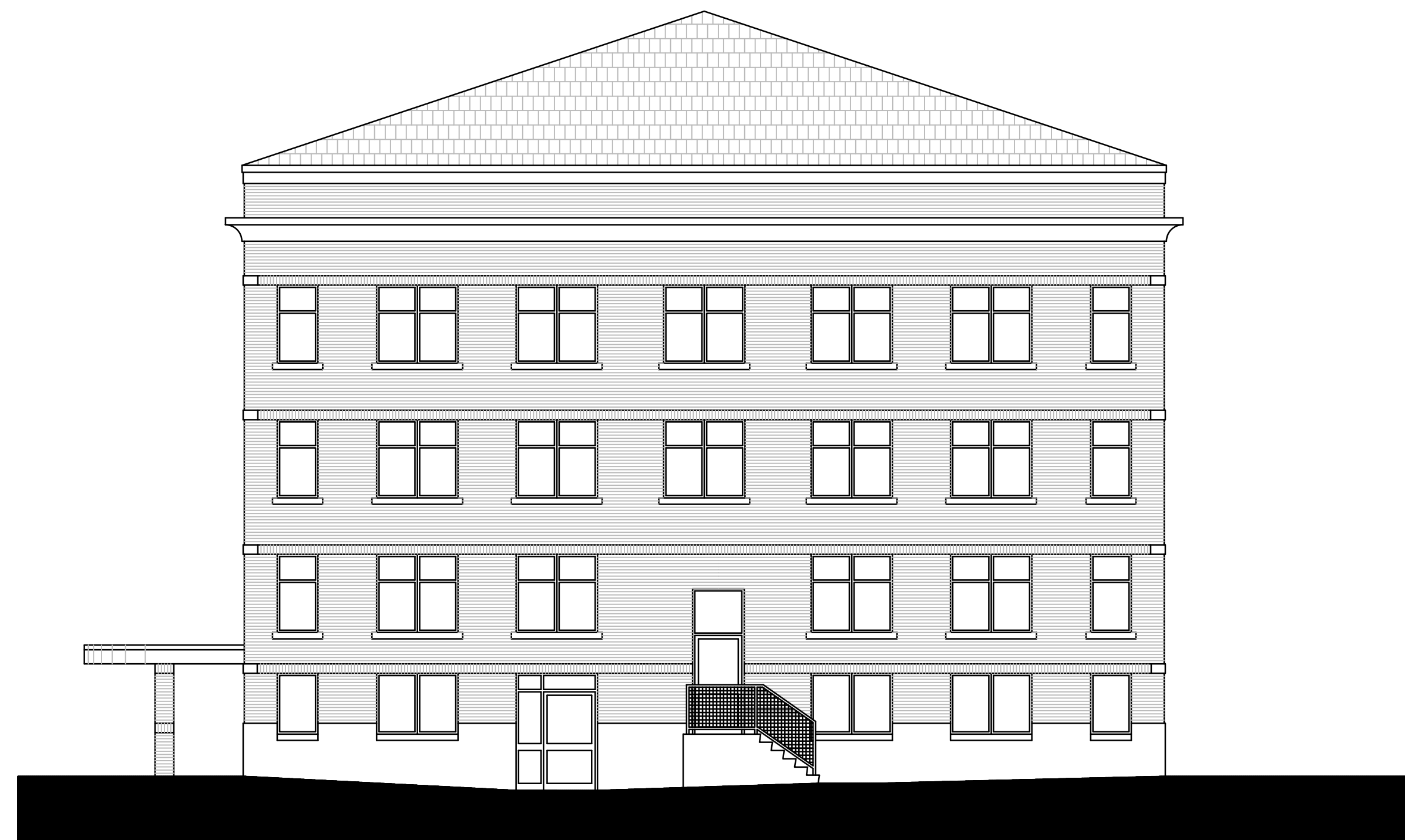
SCALE: 1/8"=1'-0"



PROPOSED NORTH ELEVATION

PARKING LOT ENTRANCE ELEVATION

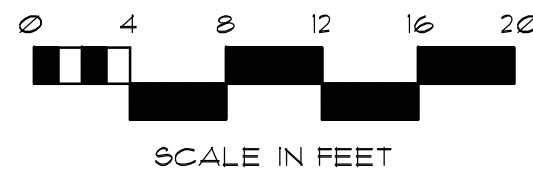
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PROPOSED WEST ELEVATION

REAR ENTRANCE ELEVATION

SCALE: 1/8"=1'-0"



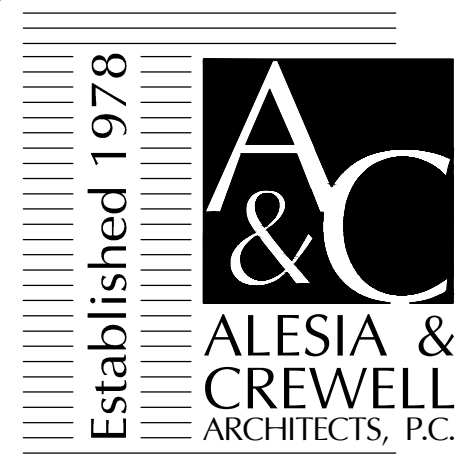
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CONSULTANT

date	revisions	no.
4/9/20	REFINED DRAWING	01

REVISIONS

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drawn by	ANA
checked by	ANA
approval	ANA
scale	AS NOTED
project no.	2681

DRAWING INFO

PROPOSED  
BUILDING  
ELEVATIONS

SHEET TITLE

modelspace: PLANS  
x-ref: XXX  
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paperspace: PLANS

FILE STRUCTURE

A4-1  
SHEET NUMBER