

**PLEASE TYPE OR PRINT (LEGIBLY)**

For Office Use Only:	Application Number: V- ____ - ____
Tax map Section: _____ Block: _____ Lot: _____	Zoning District: _____

1. Address of subject property: 2. Year property was purchased by current owner: 

3. Applicant/contact information:

a. Owner(s) (current titleholder):Name(s): Mailing Address: Zip: Daytime phone number: home phone number: E-mail (alternate contact for additional information request): b. Contract purchaser(s) ☐, Lessee ☐, or Co-applicant ☐ (if applicable)**\*note: Copy of contract to purchase must be included with application if this contract purchaser or lessee applies.**Name(s): Mailing Address: Zip: Home phone number: Day Phone: E-mail (alternate contact for additional information request): c. Representative: Attorney ☐, Architect ☐, Contractor ☐, Other ☐   
**(Only if involved in this application)**Name(s): Mailing Address: Zip: Telephone number: 4. Current use of property: (i.e., 1 family, 2 family, grocery store, etc.): Proposed use and occupancy of property: Current number of onsite (off-street) parking spaces: Proposed number of onsite (off-street) parking spaces:

Days and hours of operation (**for any business uses**):

--

Explain in detail what (if any) new additions or construction is proposed on the site:

--

**Reason for request:**

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that ***the standards of proof for a use variance are much more demanding*** than for an area variance and that ***the burden is on the applicant*** to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use additional sheets of paper to present proof if necessary.


The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

**DECLARATION**

I understand that false statements made herein are **punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York**. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application **will make consideration of this application null and void**.

\_\_\_\_\_  
Signature of CURRENT PROPERTY OWNER (or owner's LEGAL representative)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Printed or typed name of person whose signature is above (if legal representative, also state relationship to owner).

SYRACUSE BOARD OF ZONING APPEALS  
CITY HALL COMMONS, ROOM 101  
201 EAST WASHINGTON STREET  
SYRACUSE, NY 13202  
(315) 448-8640

**Board of Zoning Appeals application Procedures**

Variance applications involve public hearings with the Board of Zoning Appeals. A variance application will not be considered complete on the applicant's part until all required submittals have been received and have been through a preliminary review by Zoning Office staff (and possibly other departments), including an evaluation of the application under the New York State Environmental Quality Review Act (SEQR).

Once an application has been determined to be ready for a public hearing with the Board of Zoning Appeals, it will be scheduled for the **next available** hearing date (allowing the necessary time from for the Board's authorization, newspaper publication, mailing schedules, etc.). A "Public Notice" regarding the hearing date will then be mailed to the applicant (and representative, if any), approximately ten (10) days prior to the hearing date.

The public notice is also published in the Syracuse Post Standard newspaper ten (10) days prior to the hearing date. Public notices are also sent to property owners contiguous to any property subject to a public hearing, and to other city departments and neighborhood organizations.

The application, and its contents, will then be open for inspection at the Syracuse Office of Zoning Administration during regular office hours.

Unless otherwise notified, all meetings at which public hearings are to be held will begin at 1:00 p.m. in the Common Council Chambers on the third floor of City Hall.

The applicant or his or her representative **must attend** the public hearing to explain the case request to the Board of Zoning Appeals. (The rules of the Board of Zoning Appeals **do not permit postponements** due to the absences of applicants or their representatives.) A variance decision is not final until a written resolution is adopted by the Board of Zoning Appeals and filed with the secretary to the Board. Depending upon the situation, the resolution may possibly not be adopted until a later meeting. A copy of the resolution will be mailed to the applicant.

Depending upon the type and complexity of the application, additional necessary reviews, and the hearing schedule, the entire variance application process from the submission of the application to the release of the resolution may take approximately two months.

***Please sign that you have read and understand the above information and return this page with the application.***

Signed:  Date:

This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration, located in Room 101 at City Hall Commons, 201 East Washington Street, Syracuse, NY 13202-1426. If you wish to discuss the application with a member of our staff, please call ahead for an appointment (448-8640).

**NOTE:** After receipt of the application, it may be necessary to require additional information from the applicant. *An application must be complete before a public hearing can be scheduled.*

Items that are submitted with the application will not be returned so it is important that the applicant must make any copies of items they need prior to submitting the application. **Copies will not be made by staff to the Board of Zoning Appeals.**

**APPLICANT PLEASE NOTE:** Approval of your application by the Board of Zoning Appeals does not relieve you or your agent from compliance with any other regulatory or licensing provisions additionally required by other Federal, State, County, or City authorities. You are still required to pursue and obtain permits from the Division of Code Enforcement.

**05/2014**



Syracuse Board of Zoning Appeals

For Information Call: 448-8640

**REQUIRED SUBMITTAL SHEET FOR USE VARIANCES**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

☐ **DENIAL OF PERMIT** from DOCE, Permit Office – Room 101. (Required even if a Notice of Violation has been issued).

☐ **PROPERTY SURVEY** - One clean copy of a **current survey map** drawn by a licensed land surveyor. **Reduced, faxed or scanned copies will not be accepted.**

**NOTE:** If plans are larger than 11x17 then a reduced copy must also be included with the application.

☐ **SITE PLAN** - On a **copy** of the survey, show all walkways, driveways, screening devices, signage and any new construction (**Plan must be drawn to scale and labeled with dimensions**).

**NOTE:** If plans are larger than 11x17 then a reduced copy must also be included with the application.

☐ **FLOOR PLANS** (Must be drawn to scale).

- a. One set of scaled floor plans for all floors showing **current** arrangement, and labeled with dimensions and current uses.
- b. Two sets of **proposed** floor plans showing dimensions and proposed uses. (One copy submitted to DOCE, Room 101 at City Hall Commons) and one copy submitted with this application) If the use is a business all shelving, storage, restrooms, kitchen hardware (stoves, sinks, freezers etc.) must be shown.

**NOTE:** If plans are larger than 11x17 then a reduced copy must also be included with the application.

☐ **ELEVATIONS** (for all new construction or any changes to the existing structure)

Two sets of elevations (drawings of exterior walls) including doors and windows.

- a. One copy to be submitted to DOCE, Permit Office, City Hall Commons, Room 101.
- b. One copy to be submitted with this application.

**NOTE:** If plans are larger than 11x17 then a reduced copy must also be included with the application.

☐ **STANDARDS OF PROOF (for a use variance)** The applicant must provide a written letter to the Board of Zoning Appeals detailing the proposed project and stating the hardship. In addition the applicant **must also show written proof** of the following:

- a. **Reasonable Return:** Applicant must show financial hardship caused by current use of property (**documentation must be submitted**).
- b. **Unique Circumstances:** Applicant must show that the hardship **is unique to the subject property** not to the neighborhood as a whole.
- c. **Essential Character of the Locality:** Applicant must show that the proposed use will not alter the essential character of existing neighborhood.
- d. The applicant must explain why the alleged hardship has not been self-created.

☐ **DETAILED LETTER EXPLAINING** the nature of your business, for example: the hours of operation, number of employees on premise at one time, items to be sold, etc.

**NOTE:** If you are proposing to sell prepared food, it is important to list each item of food to be prepared and sold.

☐ **PHOTOS** - Labeled photos of property will be helpful in the review of the application.

☐ All parts of the application form and appropriate parts of the **Environmental Assessment Form** (front side only) must be completed. Any blank sections may result in the **application being returned and a delay in scheduling a public hearing**.

☐ **FEE of \$25.00** - MADE PAYABLE BY CHECK OR MONEY ORDER ONLY, to the COMMISSIONER OF FINANCE.  
**THIS FEE IS NON-REFUNDABLE.**

Syracuse Board of Zoning Appeals  
For Information Call: 448-8640

**REQUIRED SUBMITTAL SHEET FOR AREA VARIANCE**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

☐ **DENIAL OF PERMIT** form from DOCE, Permit Office - Room 101. (Required even if a Notice of Violation has been issued)

☐ **PROPERTY SURVEY** - One clean copy of a **current survey map** drawn by a licensed land surveyor. **Reduced, faxed or scanned copies will not be accepted**

**NOTE:** If the original survey is larger than 11x17, a reduced copy is required.

☐ **SITE PLAN – 3 COPIES** (a **copy** of the survey may be used). Show all walkways, driveways, screening devices, signage and any new construction (**Plans must be drawn to scale and labeled with dimensions**).

**NOTE:** If the original site plan drawing is larger than 11x17, please include a reduced copy.

- In the case of front yard parking or a structural addition in the front, **measurements are required from the dwelling to the sidewalk, the width of the sidewalk and the distance from the sidewalk to the curb/street line.**

☐ **FLOOR PLANS FOR AREA VARIANCE** - No formal floor plans are necessary, but because the Board of Zoning Appeals looks at the property as a whole, it will be necessary to **provide a list of all rooms, by floor, in the structure.**

- If the area variance is related to a new addition on the property, such as an extra room, porch, etc., **floor plans will be necessary (all rooms within the structure must be labeled with their use and dimensions).**
- If the original plans are larger than 11x17, a reduced copy is required.

☐ **ELEVATIONS** (for all new construction)

- If the submitted plans are larger than 11x17, **a reduced copy, no larger than 11x17 must also be submitted.**
- **Two** sets of elevation drawings (exterior walls) including doors and windows. Drawings must be labeled with dimensions, including the height of the structure and labeled with the use. Decks must include measurement from **ground to floor of deck and the overall height of deck including railings.**
  - a. **One** copy is to be submitted to DOCE, Permit Office, Room 101, at City Hall Commons.
  - b. **One** copy is to be submitted to the Zoning Office with this application.

☐ **STANDARDS OF PROOF (for Area Variance):** The applicant must provide a **written letter** to the Board of Zoning Appeals detailing the proposed project which should include the following:

- Why is the requested variance **not substantial**?
- Why will this request **not create an undesirable change** in the character of the neighborhood, or be detrimental to nearby properties?
- Why the request cannot be achieved by another method other than obtaining an area variance?
- Why will the proposed variance **have no adverse effect or impact** on the physical or environmental conditions in the neighborhood or district?
- Why is your difficulty with the request **not self-created**?

☐ **PHOTOS** Labeled photos of property will be helpful in the review of the application.

☐ All parts of the application form must be completed. Any blank sections will result in the application being returned and a delay in scheduling a public hearing.

☐ **FEE of \$25.00** MADE PAYABLE BY CHECK OR MONEY ORDER ONLY, to the COMMISSIONER OF FINANCE

**THIS FEE IS NON-REFUNDABLE.**

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

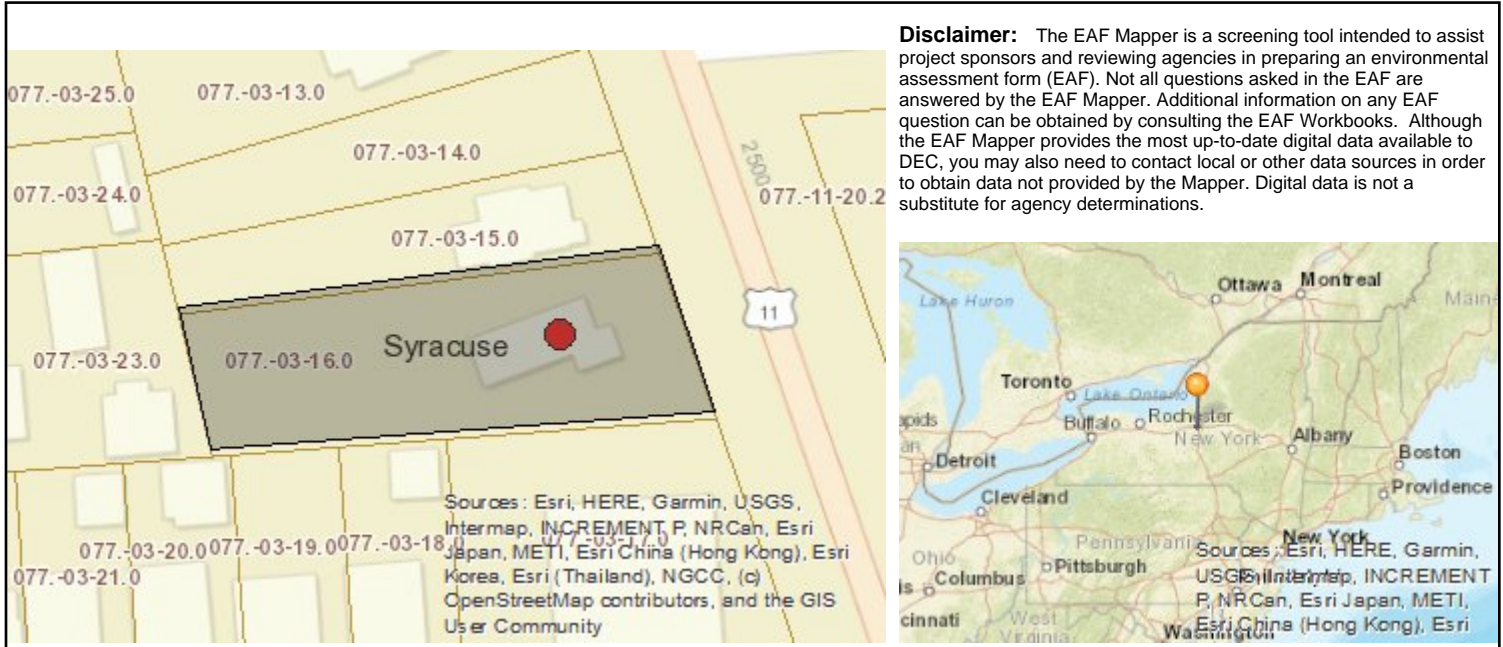
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:			State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action: 5.     Urban           Rural (non-agriculture)           Industrial           Commercial           Residential (suburban) <input type="checkbox"/> Forest       Agriculture                   Aquatic           Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			





**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

## Standards of Proof for Area Variance 2504 S Salina Street

### Background

The Syracuse Land Bank recently submitted an application for a use variance to allow a project at 2520 South Salina Street, which contains a daycare, professional office, and light manufacturing (a dental laboratory) in a Residential, Class AA zoning district. The adjacent property, 2504 South Salina Street will be used for accessory parking and is located in a Local Business, Class A zoning district.

The Zoning Administrator has reviewed our application and informed us that since we propose to use 2504 as a parking lot, the Planting and Screening requirements in Section CI-5 of the Zoning Ordinance apply. While a 6' high privacy fence is proposed at the rear side of 2520, and between 2504 and the residential uses fronting Warner and Webster Avenues, we are requesting a waiver of the requirement for screening between 2504 and 2520 since the parking on 2504 is accessory to 2520. We are not currently proposing to merge the two parcels, because they are located in two different zoning districts; although merging would remove the screening requirement where we are requesting it be waived.

Following are the Standards of Proof.

a. Whether the requested variance is substantial

The applicant is requesting a partial waiver of the screening requirements for parking lots. A six foot high privacy fence will extend along the western (rear) of the parking lot and behind the residential parcels along Warner Ave. This fence will also continue along the western side of 2520 S Salina St.



Relief is requested from the screening requirements along the approximately 100' where the two parcels touch. If fencing is required on this part of the property line, nine parking spaces would be lost and the aesthetics of the site would be less pleasing. This request is not substantial since the intent of the screening requirements of Section CI-5 of the Zoning Ordinance is to protect residential uses adjacent to commercial uses. This site design achieves these objectives. Further, once ReZone Syracuse is adopted both properties will be in a MX-2 zoning district and the requirement will be moot.

- b. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;

The approval of this area variance does not cause an undesirable change in the character of the neighborhood.

The character of the Salina Street corridor is that of a neighborhood business corridor in which mixed-use buildings with onsite parking such as this proposed development are common. The design provides for required screening between parking and the commercial use and the adjacent residential uses and fulfills the goals of the Zoning Ordinance. This plan is consistent with both the current character of the corridor and the planned vision under ReZone Syracuse. Allowing the variance and the subsequent sale of the property will improve the neighborhood by facilitating the redevelopment of this blighted and abandoned property.

- c. Whether the benefit sought by the applicant can be achieved by some method which will be feasible for the applicant to pursue but would not require a variance

Approval of this variance will allow the property owner to provide the number of parking spaces required by the Zoning Ordinance. If a fence was required along this stretch of the property line, nine spaces would be lost and the aesthetics of the site would be compromised. The project landscape architects have attempted several scenarios and have determined that there is no other feasible parking lot design that will accommodate 24 spaces located solely on 2504 South Salina Street.

- d. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district

There will be no adverse impact on the physical or environmental conditions in the neighborhood. The Site does not contain any sensitive environmental resources or any suitable habitat for any protected plants, animals or fish. The site is also not located in the 100 year floodplain.

- e. Whether an alleged difficulty is self-created.

The Land Bank (the current owner) has tried for many years to find a buyer willing and able to redevelop this site and this is the first buyer who has come forward with a financially viable plan to do so. This hardship is not self-created since the site conditions were inherited from previous owners and the Land Bank is the default recipient of abandoned, tax-foreclosed properties in the City of Syracuse.



Given the dimensions of the site we are trying to balance the various requirements of the zoning ordinance to best comply with requirements for setbacks, screening, and required on-site parking while facilitating the renovation of the existing building. It is physically impossible to meet all of the requirements in the ordinance and we believe that waiving the screening requirements between these two parcels is preferable to further reduction in space available for on-site parking.





7 FRONT OF 2504 SOUTH SALINA STREET  
P-003



4 REAR OF 2504 SOUTH SALINA STREET  
P-003



6 REAR AND NORTH SIDE - 2520 SOUTH SALINA ST.  
P-003



3 REAR AND SOUTH SIDE - 2520 SOUTH SALINA ST.  
P-003



5 FRONT AND NORTH SIDE 2520 SOUTH SALINA ST.  
P-003



2 FRONT FRONT AND SOUTH SIDE 2520 SALINA ST.  
P-003



1 LOCATION MAP  
P-003

0 50 100 150  
SCALE IN FEET

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER ANY ITEM IN THESE DOCUMENTS IN ANY WAY.

CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS, SIZES, DIMENSIONS & EQUIPMENT PER REQUIREMENTS SET FORTH IN THE GENERAL SUPPLEMENTARY GENERAL CONDITIONS OF THIS CONTRACT

ACCESS DENTAL LABORATORIES  
US CORPORATE HEADQUARTERS  
2520/2504 SOUTH SALINA STREET  
SYRACUSE, NEW YORK

ACCESS GLOBAL ENTERPRISES, LLC  
SYRACUSE, NEW YORK

PROJECT

Established 1978

**A  
&C**

**ALESIA &  
CREWELL**  
ARCHITECTS, P.C.

SUBMISSION SET  
04/15/2020

STAMP

**KEPLINGER  
FREEMAN  
ASSOCIATES**

LANDSCAPE ARCHITECTURE & LAND PLANNING  
4320 ELY ROAD, SUITE 100, EAST SYRACUSE, NEW YORK 13207  
PHONE: (315) 445-7980 FAX: (315) 445-7981

CONSULTANT		
date	revisions	no.

REVISIONS	
date	4/15/2020
drawn by	JPR
checked by	EGK
approval	ANA
scale	AS NOTED
project no.	2681

DRAWING INFO

PHOTO BOARD

SHEET TITLE

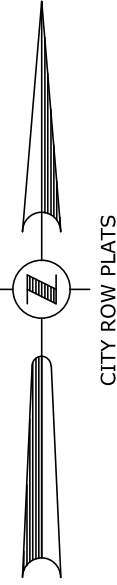
modelspace: PLANS  
x-ref: XXX  
x-ref: XXX  
paperspace: PLANS

FILE STRUCTURE

**P1.0**

SHEET NUMBER





MAP NOTES

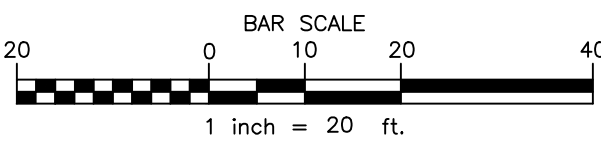
- 1.) NORTH ORIENTATION IS BASED ON CITY OF SYRACUSE ROW PLATS.
- 2.) VERTICAL DATUM IS BASED ON NAVD 1988 DATUM FROM RTK GPS OBSERVATIONS.
- 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
- 4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY), THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
- 5.) FIELD WORK PERFORMED ON MARCH 31, 2020.

MAP REFERENCES

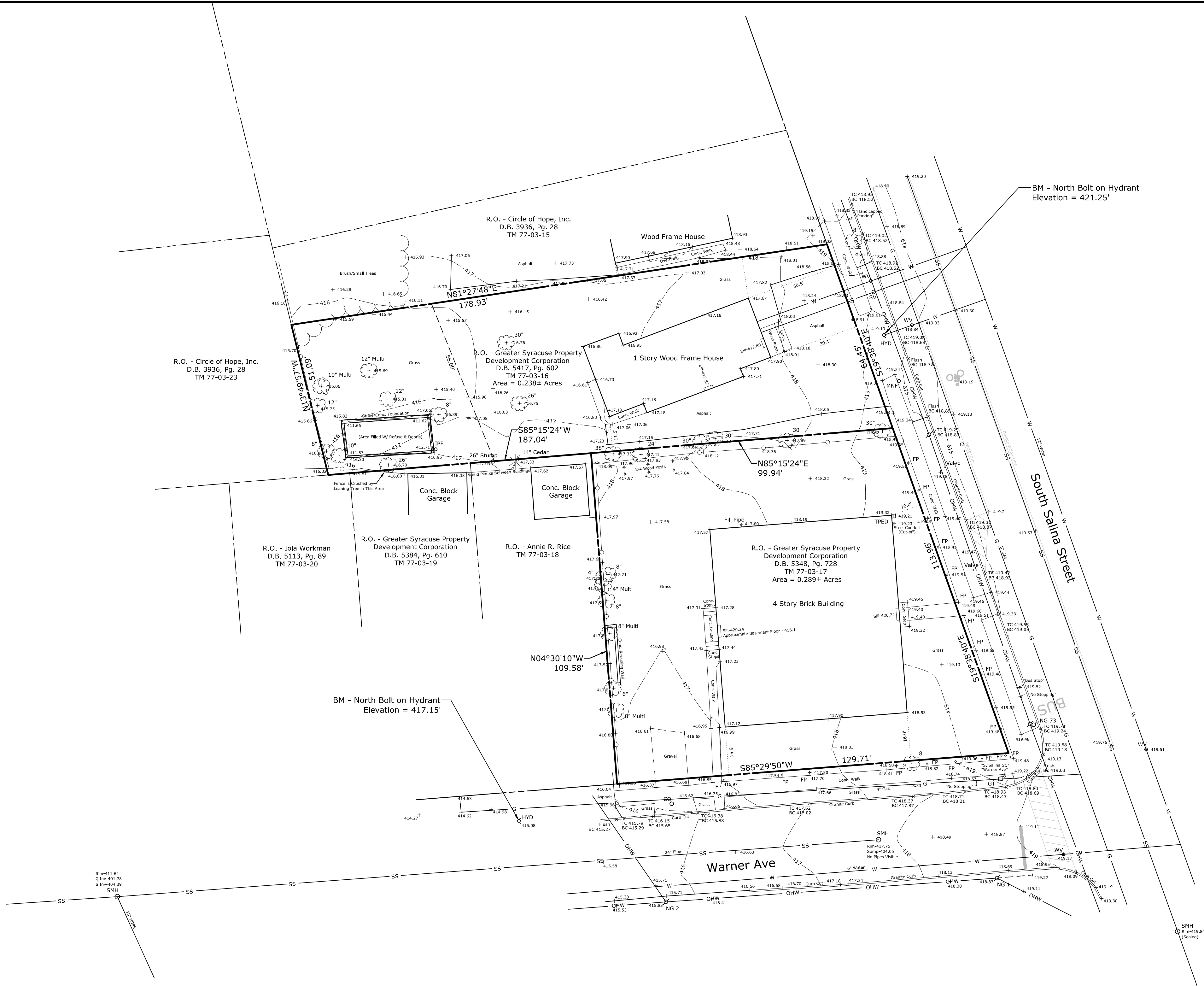
- 1.) MAP OF THE TOLMAN TRACT PREPARED BY G.E. HIGGINS, C.E. DATED SEPT. 6, 1930 AND RECORDED AS MAP NUMBER 770.
- 2.) MAP OF THE WARNER TRACT PREPARED BY FRANK J. SCHNAUBER, C.E. DATED MARCH 6, 1923 AND RECORDED AS MAP NUMBER 1833.

LEGEND

- FP, ----- FENCE POST
- SIGN
- TPED □ ----- TELEPHONE PEDESTAL
- CO □ ----- CLEANSOUT
- SV ○ ----- SEWER VENT
- SMH ○ ----- SANITARY MANHOLE
- WV ○ ----- WATER VALVE
- HYD □ ----- HYDRANT
- GT □ ----- GAS TEST
- UTILITY POLE
- GUY WIRE
- Mon □ ----- MONUMENT
- MNF ○ ----- MAG NAIL FOUND
- IPF ○ ----- IRON PIPE FOUND
- CONIFEROUS TREE
- DECIDUOUS TREE
- CHAINLINK FENCE
- OVERHEAD WIRES
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- TELEPHONE LINE
- STORM SEWER LINE
- SS ----- SANITARY SEWER LINE



"ONLY COPIES OF THIS MAP SIGNED IN RED INK AND EMBOSSED WITH THE SEAL OF AN OFFICER OF C.T. MALE ASSOCIATES OR A DESIGNATED REPRESENTATIVE SHALL BE CONSIDERED TO BE A VALID TRUE COPY".



I CERTIFY THAT THIS SURVEY WAS PREPARED FROM AN ACTUAL FIELD SURVEY AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND HAS BEEN PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE OF THE N.Y.S. ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

*David M. Sliski* 04/07/2020  
DAVID M. SLISKI PLS # 50105 DATE



DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.
					2020 C.T. MALE ASSOCIATES
					APPROVED:
					DRAFTED : JAD
					CHECKED : DMS
					PROJ. NO : 20.0263
					SCALE : 1"=20'
					DATE : APRIL 2, 2020

BOUNDARY AND TOPOGRAPHIC SURVEY MAP		
FOR THE LANDS OF GREATER SYRACUSE PROPERTY DEVELOPMENT CORPORATION		
2504 & 2520 SOUTH SALINA STREET		
LOT 1 OF THE TOTMAN TRACT and LOTS 1 & 2 OF THE WARNER TRACT PART OF LOT 92, SUB 6		
CITY OF SYRACUSE		ONONDAGA COUNTY, NEW YORK
<b>C.T. MALE ASSOCIATES</b> Engineering, Surveying, Architecture, Landscape Architecture, & Geology, D.P.C.		
200 GATEWAY PARK DRIVE, BLDG. C, P.O. BOX 3246 SYRACUSE, NY 13220-3246 315.458.6498 * FAX 315.458.4427		SHEET 1 OF 1 DWG. NO: 20-0244





## GENERAL NOTES

X-HCSD-JrSr-GEN NOTES

I. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY CT MALE ASSOCIATES, NORTH SYRACUSE, DATED APRIL 2, 2012.

OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.

2. SAW CUT FOR PAVING REMOVALS. EXTEND REMOVAL LINES TO INCLUDE ANY ADJOINING BROKEN OR DETERIORATING PAVING. CAREFULLY REMOVE, STOCKPILE, AND PROTECT ANY ITEMS NOTED FOR SALVAGE. ALL DEMOLITION RUBBLE, DEBRIS AND EXCESS SOILS TO BE PROMPTLY REMOVED FROM SITE. STRIP AND STOCKPILE SUFFICIENT EXISTING ORGANIC TOPSOILS FOR RESEEDING AS REQUIRED ON DISTURBED AND REGRADED AREAS TO BE ESTABLISHED AS LAWN AND FOR REPAIR OF DISTURBED EXISTING LAWNS TO REMAIN. STOCKPILE ALL MATERIALS IN APPROVED LOCATIONS WITHOUT INTERFERING WITH OTHER CONTRACTOR WORK, SCHOOL TRAFFIC OR DRAINAGE.

3. ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.

4. PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.

5. ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.

6. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-1980.

7. ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.

8. ALL NON-PAYED AREAS ARE TO BE LAWN UNLESS OTHERWISE NOTED

9. CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE WITHIN THE CONTRACT LIMIT LINE. EXISTING LAWNS SHALL BE MOVED AS MUCH AS PRACTICAL TO KEEP AREA FROM LOOKING UNSIGHTLY. ALL TRASH AND DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY.

## LEGEND

EXISTING	PROPOSED	DESCRIPTION
---100---		CONTOUR
+377.7		SPOT ELEVATION
	CT/CE	CURB TAVER/END
	TOP/BOT	TOP/BOTTOM OF CURB
	HP/LP	HIGH / LOW POINT
	T-2	TEST PIT
	B-1	BORING (SEE SPECIFICATIONS FOR BORING INFO)
		FENCE
		UTILITY POLE
		WATER LINE
		FIRE HYDRANT
EX ST		STORM PIPE
		UNDERDRAIN
EX SAN		SANITARY PIPE
E/T		OVERHEAD ELECTRIC
E		UNDERGROUND ELECTRIC
T		TELEPHONE
		STORM STRUCTURE
		DRYWELL
		INLET
		CATCH BASIN/MANHOLE
		CLEAN OUT
		SANITARY MANHOLE
		ASPHALT PAVEMENT/PARKING
		CONCRETE PAVEMENT
		SAFETY SURFACING
		TRAFFIC SIGN
		LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
		CURB
		CURB FLUSH (1" REVEAL UNLESS OTHERWISE NOTED)
		SILT FENCE
		TREE
		SHRUB
		PLANT KEY
		VEGETATION

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VERIFICATION OF ALL EXISTING CONDITIONS  
SIZES, DIMENSIONS & EQUIPMENT PER  
REQUIREMENTS SET FORTH IN THE GENERAL  
SUPPLEMENTARY GENERAL CONDITIONS OF  
THIS CONTRACT

ACCESS DENTAL LABORATORIES  
US CORPORATE HEADQUARTERS  
2520/2504 SOUTH SALINA STREET  
SYRACUSE, NEW YORK

ACCESS GLOBAL ENTERPRISES, LLC  
SYRACUSE, NEW YORK

PROJECT

Established 1978

**A  
& C**

**ALESIA &  
CREWELL**  
ARCHITECTS, P.C.

## EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES

X-LI-SITE-PREP-NOTES

CLL CONTRACT LIMIT LINE

1. SAWCUT ASPHALT OR CONCRETE PAVEMENT. SAWCUT ASPHALT IN NEAT STRAIGHT LINE AND SAWCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
2. REMOVE ASPHALT PAVEMENT INCLUDING BASE MATERIAL AND DISPOSE OF OFF SITE.
3. REMOVE DEBRIS, TIRES, GARBAGE, PLASTIC, ETC. AND DISPOSE OF OFF SITE.
4. REMOVE TOPSOIL AND STOCKPILE FOR RE-USE.
5. REMOVE CHAIN LINK FENCE INCLUDING FOOTINGS, POSTS AND DISPOSE OF OFF SITE. BACKFILL VOIDS WITH 95% COMPACTED SUBBASE COURSE MATERIAL.
6. REMOVE/DECONSTRUCT EXISTING BUILDING, REFER TO SPECIFICATIONS FOR ANY SPECIAL INSTRUCTIONS REGARDING BUILDING DETEIOUTION. REMOVE BUILDING FOUNDATION WALLS TO 24 INCHES BELOW PAVEMENT OR LAWN UPGRADE. ALL EXISTING SLABS THAT WILL REMAIN IN PLACE SHALL BE SUFFICIENTLY BROKEN UP IN PLACE TO ALLOW FOR DRAINAGE OR REMOVED.

- ① REMOVE EXISTING CONCRETE PAVEMENT INCLUDING BASE MATERIAL AND LEGALLY DISPOSE OF OFF-SITE.
- ② CONTRACTOR TO COORDINATE WITH NATIONAL GRID FOR THE REMOVAL OF THE EXISTING OVERHEAD ELECTRIC SERVICE. NATIONAL GRID SHALL TERMINATE SERVICE TO HOUSE, REMOVE METER SOCKET AND REMOVE SERVICE FROM THE POLE TO THE WEATHERHEAD ON EACH HOUSE. CONTRACTOR SHALL REMOVE ALL OTHER ELECTRICAL SERVICE ITEMS FROM EACH HOUSE. COORDINATE REMOVALS OF TELEPHONE AND CABLE SERVICES WITH VERIZON AND SPECTRUM.

9 EXISTING FIRE HYDRANT REMAINS. PROTECT.

- CONTRACTOR SHALL CONTACT THE CITY OF SYRACUSE WATER DEPARTMENT PRIOR TO COMMENCEMENT OF DEMOLITION TO HAVE THE WATER METERS REMOVED FROM EACH HOUSE AND HAVE THE WATER TURNED OFF AT THE CURB BOX. CONTRACTOR SHALL CUT AND CAP EACH WATER SERVICE AT THE CURB BOX. TERMINATION AND CAPPING OF EXISTING WATER LINES SHALL BE PERFORMED BY THE CITY OF SYRACUSE WATER DEPARTMENT AT THE WATER MAIN.

TERMINATE AND CAP EXISTING SANITARY LINES. WORK SHALL BE COMPLETED BY A LICENSED PLUMBER. TERMINATION SHALL BE ACCOMPLISHED BY EXCAVATING, CUTTING, CAPPING AND SEALING WITH CONCRETE. PLUMBING CONTROL SHALL INSPECT PRIOR TO BACKFILLING.

12. NEW "AT GRADE" BUILDING ENTRANCE TO BE CONSTRUCTED ON NORTH SIDE OF BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR MODIFICATIONS TO EXISTING BUILDING FACADE. FIELD VERIFY BUILDING ELEVATIONS AT NEW DOORWAY THRESHOLD AND REPORT RESULTS TO LANDSCAPE ARCHITECT. ADJUSTMENTS TO EXTERIOR PAVEMENT AND LANDSCAPE GRADES MAY BE NECESSARY.

- 13 REMOVE EXISTING TREE(SHURUB)VEGETATION INCLUDING ROOT SYSTEM AND DISPOSE OF OFF SITE.
- 14 REMOVE CONCRETE RETAINING WALL AND DISPOSE OF OFF SITE.
- 15 REMOVED 4' x 4" WOODEN POSTS INCLUDING FOOTINGS AND DISPOSE OF OFF SITE.
- 16 REMOVE GRAVEL SURFACING AND DISPOSE OF OFF SITE.
- 17 REMOVE OLD STONE AND CONCRETE FOUNDATION AND DISPOSE OF SITE. THIS AREA TO BE USED FOR STORMWATER DRAINAGE.

SUBMISSION SET  
04/15/2020

STAMP



LANDSCAPE ARCHITECTURE & LAND PLANNING  
6320 FLY ROAD, SUITE 109 EAST SYRACUSE, NEW YORK 13057  
PHONE: (315) 445-7980 FAX: (315) 445-7980

CONSULTANT

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## REVISIONS

date	4/15/2020
drawn by	JPR
checked by	EGK
approval	ANA
scale	AS NOTED
project no.	2681

## DRAWING INFO

# SITE PREPARATION PLAN

## SHEET TITLE

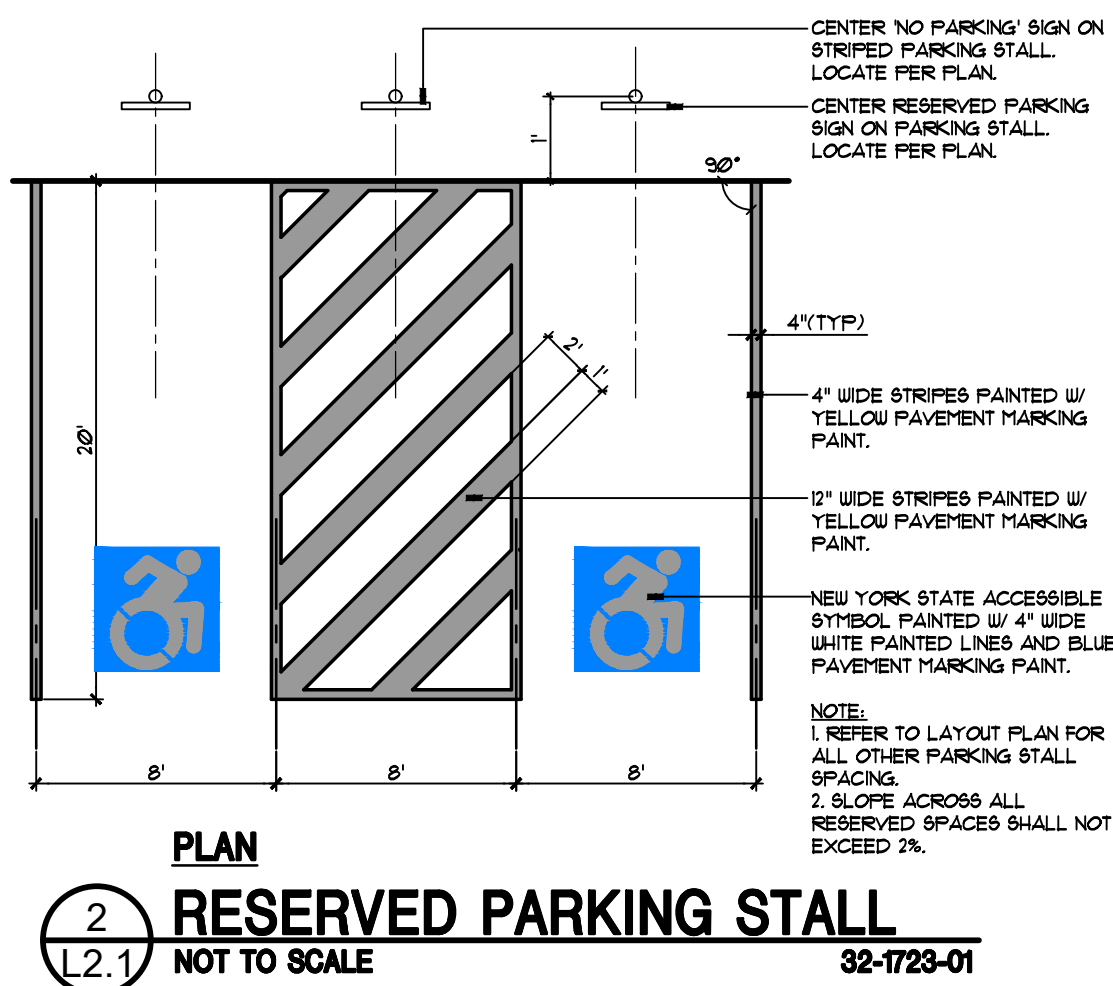
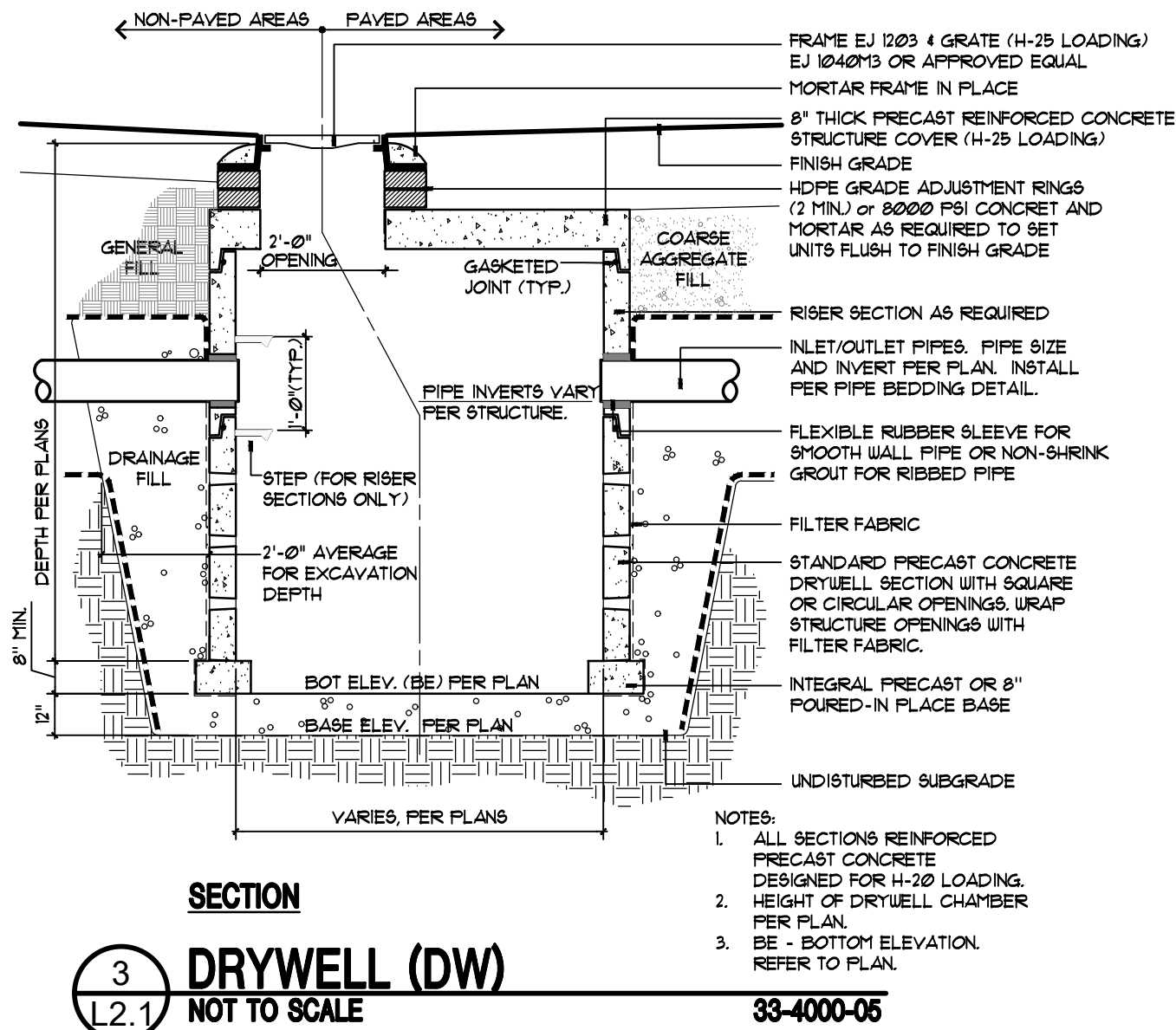
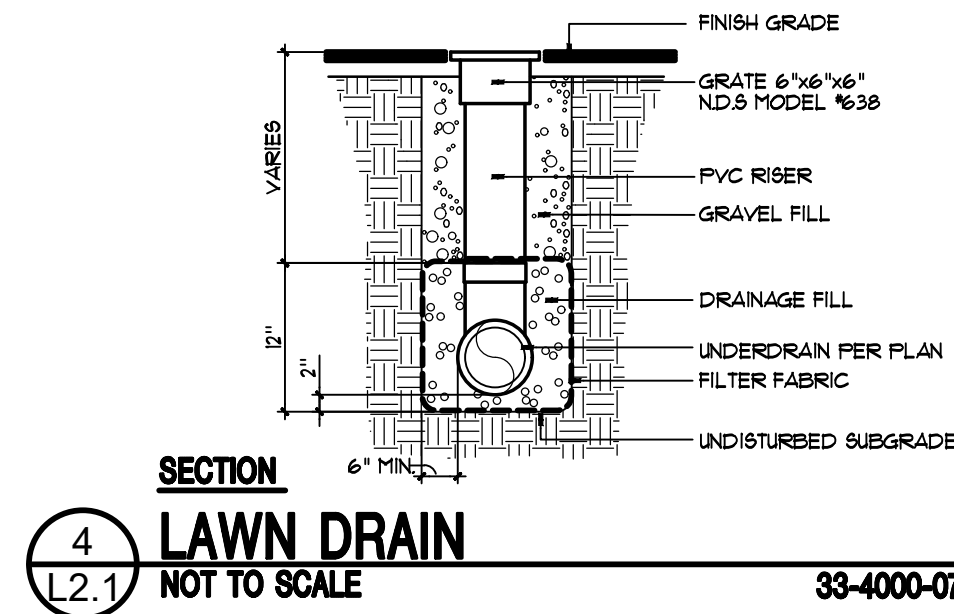
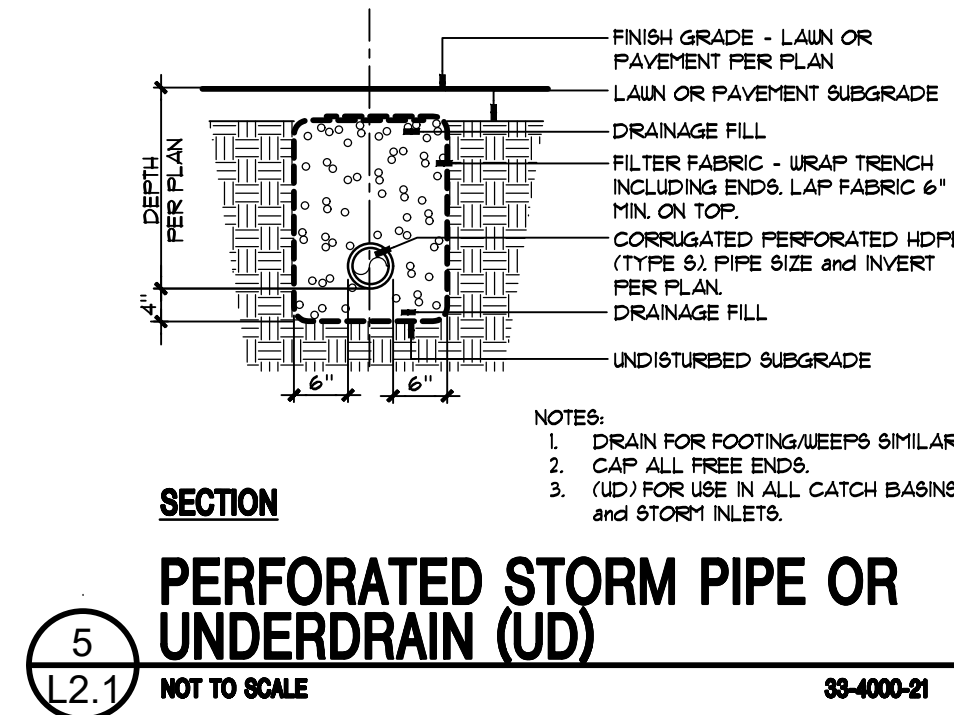
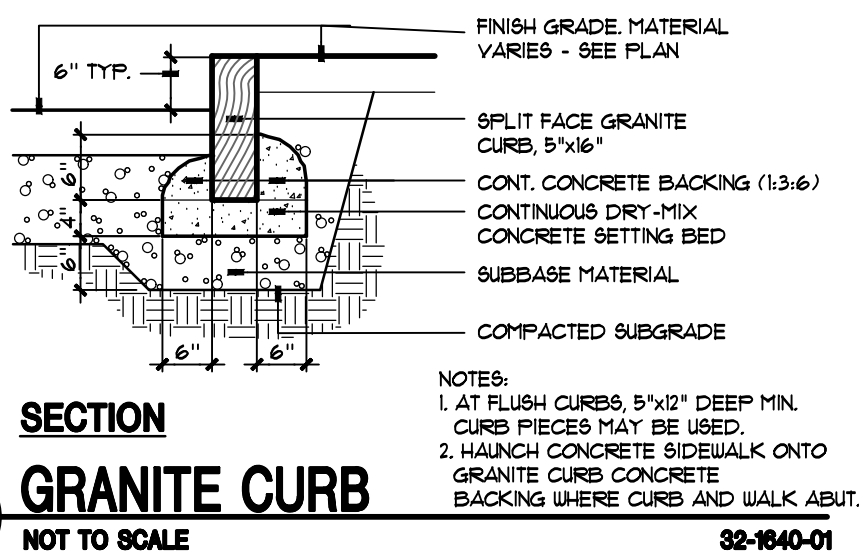
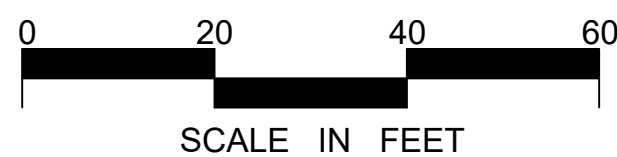
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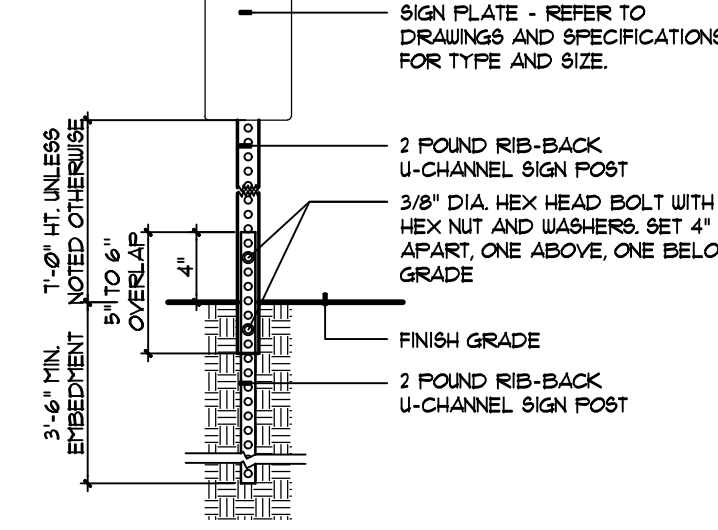
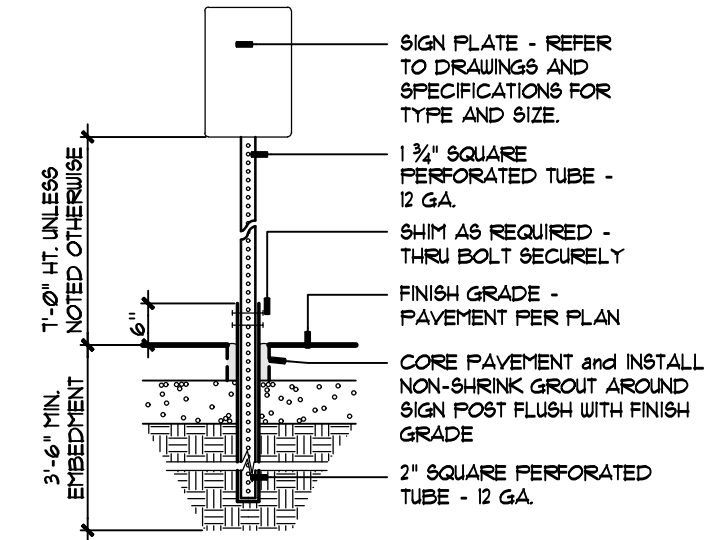
SHEET NUMBER





- GRADING and UTILITY GENERAL NOTES**
- ANY/ALL FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
  - WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
  - ALL CONCRETE PAVING AT ALL DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOUELED TO FOUNDATION WALL PER DETAILS.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES. CONSTRUCTION SHALL NOT START ON ANY FUELING UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM KEPLINGER FREEMAN ASSOCIATES (KFA)/RZ ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. KFA AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

- SITE PLAN KEYNOTES**
- MEET LINE AND GRADE.
  - INSTALL UNDERDRAIN PER DETAIL 5/L2.1.



- NOTES:**
- FABRICATE SIGN PANELS OF 0.090 ALUMINUM.
  - ALL SIGNS SHALL BE FASTENED TO OR MOUNTED ON POST WITH GALVANIZED BOLTS, NUTS AND WASHERS.
  - FOR FURTHER INFORMATION, REFER TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
  - COORDINATE SIGN LOCATION TO AVOID UTILITIES.



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**ALESIA & CREWELL**  
ARCHITECTS, P.C.

SUBMISSION SET  
04/15/2020

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**KEPLINGER FREEMAN ASSOCIATES**  
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CONSULTANT

date	revisions	no.

REVISIONS	
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checked by	EGK
approval	ANA
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DRAWING INFO

**SITE GRADING, DRAINAGE AND UTILITIES PLAN**

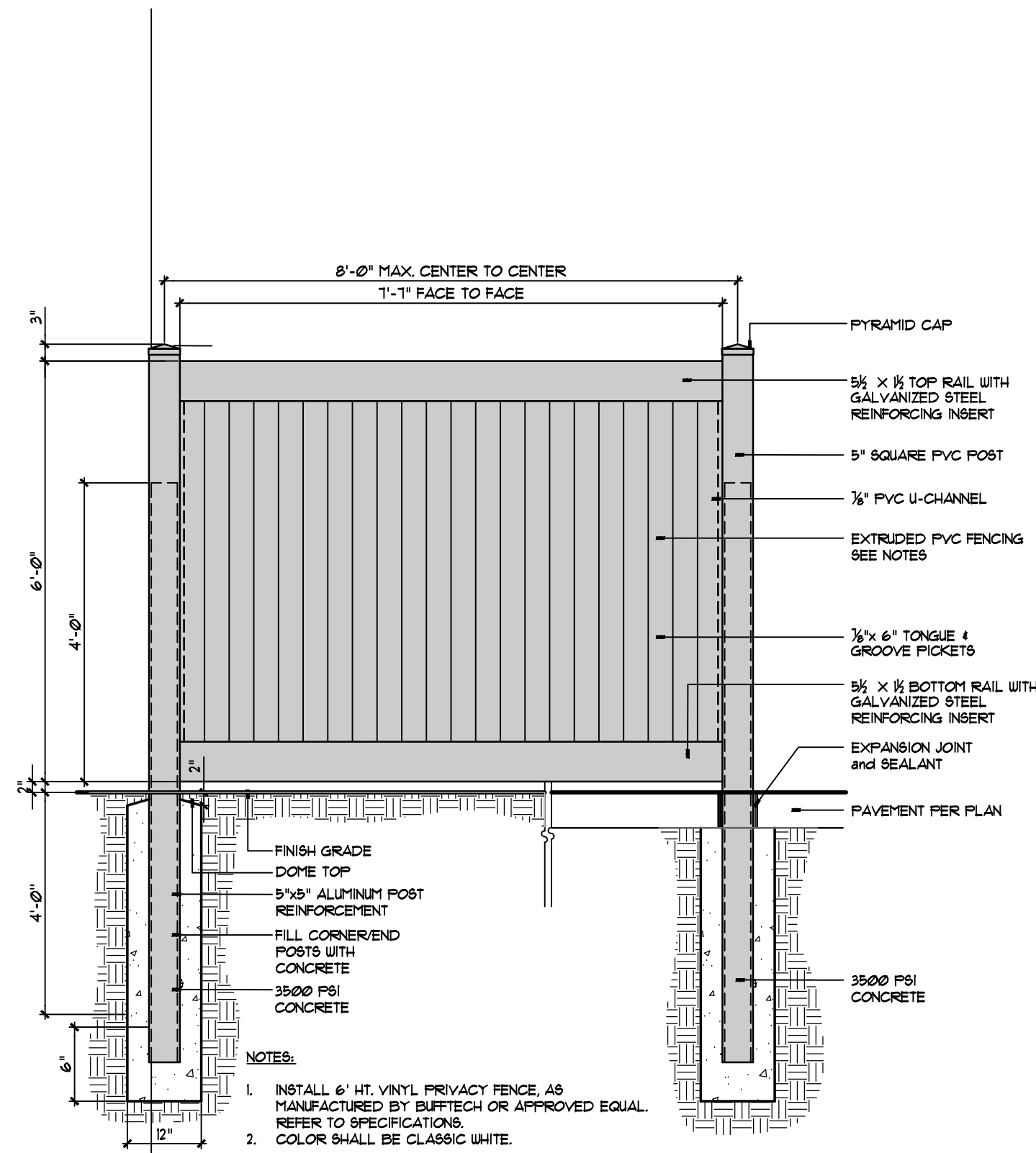
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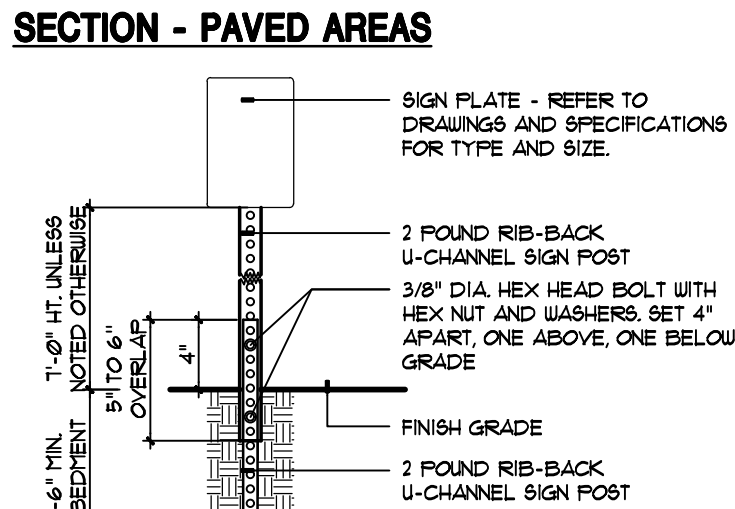
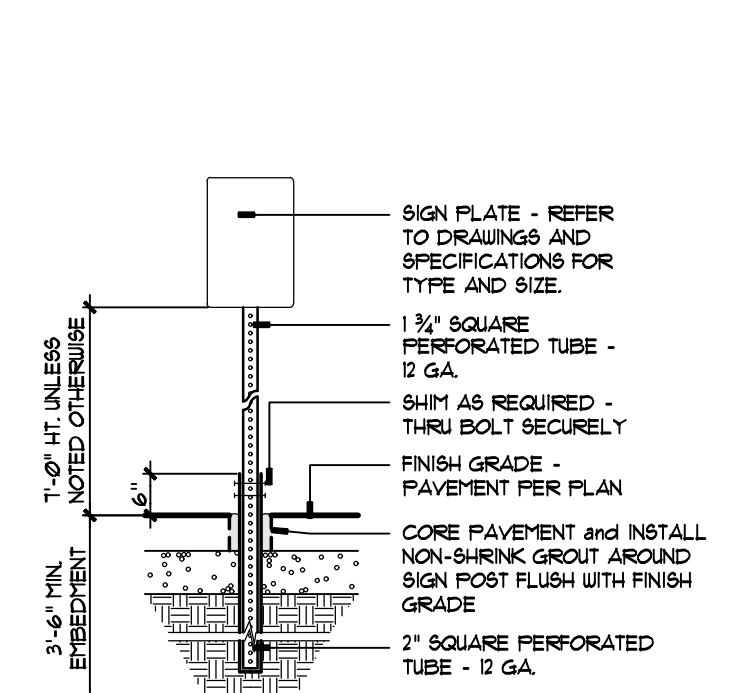
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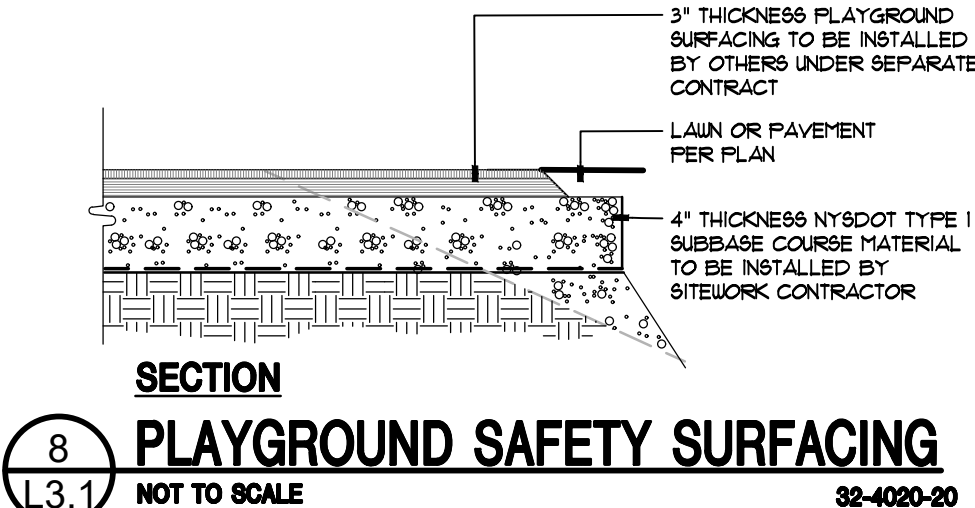




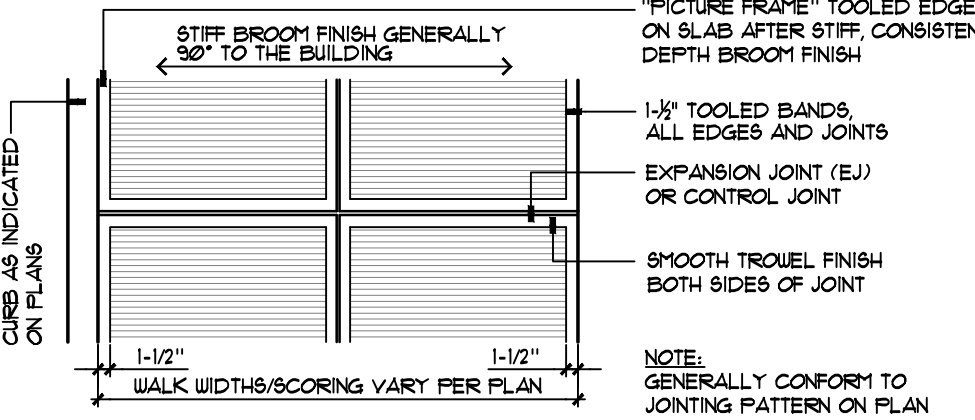
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**10**  
**6' HT. PRIVACY PVC FENCE**  
**L3.1** NOT TO SCALE **32-3123-02**



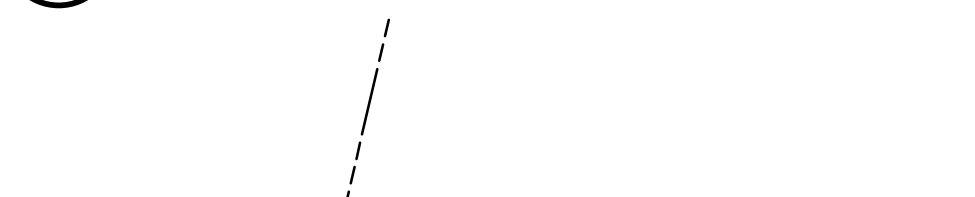
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**9**  
**TRAFFIC CONTROL SIGN**  
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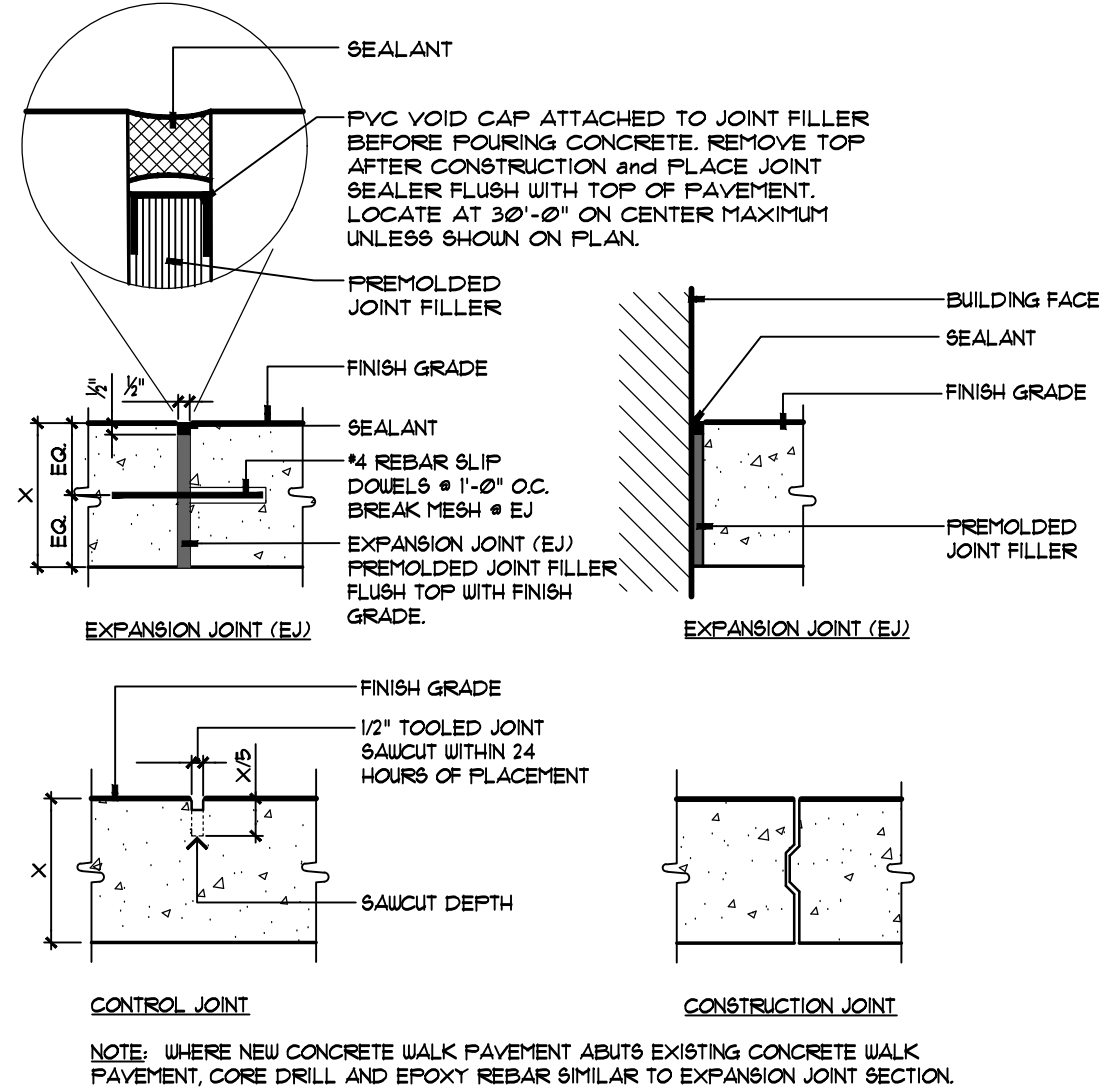
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**8**  
**PLAYGROUND SAFETY SURFACING**  
**L3.1** NOT TO SCALE **32-4020-20**



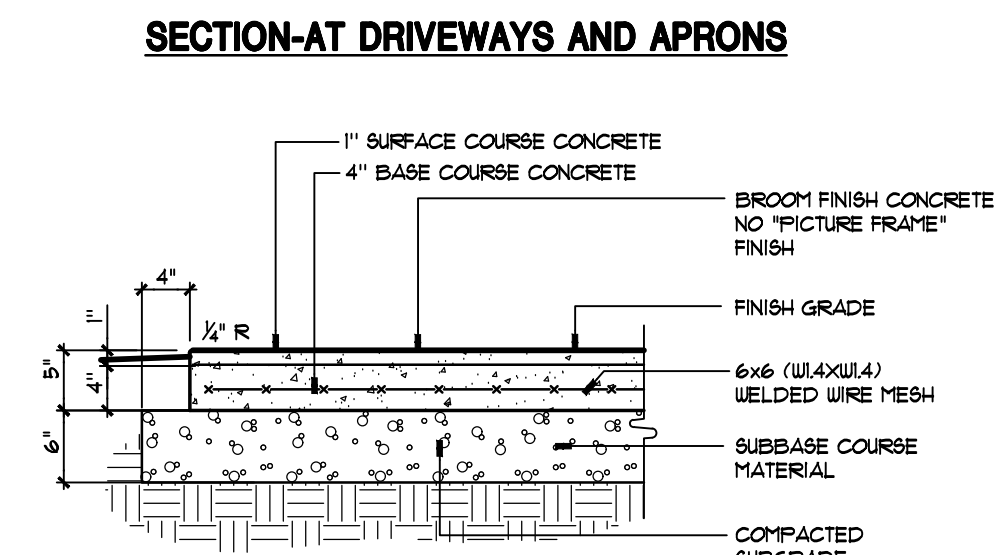
**PLAN**  
**7**  
**PAINTED CROSSWALK**  
**L3.1** NOT TO SCALE **32-1723-02**



**PLAN**  
**6**  
**CONCRETE FINISH**  
**L3.1** NOT TO SCALE **32-1313-03**

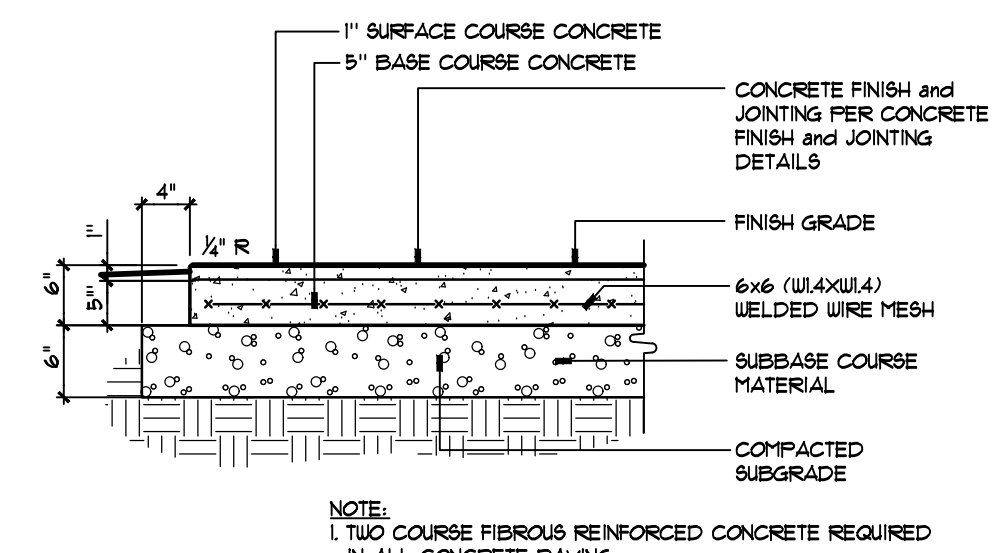


**SECTION**  
**5**  
**CONCRETE JOINT DETAILS**  
**L3.1** NOT TO SCALE **32-1313-04**



**SECTION-AT DRIVEWAYS AND APRONS**  
**SECTION-SIDEWALK**  
**NOTE:**  
1. TWO COURSE FIBROUS REINFORCED CONCRETE REQUIRED IN ALL CONCRETE PAVING.  
2. ALL CONCRETE WORK SHALL COMPLY WITH CITY OF SYRACUSE STANDARDS.

**CITY OF SYRACUSE**  
**4**  
**CONCRETE PAVEMENT- 2 POUR**  
**L3.1** NOT TO SCALE **32-1313-02A**

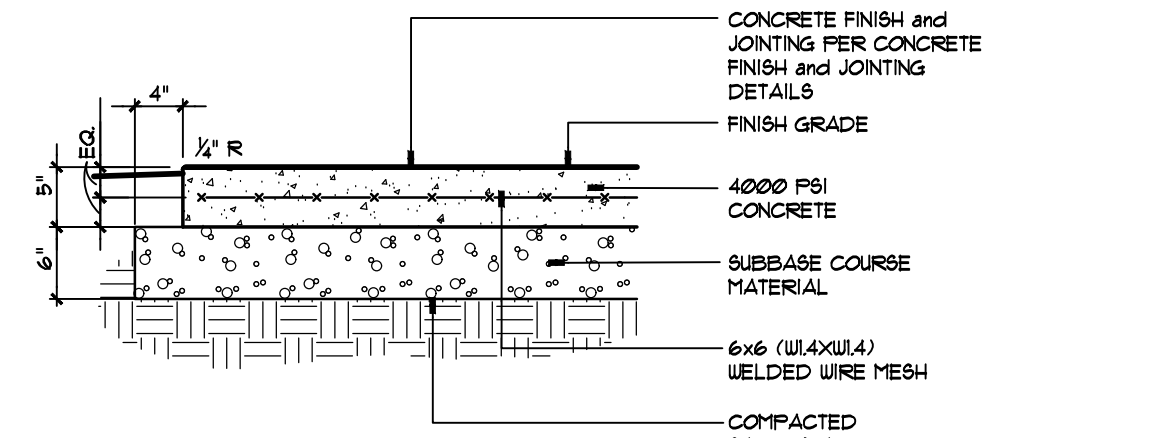


**SECTION**  
**CITY OF SYRACUSE**  
**3**  
**CONCRETE PAVEMENT - 2 POUR HEAVY DUTY (6")**  
**L3.1** NOT TO SCALE **32-1313-02B**

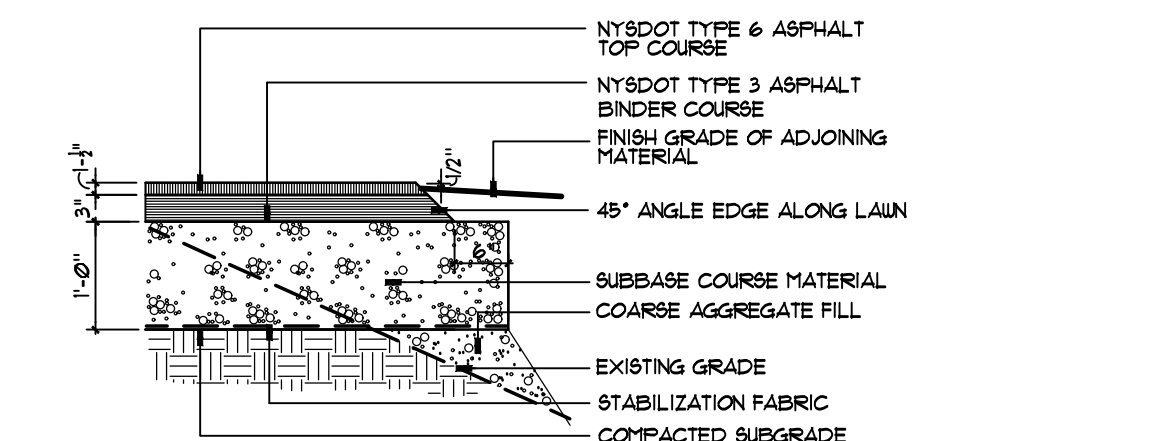
ZONING DATA CHART			X-ZONING DATA
ZONING - RAA (RESIDENTIAL DISTRICT CLASS AA)	CITY REQUIRED	PROPOSED	
LOT WIDTH	40 FT.	109.5 FT.	
FRONT YARD SETBACK	20 FT.	5 FT.	
SIDE YARD SETBACK	15% OF WIDTH	17.25/19.50 FT.	
REAR YARD SETBACK	5 FT. MIN.	N/A	

ZONING - BA (LOCAL BUSINESS DISTRICT CLASS AA)	CITY REQUIRED	PROPOSED
FRONT YARD SETBACK	10 FT.	N/A
SIDE YARD SETBACK	4 FT. MIN.	N/A
REAR YARD SETBACK	20 FT. MIN.	N/A

- LAYOUT CONSTRUCTION NOTES**  
**L4.0-LAYOUT-NOTES**
1. INSTALL ASPHALT PARKING PAVEMENT PER DETAIL XXXX.
  2. INSTALL CONCRETE PAVEMENT PER DETAIL XXXXXX.
  3. INSTALL HEAVY DUTY CONCRETE PAVEMENT PER DETAIL XXXX.
  4. 4" WIDE PAINTED LINES, (TYP.).
  5. INSTALL ACCESSIBLE RAMP TYPE - B PER DETAIL.
  6. INSTALL PLAYGROUND EQUIPMENT.
  7. INSTALL RESERVED PARKING PER DETAIL XXXX.
  8. INSTALL FERROLA.
  9. INSTALL SIGN POST PER DETAIL XXXXX.
  10. INSTALL 6' HEIGHT PVC PRIVACY FENCE PER DETAIL XXXXX.
  11. INSTALL PLAYGROUND CURBING AND SURFACING PER DETAIL XXXX.
  12. INSTALL SEEDED LAWN PER DETAIL XXXX.
  13. INSTALL GRANITE CURB PER DETAIL XXXX.
  14. INSTALL ASPHALT DRIVE PAVEMENT PER CITY OF SYRACUSE.
  15. INSTALL WASTE ENCLOSURE PER DETAIL XXXXX.



**SECTION**  
**2**  
**CONCRETE PAVEMENT**  
**L3.1** NOT TO SCALE **32-1313-01A**



**SECTION**  
**1**  
**ASPHALT PAVEMENT - PARKING**  
**L3.1** NOT TO SCALE **32-1313-02**



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SUBMISSION SET  
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CONSULTANT

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drawn by	JPR
checked by	EGK
approval	ANA
scale	AS NOTED
project no.	2681

DRAWING INFO

SITE LAYOUT  
PLAN

SHEET TITLE

modelspace: PLANS  
x-ref: XXX  
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paperspace: PLANS

FILE STRUCTURE

L3.1  
SHEET NUMBER





WASTE DISPOSAL / SPILL PREVENTION NOTES

- WASTE DISPOSAL NOTES:**
- COLLECT AND STORE ALL WASTE MATERIALS AND DEBRIS IN DUMPSTERS OR OTHER ACCEPTABLE WASTE FACILITIES. ALL COLLECTED WASTE MATERIALS SHALL BE LEGALLY REMOVED AND DISPOSED OF OFF SITE. DUMPSTER SHALL BE EMPTIED ON A PERIODIC BASIS DEPENDING ON GENERATION OF WASTE MATERIAL. NO BURNING OR BUYING OF WASTE MATERIALS WILL BE ALLOWED.
  - STORE, HANDLE AND DISPOSE OF ALL HAZARDOUS MATERIALS AS SPECIFIED BY LOCAL OR STATE LAWS.
- SPILL PREVENTION NOTES:**
- CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT EXCESS CONCRETE OR DRUM WASH WATER EXCEPT FOR AT DESIGNATED CONCRETE WASHOUT AREAS.
  - ALL ON-SITE FUELING OF EQUIPMENT AND VEHICLES SHALL BE CONDUCTED PER NYSDEC GUIDELINES FOR PETROLEUM BULK STORAGE.
  - MONITOR ALL CONSTRUCTION VEHICLES AND EQUIPMENT FOR LEAKS.
  - ALL PETROLEUM AND LUBRICANTS USED FOR THE OPERATION OF VEHICLES AND EQUIPMENT SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. WHEN POSSIBLE, STORE THESE PRODUCTS IN APPROPRIATE CONTAINERS OR UNDER ROOFED FACILITIES.

SWPPP LEGEND

- 6" SILT FENCE
- SEDIMENT TRAP @ CB/INLET
- SLOPE PROTECTION
- CONSTRUCTION ENTRANCE
- CHECK DAM
- SEDIMENT FILTER LOG

SOIL RESTORATION NOTES

- ACCORDING TO SECTION 5 OF THE NYS STORMWATER DESIGN MANUAL, SOIL RESTORATION PRACTICES MUST BE APPLIED ACROSS THE SITE IN AREAS OF SOIL DISTURBANCE.
  - SOIL RESTORATION REQUIREMENTS:**

**TYPE OF SOIL DISTURBANCE**

NO SOIL DISTURBANCE  
RESTORATION NOT PERMITTED

MINIMAL SOIL DISTURBANCE  
RESTORATION NOT REQUIRED

AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE  
H&G A/B - APPLY 6 INCHES OF TOPSOIL  
H&G C/D AERATE\* AND APPLY 6 INCHES OF TOPSOIL

AREAS OF CUT OR FILL  
H&G A/B - AERATE AND APPLY 6 INCHES OF TOPSOIL  
H&G C/D - APPLY FULL SOIL RESTORATION\*

HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN ZONE 5-75 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)  
APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)

AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED  
RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.

REDEVELOPMENT PROJECTS  
SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.
- \*REFER "DEEP RIPPING AND DE-COMPACTION, DEC 2008".

- 3. SOIL RESTORATION PRACTICE IMPLEMENTATION:**
- APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
  - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER TOWING AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
  - ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
  - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
  - VEGETATE AS REQUIRED BY APPROVED PLAN.
  - COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VIABLE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.

FIGURES 5/6 AND 5/7 TO THE BELOW SHOW TWO ATTACHMENTS USED FOR SOIL DECOMPACTION. TILLING (STEP 2 ABOVE) SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATION THAT ARE WITHIN 24 INCHES OF THE SURFACE.

Figure 5.16 Soil aerator implement Figure 5.17 Soil aerator implement



- AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT.
- THE CONTRACTOR MUST KEEP THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS. CONSIDER PEDESTRIAN FOOTPATHS. (SOMETIMES IT MAY BE NECESSARY TO DE-HATCH THE TURF EVERY FEW YEARS)
- ALL SOIL RESTORATION SHALL BE IN ACCORDANCE WITH NYSDEC REGULATIONS AND THE APPROVED SWPPP FOR THE PROJECT.

EROSION CONTROL NOTES and EROSION CONTROL SEQUENCING

- EROSION AND SEDIMENT CONTROL NOTES:**
- PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES, AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR, AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE DESIGN GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL AND THE SWPPP PREPARED FOR THE PROJECT, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - BARE SOILS SHALL BE MULCHED WITH STRAW AT A RATE OF TWO TONS PER ACRE WITHIN 14 DAYS OF EXPOSURE. UNLESS CONSTRUCTION WILL BEGIN WITHIN 21 DAYS, IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDED IMMEDIATELY.  
\*\* ALL DISTURBED AREAS WITHIN THE NYSDOT RIGHT-OF-WAY SHALL BE STABILIZED BY STRAW OR OTHER NYSDOT APPROVED METHOD, AT THE END OF EACH WORK WEEK, REGARDLESS OF WHEN THE SOIL WILL BE DISTURBED AGAIN.
  - SITE PREPARATION SHALL INCLUDE:  
A. SEEDED PREPARATION - SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROOTS OR STUMPS.  
B. SOIL AMENDMENTS  
1. LIME TO PH 6.0  
2. FERTILIZE WITH 6000 LBS OF 5-10-10 OR EQUIVALENT PER ACRE (14 LBS/1000 SQ FT).  
C. SEED MIXTURES  
1. TEMPORARY SEEDINGS  
a. RYEGRASS (ANNUAL OR PERENNIAL) @ 30 LBS/ACRE (0.1 LBS/1000 SQ FT).  
b. CERTIFIED "ARCOSTOCK" WINTER RYE (CEREAL RYE) @ 100 LBS/ACRE (2.3 LBS/1000 SQ FT).  
2. PERMANENT SEEDINGS  
a. ROUGH OR OCCASIONALLY MOULDED AREAS:  
b. RYEGRASS (PERENNIAL) 5 LBS/ACRE (0.10 LBS/1000 SQ FT).  
c. BIRDSEED 8 LBS/ACRE (0.20 LBS/1000 SQ FT).  
d. TREFOLI OR COMMON WHITE CLOVER PLUS\* 8 LBS/ACRE (0.20 LBS/1000 SQ FT).  
e. TALL FESCUE PLUS 20 LBS/ACRE (0.45 LBS/1000 SQ FT).  
f. REDTOP 2 LBS/ACRE (0.05 LBS/1000 SQ FT).  
g. RYEGRASS (PERENNIAL) 5 LBS/ACRE (0.10 LBS/1000 SQ FT).
  - \*ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING
  - D. METHOD OF SEEDING  
BROADCASTING, DRILLING WITH CULTIPACK TYPE SEEDER OR HYDROSEEDING ARE ACCEPTABLE.
- DISTURBED AREAS SHALL BE SEEDED AS NOTED ABOVE AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL. ON SLOPES GREATER THAN 3:1 SEEDED AREAS SHALL BE STAKED WITH JUTE MESH OR SODDED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.
  - ACCESS TO DISTURBED AREAS SHALL BE LIMITED TO THE AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN AND ANY OTHER LOCATIONS THE CONTRACTOR INTENDS TO ENTER THE SITE FROM THE ADJACENT ROADWAYS.
  - ANY EXISTING DRAINAGE FACILITIES DISRUPTED BY CONSTRUCTION OR IMPACTED BY INSTALLATION OF EROSION CONTROL MEASURES SHALL BE REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.
  - ALL DESIGN AND MAINTENANCE MEASURES OUTLINED IN THE SWPPP PREPARED FOR THIS PROJECT SHALL BE IMPLEMENTED AND CARRIED OUT BY THE PARTIES DEEMED RESPONSIBLE FOR THOSE DUTIES.
  - THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE PERMITTEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN OR NYSDEC.
  - PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLAN AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ON ADJOINING PROPERTY, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK. COMPLY WITH THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL" AND THE NYSDEC'S "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".
  - MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES AND EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (1" RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPLACING DAMAGED OR SiltED IN EROSION CONTROLS, CLEANING OUT STRUCTURES, AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
  - CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE, LAUNDS HAVE BECOME ESTABLISHED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.
  - CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL."

- EROSION CONTROL and CONSTRUCTION SEQUENCE**
- PRIOR TO SITE DISTURBANCE, CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AS DETAILED AT THE ENTRANCE LOCATION SHOWN ON THE DRAWING.
  - SILT FENCE - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLAN PRIOR TO EARTHWORK. SILT FENCE SHALL BE UTILIZED ONLY AS A TEMPORARY MEASURE. DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY FOLLOWING THE COMPLETION OF ANY EARTHWORK PHASE.
  - CLEARING AND GRUBBING - REMOVE ALL TREES, STUMPS AND BRUSH PRIOR TO EARTHWORK.
  - PROVIDE ALL DRAINAGE CHANNELS AND INSTALL EROSION CONTROL MEASURES WITHIN DRAINAGEWAYS. INSTALL CHECK WHERE INDICATED ON THE PLAN.
  - PROVIDE DRAINAGE STRUCTURES AND PIPING, INCLUDING DRAINAGE INLET PROTECTION AS SHOWN ON THE DRAWING.
  - EXCAVATE, FILL AND GRADE PARKING LOT SUBBASE AS SHOWN ON THE DRAWING. FINE GRADE, SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
  - EXCAVATE AND FILL REST OF SITE AREAS. FINE GRADE, SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
  - REMOVE TEMPORARY CONSTRUCTION ENTRANCE WHEN ASPHALT BINDER COURSE IS PLACED.
  - CLEAN ALL STORMWATER BMP'S AFTER ALL UPSTREAM CONTRIBUTORY DRAINAGE AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.
  - REMOVE TEMPORARY SILT FENCING AFTER SITE IS COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED. PROVIDE UNDERDRAIN WITH DETENTION BASIN PER PLANS.
- FINAL CLEAN UP & PREVENTATIVE MAINTENANCE**
- REMOVE AND/OR MAINTAIN STOCKPILE AREAS.
  - REMOVE EROSION CONTROL MEASURES FROM STABILIZED AREAS.
  - FINAL CLEAN UP - REMOVE EROSION CONTROL MEASURES AND CLEAN OUT ALL DRAINAGE STRUCTURES AND PIPES AFTER LAWN IS WELL ESTABLISHED. OWNER IS RESPONSIBLE FOR MAINTAINING SITE UPON PROJECT CLOSEOUT.
  - CONTRACTOR, ARCHITECT, AND OWNER TO REVIEW SITE FOR COMPLETION. CONTRACTOR TO ADDRESS FINAL COMMENTS ON PUNCH LIST FROM ARCHITECT AND SWPPP INSPECTION REPORTS.
  - SUBMIT NOTICE OF TERMINATION UPON FULL STABILIZATION OF SITE.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER ANY ITEM IN THESE DOCUMENTS IN ANY WAY.

CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS, SIZES, DIMENSIONS & EQUIPMENT PER REQUIREMENTS SET FORTH IN THE GENERAL SUPPLEMENTARY GENERAL CONDITIONS OF THIS CONTRACT.

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SYRACUSE, NEW YORK

ACCESS GLOBAL ENTERPRISES, LLC  
SYRACUSE, NEW YORK

PROJECT

Established 1978

ALESIA & CREWELL  
ARCHITECTS, P.C.

SUBMISSION SET  
04/15/2020

STAMP

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