

City of Syracuse
Office of Zoning Administration

VARIANCE APPLICATION

City Hall Commons - Room 500 * 201 E. Washington Street * Syracuse, NY 13202-1426
315-448-8640 * zoning@syr.gov * www.syr.gov.net/Zoning.aspx

Office Use Filing Date: 8/18/2020 Case: V-20-10 Zoning District: RA-1 (1974) - RB

VARIANCE REQUESTED (Check applicable and briefly describe.)

<input checked="" type="checkbox"/>	Area Variance:	Residential C1, A1 Part B, Section 1 Article 1, Paragraphs 4.B(1) and 5.A
	Cited Zoning Ordinance	
	Part(s), Sec(s), Art(s):	
<input type="checkbox"/>	Use Variance:	
	Cite Zoning Ordinance	
	Part(s), Sec(s), Art(s):	

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) 102 Charlotte Street Syracuse	112.-13-32.0	William Coon	4/17/20
2)			
3)			
4)			

As listed in the Syracuse Department of Tax Assessment property tax records at <http://syr.gov.net/Assessment.aspx>, 315-448-8280.

COMPANION ZONING APPLICATION(S) (List any related Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

1) _____ 2) _____ 3) _____

PROJECT CONSTRUCTION (Check all that apply and briefly describe.)

<input type="checkbox"/>	Demolition (full and partial):	
<input type="checkbox"/>	New Construction:	
<input checked="" type="checkbox"/>	Façade (Exterior) Alterations:	Expand front porch to full house width, add Back deck
<input type="checkbox"/>	Site Changes:	

PROJECT INFORMATION (Briefly describe, as applicable.)

Business/Project Name:	102 Charlotte Renovation
Current Land Use(s):	Residence
Proposed Land Use(s):	Residence
Number of Dwelling Units:	1
Hours of Operation:	NA
Onsite Parking:	Yes

PROJECT DESCRIPTION (Provide a brief description of the project, including purpose or need.)

I bought the house that had been vacant for three years, I am renovating it as my home. it is a small bungalow home looking to make it a Craftsman style bungalow. home was in serious disrepair and had four large holes in the roof. trying to make it a beautiful low maintenance home. the front porch is not very usable in current size, just trying to expand it to full width of the house. Back deck is adding a means of egress and outdoor space to the Bedroom that will be the second fl

USE VARIANCE TEST (see https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf)

A Use Variance is permission to establish a land use which is not allowed by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that this has caused an unnecessary hardship using all of the four tests below. ***Briefly describe below how each of the required Use Variance tests is met and attach all supporting materials.***

1. Describe how the property is incapable of earning a **reasonable return** on initial investment if used for any of the allowed uses in the district (actual "dollars and cents" proof must be submitted):

2. Describe how the property is being affected by **unique circumstances**, or at least highly uncommon circumstances:

3. Describe how the variance, if granted, will not alter the essential **neighborhood character**:

4. Describe how the hardship is not **self-created**:

AREA VARIANCE TEST (see https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf)

An Area Variance is permission to build in a portion of the property that is otherwise restricted by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that the potential benefit of an Area Variance will outweigh any burden to community health, safety and welfare through a five-part balancing test. *Briefly describe how an Area Variance would affect the community using the following five tests and attach all supporting materials.*

1. Describe whether an undesirable change will be produced in the **character of the neighborhood**, or a detriment to nearby properties will be created by the granting of the area variance:
the Character of the neighborhood will be improved by granting the variance. The character of the home will be a huge improvment on the run down state its been in for many years.

2. Describe whether the benefit sought by the applicant can be **achieved by some other method** which will be feasible for the applicant to pursue but would not require an area variance:
The Full width front fron porch is a critical part of the character of the Craftsmen style bungalow i am trying to achieve.

3. Describe whether the requested area variance is **substantial**:
The increased coverage area of the proposed home brings it from 31% lot coverage to 33% lot coverage. This is a small fraction of the lot and will only be noticed in the improved appearance of the home. The other variance is side lot offset, the existing home is non conforming being 3.2 feet from the property line, the additional porch roof will not make the house any closer than it already is.

4. Describe whether the proposed area variance will have an **adverse effect or impact** on the physical or environmental conditions in the neighborhood or district:
The house is currently non-conforming and the difficulty was not self created.

5. Describe whether an alleged difficulty is **self-created**.
The house is currently non-conforming and the difficulty was not self created.

City of Syracuse Office of Zoning Administration

PROPERTY OWNER(S) (required)

As listed in the Syracuse Department of Tax Assessment property tax records available at <http://syrgov.net/Assessment.aspx>, or at 315-448-8280. If not listed as the current owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a one page letter describing the legal representative arrangement. If the property owner is a Corporation or Organization, the person signing must provide verification they are a member. Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.

First Name	Last Name	Title	Company	Phone:
William F	Coon Jr	Owner		315-753-1894
Street Address	Apt / Suite / Other	City	St	Zip
				Email: wfcoon@gmail.com
* Signature: <i>William F Coon Jr</i>			Date: 08/03/2020	

First Name	Last Name	Title	Company	Phone:
Street Address	Apt / Suite / Other	City	St	Zip
				Email:
* Signature:			Date:	

First Name	Last Name	Title	Company	Phone:
Street Address	Apt / Suite / Other	City	St	Zip
				Email:
* Signature:			Date:	

First Name	Last Name	Title	Company	Phone:
Street Address	Apt / Suite / Other	City	St	Zip
				Email:
* Signature:			Date:	

*** OWNER SIGNATURE DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

First Name	Last Name	Title	Company	Phone:
William	Coon	Owner		315-753-1894
Street Address	Apt / Suite / Other	City	St	Zip
102 Charlotte Street		Syracuse	NY	13204
First Name	Last Name	Title	Company	Phone:
Street Address	Apt / Suite / Other	City	St	Zip
				Email:

REPRESENTATIVE(S)/CONTACT(S) (if applicable)

First Name	Last Name	Title	Company	Phone:
Street Address	Apt / Suite / Other	City	St	Zip
				Email:
First Name	Last Name	Title	Company	Phone:
Street Address	Apt / Suite / Other	City	St	Zip
				Email:

DIVISION OF CODE ENFORCEMENT
201 E. WASHINGTON STREET — ROOM 101
SYRACUSE, NEW YORK 13202-1430

DENIAL OF PERMIT

REFERENCE ADDRESS 102 Charlotte Street

WARD NO. _____

OWNER GSPDC

OWNER'S ADDRESS 431 E Fayette St Syracuse NY

TELEPHONE _____

APPLICATION FOR PERMIT TO:

erect (X) convert () maintain () operate ()

DENIED UNDER ARTICLE (s) _____

_____ of the zoning ordinance for the following reasons: _____

☐ PLANS ATTACHED, APPROVED BY _____
ON _____

☐ SURVEY ATTACHED

☐ ZONING REVIEWED BY _____

LOCATION OF REFERENCE ADDRESS:
ASSESSOR'S ATLAS

BOOK (S) NO. _____

PLATE (S) NO. _____

PARCEL (S) NO. _____

DATE 8/6/20 SIGNATURE 

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

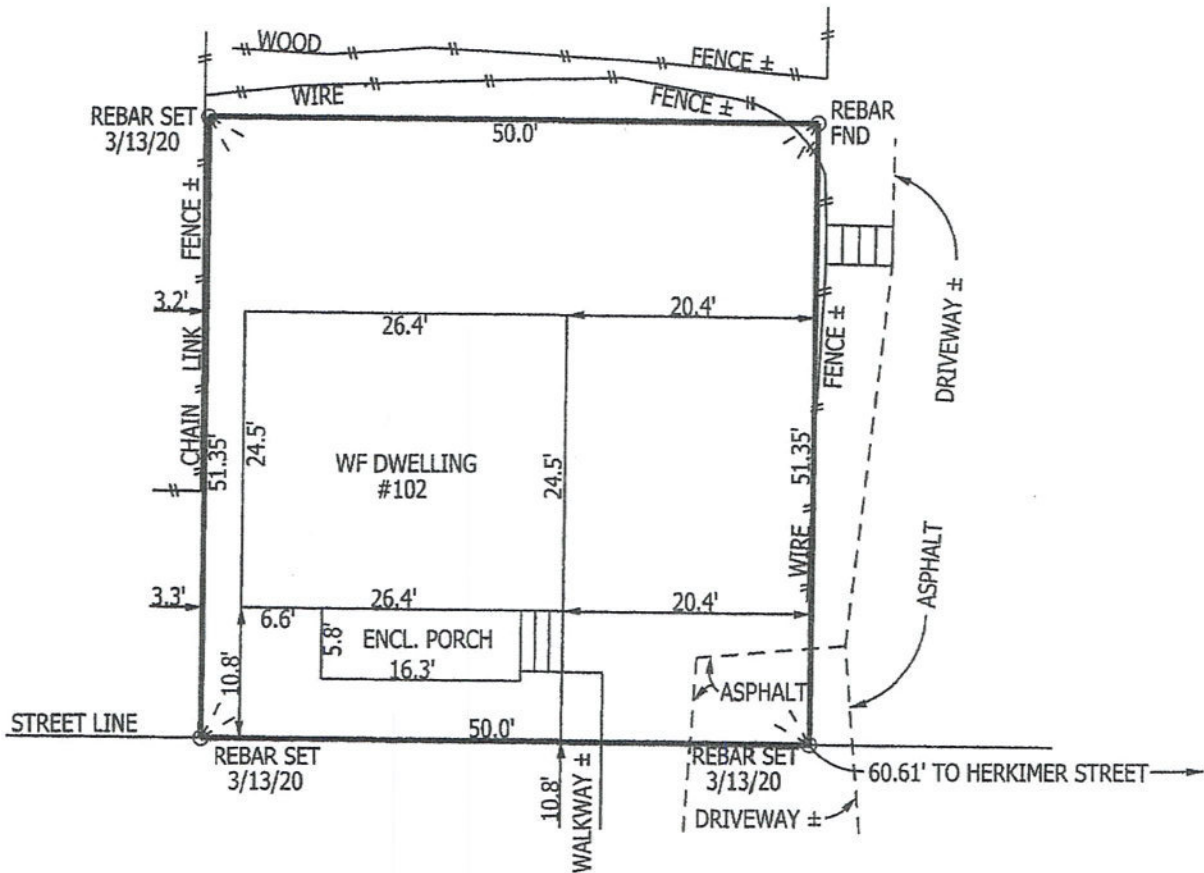
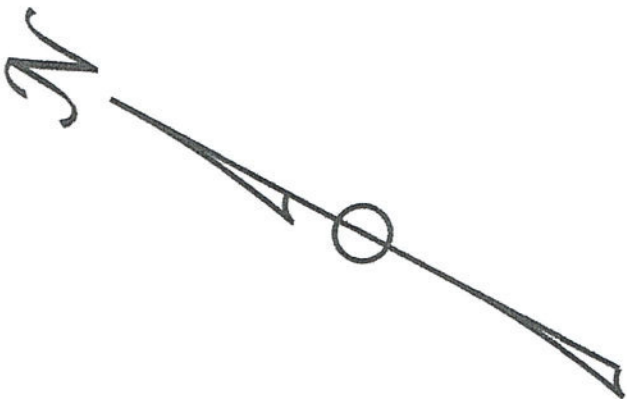
Part 1 – Project and Sponsor Information			
Name of Action or Project: William Coon Residence			
Project Location (describe, and attach a location map): 102 Charlotte Street, Syracuse NY 13204			
Brief Description of Proposed Action: Home remodel to include expanding front porch to width of house and adding small back deck			
Name of Applicant or Sponsor: William Coon		Telephone: 315-753-1894	
		E-Mail: wfcoon@gmail.com	
Address: 102 Charlotte Street			
City/PO: Syracuse		State: NY	Zip Code: 13204
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City Of Syracuse Zoning and Code enforcement		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .06 acres			
b. Total acreage to be physically disturbed? _____ .01 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .06 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>William Coon</u> Date: <u>08/03/20</u> Signature: <u>William Coon</u> Title: <u>Owner</u>		



NO ABSTRACT PROVIDED AT TIME OF SURVEY.
SUBJECT TO EASEMENTS, ROWS, RESTRICTIONS
& EXCEPTIONS OF RECORD WHICH AN UPDATED
ABSTRACT WOULD SHOW.



CHARLOTTE STREET

CERTIFIED TO	LOCATION SURVEY FOR: 102 CHARLOTTE STREET		
	PART OF SUBDIVISION NO. 2 OF LOT NO. 1, BLOCK NO. 13 OF FORMER VILLAGE OF GEDDES PART OF FARM LOT NO. 143		
PROPERTY CORNERS NOT SET IN THIS SURVEY UNLESS SHOWN. OFFSETS FROM PROPERTY LINES MEASURED TO FOUNDATION WALLS UNLESS OTHERWISE INDICATED. THE UNDERSIGNED HEREBY CERTIFIES THAT THIS IS A CORRECT MAP MADE FROM AN ACTUAL SURVEY.	CITY OF SYRACUSE	COUNTY OF ONONDAGA	STATE OF NEW YORK
	DUSSING LAND SURVEYING, LLC		
	JAMES M. DUSSING SR. LIC. NO. 050692		
N.Y.S. LICENSED LAND SURVEYOR NO. 050692	SYRACUSE, NEW YORK PHONE: 315-256-5372 FAX: 315-492-6892		DATE: 3/13/20
			SCALE: 1" = 20'
			FILE NO.: 20-202

PROJECT DESCRIPTION

ADDRESS: 102 CHARLOTTE STREET, SYRACUSE, NY
TAX ID: (ID)
OWNER: WILLIAM COON; (w/coon@gmail.com)
TENANT:
DESIGNER OF RECORD: PITCHER ARCHITECT PLLC
EXISTING BUILDING PERMIT: NONE

NUMBER OF STORIES: 2 ABOVE GRADE, NONE BELOW GRADE
BUILDING HEIGHT ABOVE GRADE: (N) FEET

NYS VARIANCES, 19 NYCRR 1205

☐ NOT SUBJECT TO VARIANCE ☐ PREVIOUSLY ISSUED, PAST WORK
☐ FOR CURRENT WORK ONLY ☐ FOR BOTH PAST & CURRENT

PROPOSED CURRENT WORK

☐ NEW CONSTRUCTION
☐ BUILDING ADDITION
☒ RENOVATION EXISTING BUILDING

EXISTING OCCUPANCIES

☐ GROUP A-n ASSEMBLY
☐ GROUP B- BUSINESS
☐ GROUP M - MERCANTILE
☐ GROUP R - RESIDENTIAL

CHANGE TO NEW OCCUPANCIES

☐ GROUP A-n ASSEMBLY
☐ GROUP B- BUSINESS
☐ GROUP M - MERCANTILE
☒ GROUP R - RESIDENTIAL

BUILDING GROSS AREA:

MATERIALS OF CONSTRUCTION

	HOUSE	GARAGE
BASEMENT	641 GSF	441 GSF
1ST FLOOR	641 GSF	239 GSF
2ND FLOOR	442 GSF	-0-
3RD FLOOR	-0-	-0-
ROOF	641 GSF	441 GSF

CONC.FLOOR; CEMENT & WOOD STUD WALLS
WOOD FRAME FLOOR AND WALLS
WOOD FRAME FLOOR & WALLS
(NONE)
WOOD RAFTERS

CLASSIFICATION OF CONSTRUCTION: 1 & 2 FAMILY RESIDENTIAL

ELEVATORS:

☒ NONE ☐ CURRENTLY CERTIFIED
☐ PHASE I RECALL ONLY ☐ NOT CURRENT, UPGRADE IN THIS WORK
☐ PHASE I & II RECALL

STAND PIPES:

☐ YES, EXISTING, OR NEW TYPE: (WET MANUAL)
☒ NONE

AUTOMATIC SPRINKLERS

☐ THROUGH OUT BUILDING AUXILIARY SYSTEM:
☐ ONLY PARTIAL COVERAGE ☐ CHEMICAL, KITCHEN HOOD
☒ NONE
☐ ADD NEW SYSTEM

DETECTION AND ALARM SYSTEMS

☒ EXISTING FIRE SYSTEM ☐ EXISTING CARBON-MONOXIDE
☒ LACKS FIRE SYSTEM ☐ LACKS CARBON-MONOXIDE
☐ ADD MANUAL ALARM ☒ ADD SINGLE/MULTI-STATION UNITS
☐ ADD CENTRAL ALARM PANEL ☐ ADD TO CENTRAL ALARM PANEL

STRUCTURAL CONDITIONS

BUILDING RISK CATEGORY: ☐ LOCATED IN FLOOD PLAIN
SEISMIC DESIGN CATEGORY: C ☒ NOT IN FLOOD PLAIN

APPLICABLE CODES

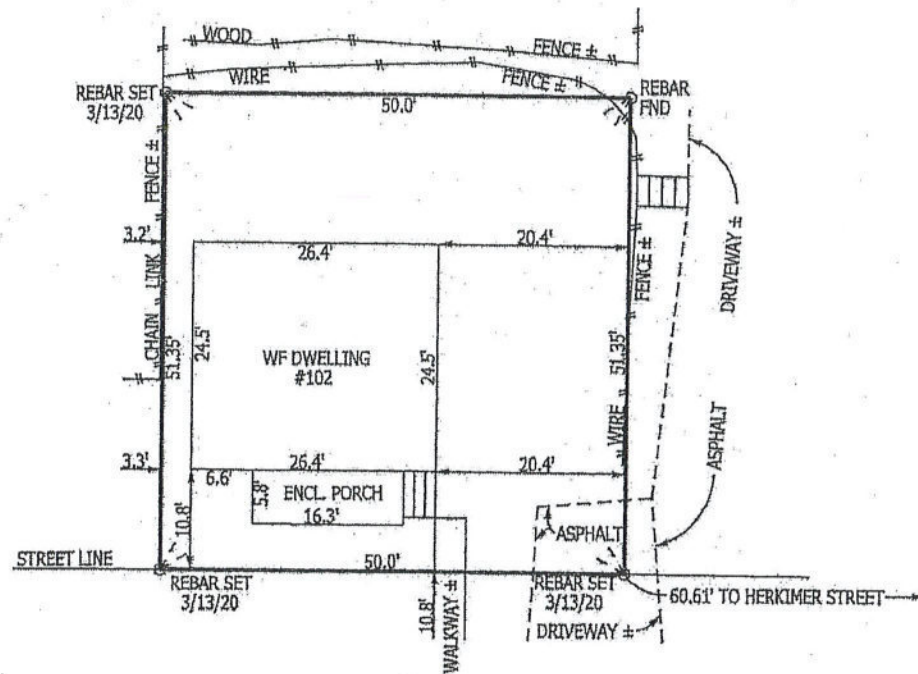
☐ NYS BUILDING CODE 2020
☐ NYS EXISTING BUILDING CODE 2020
☒ NYS RESIDENTIAL CODE 2020
☐ NYS ENERGY CODE 2020
☐ NYS PLUMBING, ELECTRIC, & MECHANICAL 2020
☒ SYRACUSE PROPERTY CONSERVATION CODE
☒ SYRACUSE ZONING CODE
☒ ONONDAGA COUNTY PLUMBING CODE

APPLICABLE ZONING CONDITIONS

☒ ZONING CLASSIFICATION: RA-1
☐ EXISTING/PROPOSED CONFORMING USE
☐ EXISTING NON-CONFORMING USE: ()
☐ EXISTING SPECIAL PERMIT:
☐ EXISTING ZONING VARIANCE:



NO ABSTRACT PROVIDED AT TIME OF SURVEY.

SUBJECT TO EASEMENTS, ROWS, RESTRICTIONS
& EXCEPTIONS OF RECORD WHICH AN UPDATED
ABSTRACT WOULD SHOW.

CHARLOTTE STREET

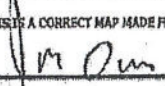


CERTIFIED TO		LOCATION SURVEY FOR: 102 CHARLOTTE STREET		
 N.Y.S. LICENSED LAND SURVEYOR NO. 050692		PART OF SUBDIVISION NO. 2 OF LOT NO. 1, BLOCK NO. 13 OF FORMER VILLAGE OF GEDDES PART OF FARM LOT NO. 143		
		CITY OF SYRACUSE	COUNTY OF ONONDAGA	STATE OF NEW YORK
		DUSSING LAND SURVEYING, LLC		
		JAMES M. DUSSING SR. LIC. NO. 050692		
		SYRACUSE, NEW YORK		
		PHONE: 315-256-5372	FAX: 315-492-6892	FILE NO.: 20-202

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L 1.0	SITE PLAN
A 1.0	1ST & 2ND FLOOR FRAMING
A 1.1	ROOF FRAMING & FRONT ELEVATION
A 1.2	1ST & 2ND FLOOR RENOVATIONS

124 Feigel Avenue
Syracuse, New York 13203

 **PITCHER** architect PLLC

315.474.1219

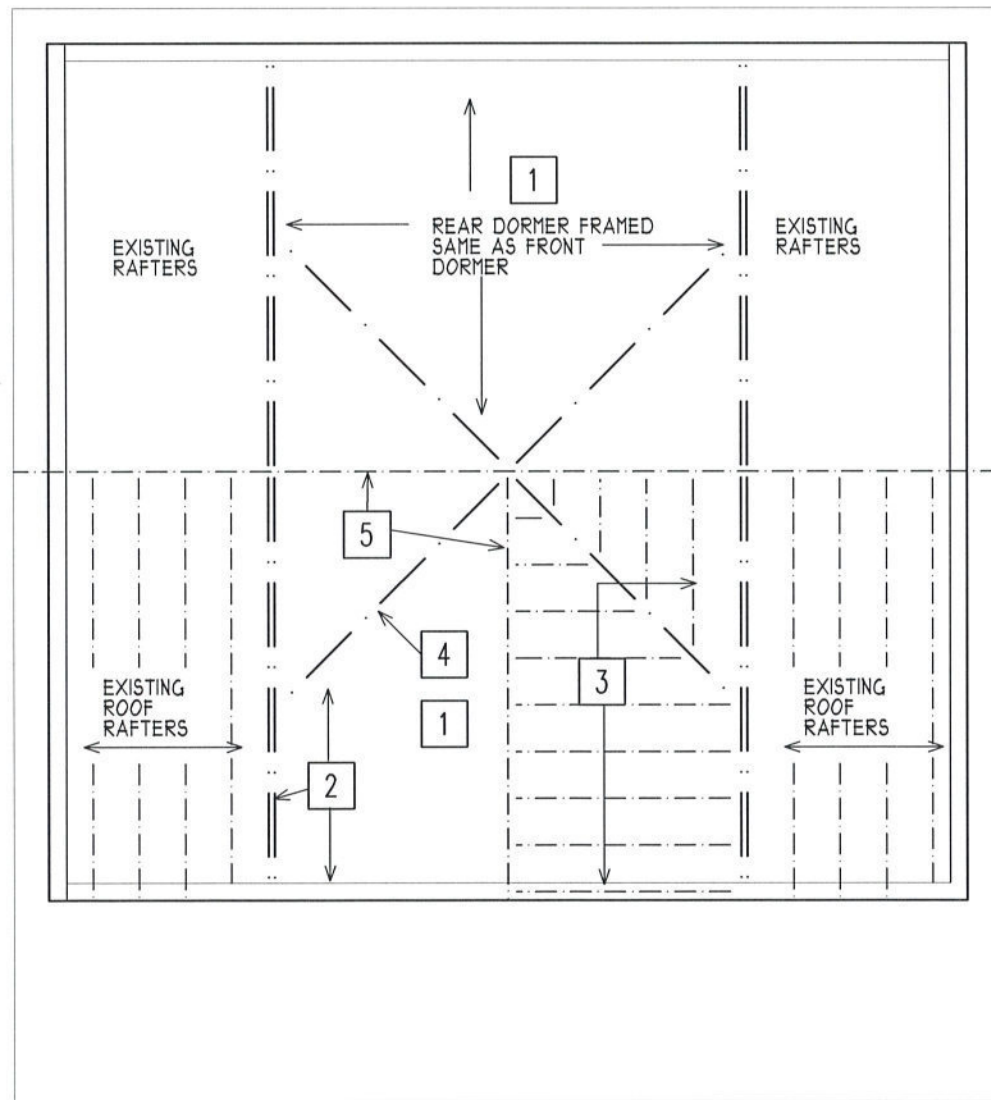
RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, N.Y.



SHEET A 0.1 7-6-2020

2 SECOND FLOOR STRUCTUAL
A 1.0 $3/16" = 1'-0"$

- 1 DEMOLISH EXISTING DORMER, FRAME NEW DORMER AS SHOWN
- 2 NEW DOUBLE 2X6 RAFTERS, NEW 2X4 KNEE WALL ABOVE & BELOW, FROM EAVE TO VALLEY JOIST
- 3 NEW 2X8 16" O.C RAFTERS, AT 5.5 : 12 PITCH
- 4 NEW 2X6 VALLEY JOIST
- 5 NEW RIDGE BOARD 1X8



1 ROOF FRAMING PLAN
A 1.1 3/16" = 1'-0"



2 FRONT ELEVATION
A 1.1 3/16" = 1'-0"



JOB#: 220-15
DATE: 6-8-2020
REV: 7-6-2020

124 Feigel Avenue
Syracuse, N.Y. 13203
PITCHER architect PLLC
315.474.1219

RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY
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ROOF
FRAMING &
FRONT
ELEVATION
A 1.1

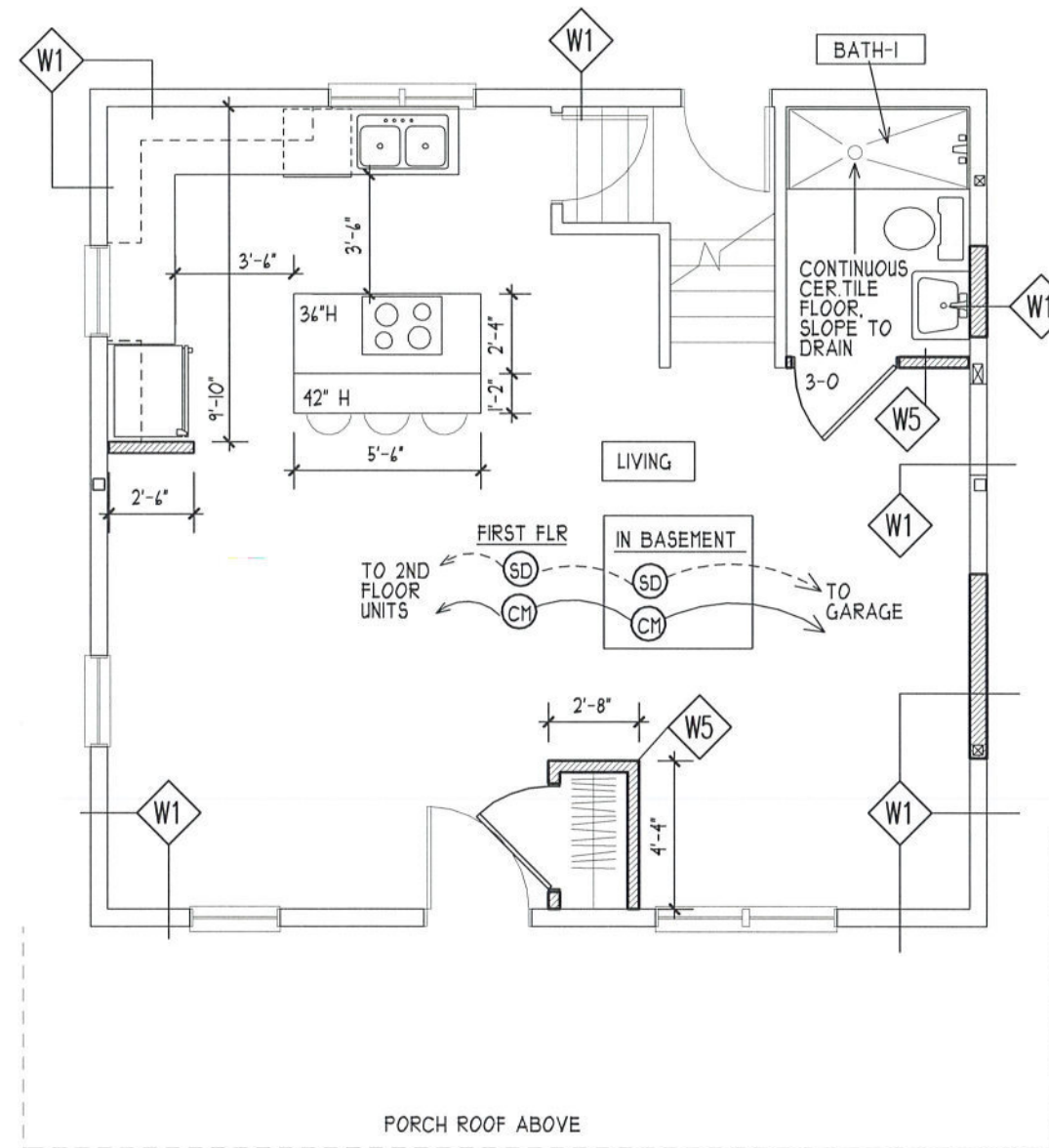
NN ASSEMBLY TYPES
SEE SHEET A 0.3

ALARM SYSTEMS

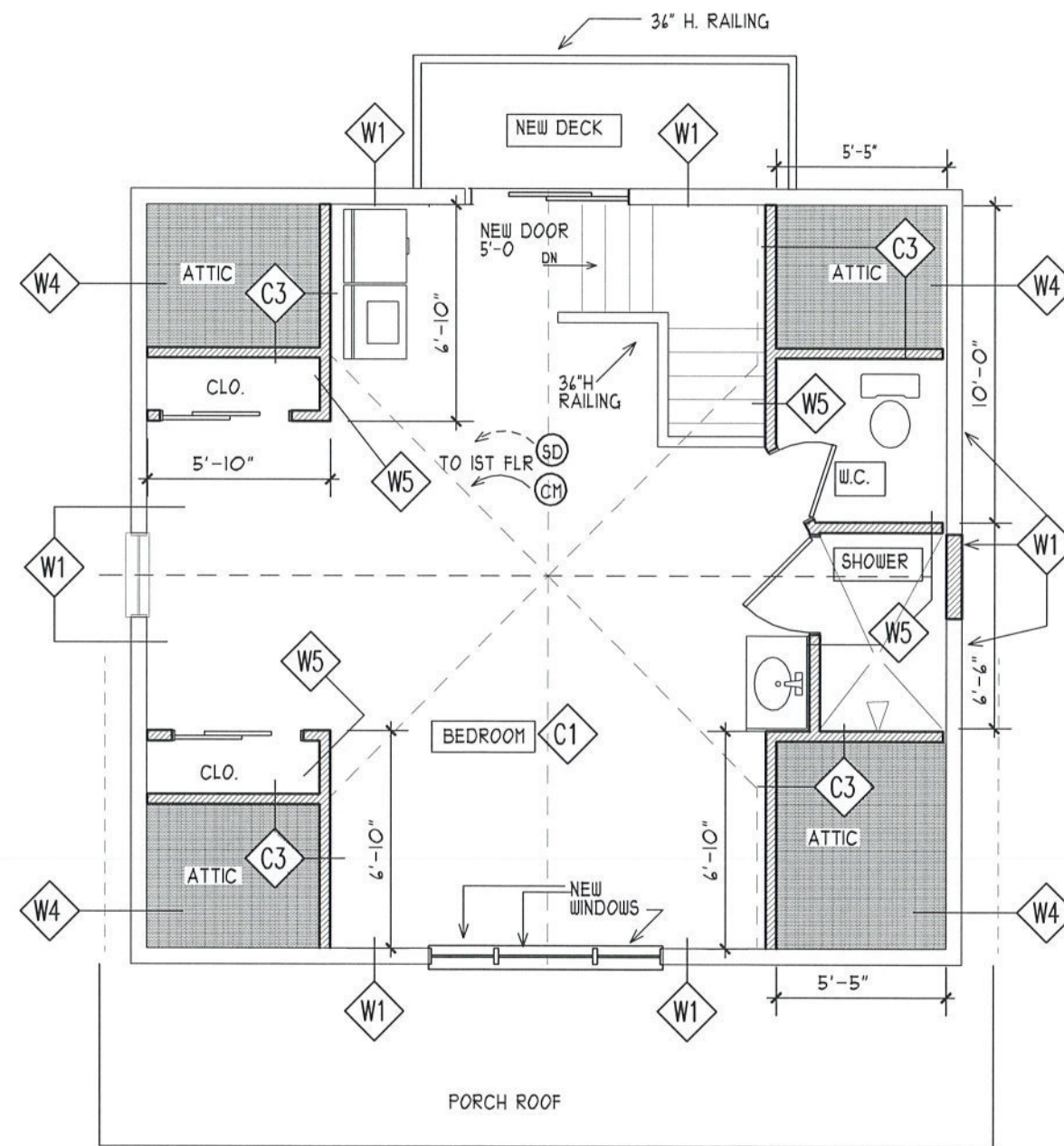
- (SD) SMOKE DETECTOR
(CM) CARBON MONOXIDE DETECTOR

SEE SHEET A 0.2 FOR ADDITIONAL INFORMATION

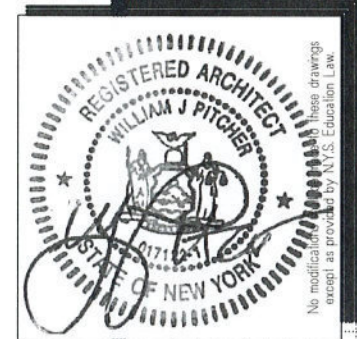
IF GARAGE IS NOT BUILT AT SAME TIME AS RENOVATIONS, RUN INTERCONNECTING ALARM WIRES BEFORE INSTALLING DRYWALL FOR FUTURE ATTACHMENT.



1 FIRST FLOOR
A 1.2 3/16" = 1'-0"



2 SECOND FLOOR
A 1.2 3/16" = 1'-0"



JOB#: 220-15
DATE: 6-8-2020

124 Feigel Avenue
Syracuse, N.Y. 13203

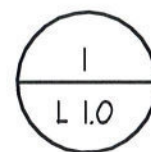
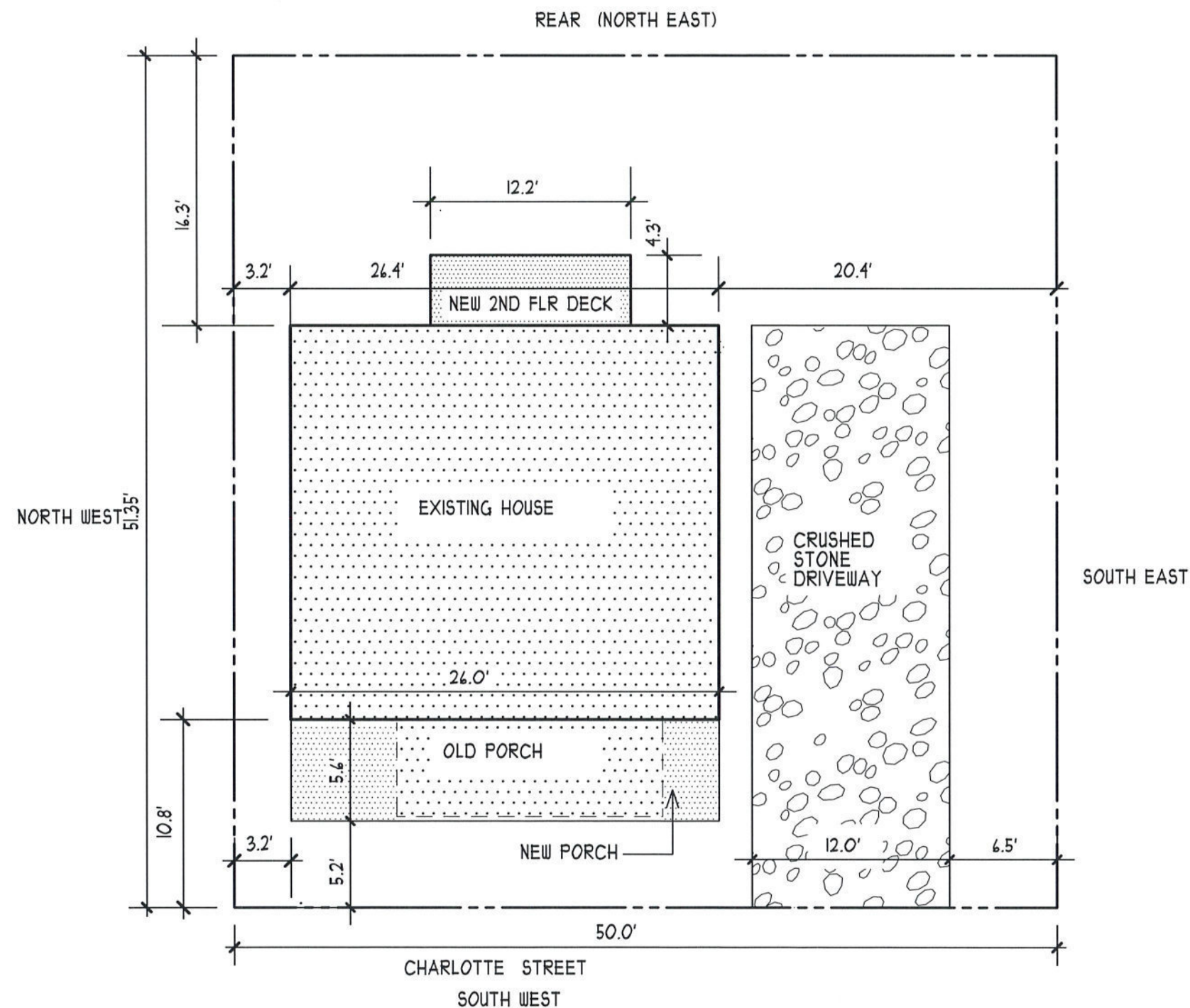
PITCHER architect PLLC
315.474.1219

RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY

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2ND FLOOR &
ROOF
FRAMING
& NOTES

A 1.2



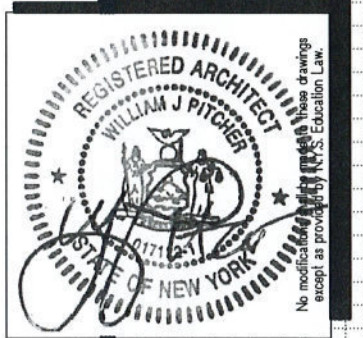
PROPERTY SITE PLAN

1/8" = 1'-0"

0 10 20 40 SCALE IN FEET

REVISIONS

REVISION I: ADDED DIMENSIONS,
ADDED DRIVEWAY.



JOB#: 220-15
DATE: 6-5-2020
REV. 1 8-11-2020

124 Feigel Avenue
Syracuse, N.Y. 13203

PITCHER architect PLLC

315.474.1219

RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY

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SITE
PLAN

L 1.0

NYS 2020 - ENERGY CODE (RE) & RESIDENTIAL CODE (N & M) REQUIREMENTS

RE303.1.3(2). [N101.0.3(2)]: DEFAULT OPAQUE DOOR U-VALUES

RE303.1.3(3). [N101.0.3(3)]: DEFAULT GLAZED FENESTRATION VALUES

RE303.4: MECHANICAL VENTILATION: WHERE INFILTRATION EACH OR LESS, PROVIDE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM

RE401.2 [N102.4]: MANDATORY AIR LEAKAGE TEST CERTIFICATE, MAX 3 ACH.

RE402: PROSCRIPTIVE BUILDING ENVELOPE

RE102.1 [N102.1.1]: VAPOR RETARDER = R102.1:

RE402.1.2 [N102.1.2]: ZONE 5 - TABLE

RE402.2 [N102.2.1]: CEILINGS WITH ATTICS ABOVE:
WHERE: R38 AND EDGE COMPRESSION NOT LESS THAN R30; OR R30 UNCOMPRESSED AT WALL FACE
WHERE: R49 AND EDGE COMPRESSION NOT LESS THAN R38; OR R38 UNCOMPRESSED TO WALL FACE

RE402.2.2 [N101.2.2]: CEILINGS WITHOUT ATTICA ABOVE:
500 SF OR MAX 20% CEILING SF.

R402.4.2 [N102.4.2]: FIREPLACES, UL 127.

RE402.4 [N102.4]: AIR LEAKAGE TEST & REPORT: MAX 3 ACH @ 50P

RE 403.1 [N103.1]: PROGRAMMABLE THERMOSTAT ON HEATING SYSTEM.

RE403.3.2 [N103.3.2]: DUCT SEALING, PER N101.4.1

RE403.3.3 [N103.3.3]: DUCT LEAKAGE TESTING: LEAK MAX 2% OF AIR FLOW
EXCEPTION: NOT REQUIRED IF DUCTS FULLY WITHIN ENVELOPE

RE403.4: PIPE INSULATION MECHANICAL FLUIDS: IF G.T. 105F, OR L.T. 55F = MIN R-3 INSULATION

RE403.5.3: HOT WATER PIPES: MIN R-3 INSULATION IF:
G.T. * DIAMETER, OR
OUTSIDE CONDITIONED ENVELOPE

RE403.6: MANDATORY MECHANICAL VENTILATION: COMPLY WITH M1505 VENT REQUIREMENT

M1505.2: BATHROOM & KITCHEN AIR SHALL NOT BE RECIRCULATION, BUT EXHAUSTED TO OUTDOORS.

TABLE R402.12 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT (a)

CLIMATE ZONE	FENESTRATION U-FACTOR (b)	SKYLIGHT (b) U-FACTOR	GLAZED FENESTRATION SHGC (b) (c)
5 & MARINE 4	0.30	0.55	N.R.

CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE (i)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE
49	20 OR 13+5 (h)	13/11	30 (g)	15/19

SLAB R-VALUE & DEPTH (d)	CRAWL SPACE (c) WALL R-VALUE
10, 2 FT	15/19

NR = NOT REQUIRED

(a) R-VALUES ARE MINIMUMS. UFACTORS AND SHGC ARE MAXIMUMS. WHERE INSULATION IS INSTALLED IN A CAVITY THAT IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.

(b) THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO AL GLAZED FENESTRATION.

(c) "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME, OR R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL.
"15/19" MEANS R-15 CONTINUOUS INSULATION OF THE INTERIOR OR EXTERIOR OF THE HOME, OR R-19 CAVITY INSULATION ON THE INTERIOR OR EXTERIOR OF THE BASEMENT WALL.
ALTERNATIVELY, COMPLIANCE WITH "16-5/19" SHALL BE R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL, PLUS R-5 CONTINUOUS ON THE INTERIOR OR EXTERIOR OF THE HOME.

(d) R-5 INSULATION SHALL BE PROVIDED UNDER THE FULL SLAB AREA OF HEATED SLAB IN ADDITION TO THE REQUIRED EDGE SLAB INSULATION R-VALUE FOR SLABS, AS INDICATED IN THE TABLE. THE SLAB EDGE INSULATION FOR HEATED SLABS SHALL NOT BE REQUIRED TO EXTEND BELOW THE SLAB

(e) RESERVED.

(f) RESERVED.

(g) ALTERNATIVELY, INSULATION SUFFICIENT TO FILL FRAMING CAVITY AND PROVIDING NOT LESS THAN THE R-VALUE OF R-19.

(h) FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION. THEREFORE, "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.

(i) MASS WALLS SHALL BE IN ACCORDANCE WITH SECTION R402.2.5. THE SECOND R-VALUE APPLIES WHERE MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

[N102.4.1.1] RESIDENTIAL REQUIREMENTS -- TABLE R-402.4.1.1 -- AIR BARRIER & INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED WITH LOW-EXPANSION FOAM.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGES AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING, AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWL SPACE WALLS
SHAFTS AND PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING	SEAL ALL PENETRATIONS OF SOLE AND HEAD PLATES OF WALLS WITH EXPANDING FOAM INSULATION	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	

GENERAL NOTES:

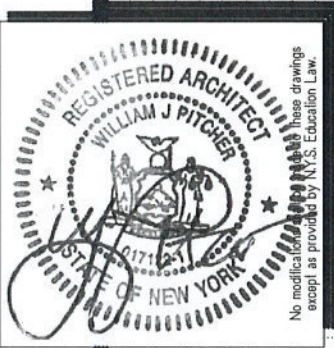
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING OF WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF DISCREPANCIES.
2. CONTRACTOR SHALL COMPLY WITH THE CURRENT VERSION OF N.Y.S. BUILDING CODES, ALL GOVERNING GOVERNING CODES AND REGULATIONS, ALL OFFICIALS HAVING AUTHORITY OVER THE PROJECT.
3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES WITH U.F.P.O. AND THE LOCAL MUNICIPALITY.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION, INCLUDING: ROOF, SITE SLOPES AND ELEVATIONS, FRAMING CONFIGURATION AND SIZES
5. DESIGN OF ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS ARE BY OTHERS.

GENERAL STRUCTURAL NOTES:

1. FLOORS: DESIGNED TO N.Y.S. CODE: RESIDENTIAL AT 40 PSF LL + 10 PSF DL SLEEPING FLOORS: 30 PSF LL + 10 PSF DL -- UNLESS NOTED OTHERWISE.
2. ROOF RAFTERS: DESIGNED FOR 15 PSF DL; SEE "NYS CODE" FOR SNOW, SEISMIC AND WIND LOADS (SEE ABOVE).
3. FRAMING: ALL JOISTS, RAFTERS, BEAMS, HEADERS, ETC. HAVE BEEN DESIGNED FOR SPRUCE #2, Fb= 1200, E= 1,320,000. UNLESS NOTED OTHERWISE.
4. HEADERS: UNLESS NOTED OTHERWISE ON DRAWINGS, MINIMUM SIZE OF ALL HEADERS FOR DOORS AND AND WINDOWS SHALL BE TWO 2X6 BOXED FOR 2X6 WALLS, AND TWO 2X6 + 1/2" PLYWOOD FOR 2X4 WALLS.
5. SOIL BEARING: ASSUMED BEARING CAPACITY IS 1,000 PSF OWNER/CONTRACTOR VERIFY ACTUAL CAPACITY. IF NOT MINIMUM BEARING CAPACITY, FOOTERS MUST BE REDESIGNED BY A LICENSED PROFESSIONAL.
6. CONCRETE SHALL HAVE THESE MINIMUM STRENGTHS, UNLESS NOTED OTHERWISE: FOOTERS AND BASEMENT SLABS = 2500 PSI; GARAGE SLABS AND EXTERIOR SIDE WALKS: 3,500 PSI WITH 4% TO 1% AIR ENTRAINMENT. PROTECT CEMENT AND MORTAR FOR MINIMUM 1 DAYS AGAINST FREEZING.
7. BUILDING SHEATHING, UNLESS NOTED OTHERWISE, SHALL BE MINIMUM 1/2" THICK.

SMOKE & CARBON MONOXIDE ALARMS

1. COMBINATION SMOKE & CO UNITS ARE PROHIBITED. SEPARATE SMOKE ALARMS AND SEPARATE CO ALARMS ARE REQUIRED.
2. ALL MULTIPLE-STATION UNITS OF THE SAME ALARM SYSTEM SHALL BE INTERCONNECTED WITHIN THE DWELLING, SO THAT ONE UNIT IN ALARM WILL ACTIVATE ALL SIMILAR UNITS IN ALARM.
3. UNITS SHALL BE 110V AC POWER WITH BATTERY BACKUP.
4. ALL UNITS SHALL RECEIVE AC POWER FROM AN UNSWITCHED CIRCUIT (ONLY BREAKER BETWEEN UTILITY POWER AND UNITS).



JOB#: 220-15
DATE: 6-5-2020

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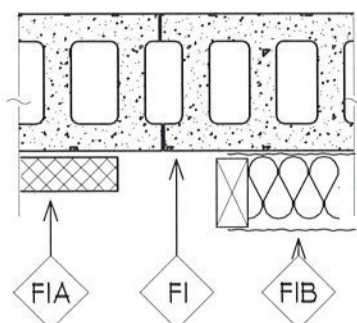
RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY

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ENERGY CODE:
AIR SEALING
REQUIREMENTS

A 0.2

CONSTRUCTION ASSEMBLIES



8" CONCRETE BLOCK WALL

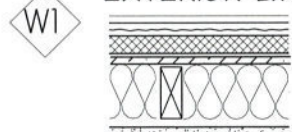
NOMINAL 8X8X16 CONCRETE BLOCK,
HORIZONTAL LADDER REINFORCING, EVERY 2ND COURSE VERT'LY.
ADD VERTICAL REBARS, WHERE NOTED OR SHOWN
SILL BOLTS: BENT J-SHAPE, 12" EMBEDMENT, 4' O.C. MIN.

FI: R-0, NO INSULATION

FIA: R-10: 2" T. POLYSTYRENE BOARD

FIB: R-13: EITHER
6-MIL POLY SHEET + 2X4 + R-13 FIB.GLASS BATT [OR]
VINYL ENCASED FIB.GLASS BLANKET

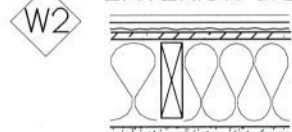
EXTERIOR 2x4 STUD WALL



SIDING

AIR BARRIER, "TYVEC" OR EQUAL
R-5 EPS INSULATION BOARD
WOOD WALL SHEATHING
R-13 FIBERGLASS BATT INSULATION
2X4 WOOD STUDS, 16" O.C.
1/2" GYPSUM BOARD DRYWALL

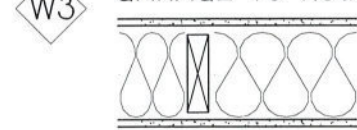
EXTERIOR 2x6 STUD WALL



SIDING

AIR BARRIER, "TYVEC" OR EQUAL
1/2" T. WOOD SHEATHING
R-13 FIBERGLASS BATT INSULATION
2X4 WOOD STUDS, 16" O.C.
1/2" GYPSUM BOARD DRYWALL

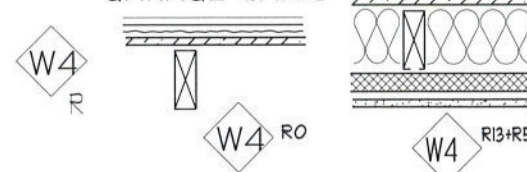
GARAGE TO HOUSE WALL



FIRE DOORS IN WALL: 45-MINUTE, SELF-CLOSING

5/8" TYPE 'X' GYP. BOARD, ON GARAGE SIDE
R-20 FIBERGLASS BATT INSULATION
2X4 WOOD STUDS, 16" O.C.
1/2" TYPE 'X' GYPSUM BOARD DRYWALL

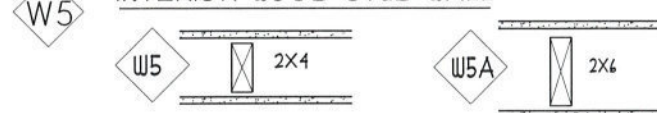
GARAGE WALLS



SIDING

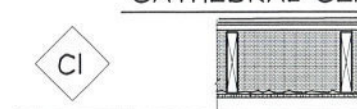
TYVEC AIR BARRIER
WOOD SHEATHING
2X4 STUDS 16" O.C.
WHERE R13+R5: FIBERGLASS BATT & RIGID BD.
1/2" DRYWALL

INTERIOR WOOD STUD WALL



1/2" GYPSUM BOARD
WOOD STUDS, 16" O.C.
1/2" GYPSUM BOARD

CATHEDRAL CEILING



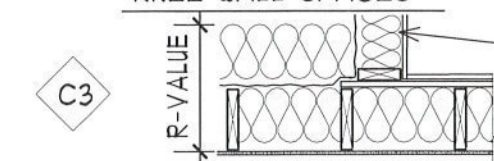
235#/SQ ASPHALT ROOF SHINGLES
15# ASPHALT FELT
SPRAY-ON FOAM INSULATION TO SHEATHING
WOOD RAFTERS OR ROOF TRUSSES
1/2" DRYWALL

GARAGE CEILING



FINISH FLOORING (HEATED SPACE)
R-30 F.GLASS OR CELLULOSE INSULATION
TYVEC AIR BARRIER
5/8" TYPE 'X' GYPSUM BOARD

KNEE WALL SPACES



F.GLASS OR CELLULOSE BETWEEN FLOOR JOISTS
TYVEC WITH REST OF INSULATION ON TOP
WALL: TYVEC + R-20 F.G. BATT
MIN R-20 AT RIM JOISTS WHERE HEATED FLOOR ABOVE
WHERE ATTIC ABOVE: TYVEC BETWEEN DRYWALL
AND CEILING JOISTS, WITH INSULATION ABOVE.

INSULATION EQUIVALENTS:

THE FOLLOWING MATERIALS MAY BE USED IN MULTIPLE LAYERS OF DIFFERING MATERIALS TO ACHIEVE TOTAL SPECIFIED R-VALUE, AND TO SUBSTITUTE MATERIALS DIFFERENT FROM MATERIALS REFERENCED ELSEWHERE.

FIBERGLASS BATT INSULATION

R-VALUE	THICKNESS
R-11	3-1/2"
R-13	3-5/8"
R-15	3-1/2" DENSE
R-19	4-1/4"
R-21	5-1/2"
R-25	8 -> 8-1/2"
R-30	9-1/2"
R-38	12"
R-49	15-1/2"

RIGID INSULATION

MATERIAL	R-VALUE	MOISTURE
"EPS" EXPANDED POLYSTYRENE	R4.1/INCH	RESISTANT
"XPS" EXPANDED POLYSTYRENE	R-5/INCH	ADSORBS
"ISO" POLY-ISOOCYANURATE	R4.9 TO R-7.1	PER MANF LABEL

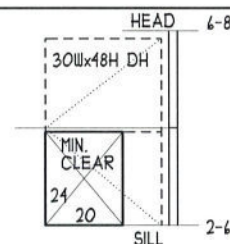
SPRAY-ON FOAM INSULATION

MATERIAL	R-VALUE
OPEN CELL	R-3.5/INCH
CLOSED CELL	R-4.9 TO R-7.1

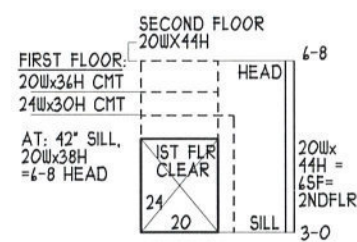
CELLULOSE INSULATION

DENSE PACKED		LOOSE BLOWN	
DEPTH	R-VALUE	DEPTH	R-VALUE
2"	R-7	4.3"	R-13
2.5"	R-9	4.8"	R-15
3"	R-10.5	5.3"	R-19
		6.8"	R-22

IF USING DENSE PACKED IN ATTIC,
USE 1/4" T. PLYWOOD VENT BAFFLES TO
MAINTAIN MINIMUM VENT DEPTH



1ST FLOOR EGRESS
WINDOW MIN 5.0 SF



2ND FLOOR
EGRESS WINDOWS
MIN 5.7 SF

EGRESS WINDOWS

FIRE BLOCKING R-402.8

SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL & HORIZONTAL), AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND A TOP STORY AND ATTIC.

PROVIDE AT CONCEALED SPACES OF STUD WALLS INCLUDING FURRED SPACES, PARALLEL STUDS AND STAGGERED STUDS.

- VERTICALLY AT CEILING AND FLOOR LEVELS
- HORIZONTALLY AT MAXIMUM 10 FOOT DISTANCES

PROVIDE AT ALL INTERCONNECTED HORIZONTAL AND VERTICAL SPACES, SUCH AS, SOFFITS, DROPPED CEILINGS, AND COVE CEILINGS.

PROVIDE BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF EACH FLIGHT.

PROVIDE AT CHIMNEYS, AND CORNICES OF TWO-FAMILY HOUSES ABOVE DWELLING SEPARATION WALLS.

APPROVED MATERIALS IN STUD WALLS & CEILINGS:

- ONE 2X OR TWO 1X SOLID WOOD
- TWO 23/32" STRUCTURAL WOOD LAYERS
- ONE 3/4" PARTICLE BOARD WITH JOINTS COVERED WITH 1/2" DRYWALL OR 3/4" P.B.
- UNFACED FIBERGLASS INSULATION, FULL WIDTH AND THICKNESS OF CAVITY, AND MINIMUM 16" LONG PERMITTED.

APPROVED MATERIALS AT:

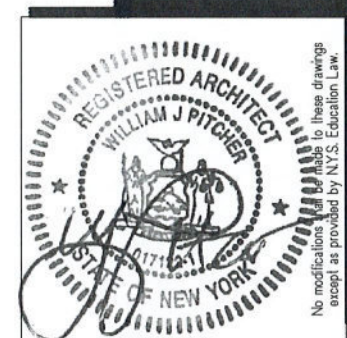
- WHERE DUCTS, PIPES AND CABLES PENETRATE FLOORS, TIGHTLY PACK F.G. BATTS AROUND.
- WHERE STAGGERED- OR PARALLEL-STUD WALLS BLANKETS OF MINERAL OR GLASS WOOL SECURELY SUPPORTED.

STRUCTURAL SCHEDULE

HORIZONTAL MEMBER			VERTICAL END SUPPORT MEMBER		
MARK	TYPE	COUNT & MATERIAL	MARK	TYPE	COUNT & MATERIAL
B-1	BEAM	(3) 1-3/4"x11-1/4" 2.0E MICROLLAM	C-1	COL.	EACH END: (2) - 2X6
B-2	BEAM	(3) 1-3/4"x11-1/4" 2.0E MICROLLAM	C-2	COL.	EACH END: (2) - 2X6
B-3	BEAM	(2) 1-3/4"x11-1/4" 2.0E MICROLLAM	C-3	COL.	EACH END: (1) - 4X4 SPRUCE
B-4	BEAM	(1) W8 X 58 STEEL, 36K	C-4	COL.	3" DIA. STEEL PIPE, SCH.40, GROUT-FILLED HEAD & BASE PLATES, 2 HOLES: 8"x4"x1/2"
B-5	BEAM	(2) 2X10 SPRUCE	C-5	COL.	(ALL) 4x4 PRESSURE TREATED WOOD
HD-1	HEADER	TWO 2X10 SPRUCE #1/#2	JS-1	J.S.	(2) JACK STUDS EACH END
HD-2	HEADER	ONE 2X6 SPRUCE #1/#2	JS-1	J.S.	(1) JACK EACH END, 2 INTERMEDIATE 2X6

NOTES:

1. PROVIDE ALL ATTACHMENT SHOES, PLATES & CLIPS.
2. ANCHOR ALL COLUMNS, SILL PLATES AND SHEAR PANEL TO FOUNDATION
3. HOLD-DOWN CLIPS BETWEEN ALL RAFTERS AND WALLS.



JOB#: 220-15
DATE: 6-5-2020

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RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY

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WALLS TYPES,
EGRESS,
&
NOTES

A 0.3

Pictures of project site and streetscape for 102 Charlotte street Home renovation.

Pictures of home when I purchased it (It had been Vacant for almost Three Years)



Northwest corner of house when purchased



Southwest corner when Purchased



Front of house at purchase

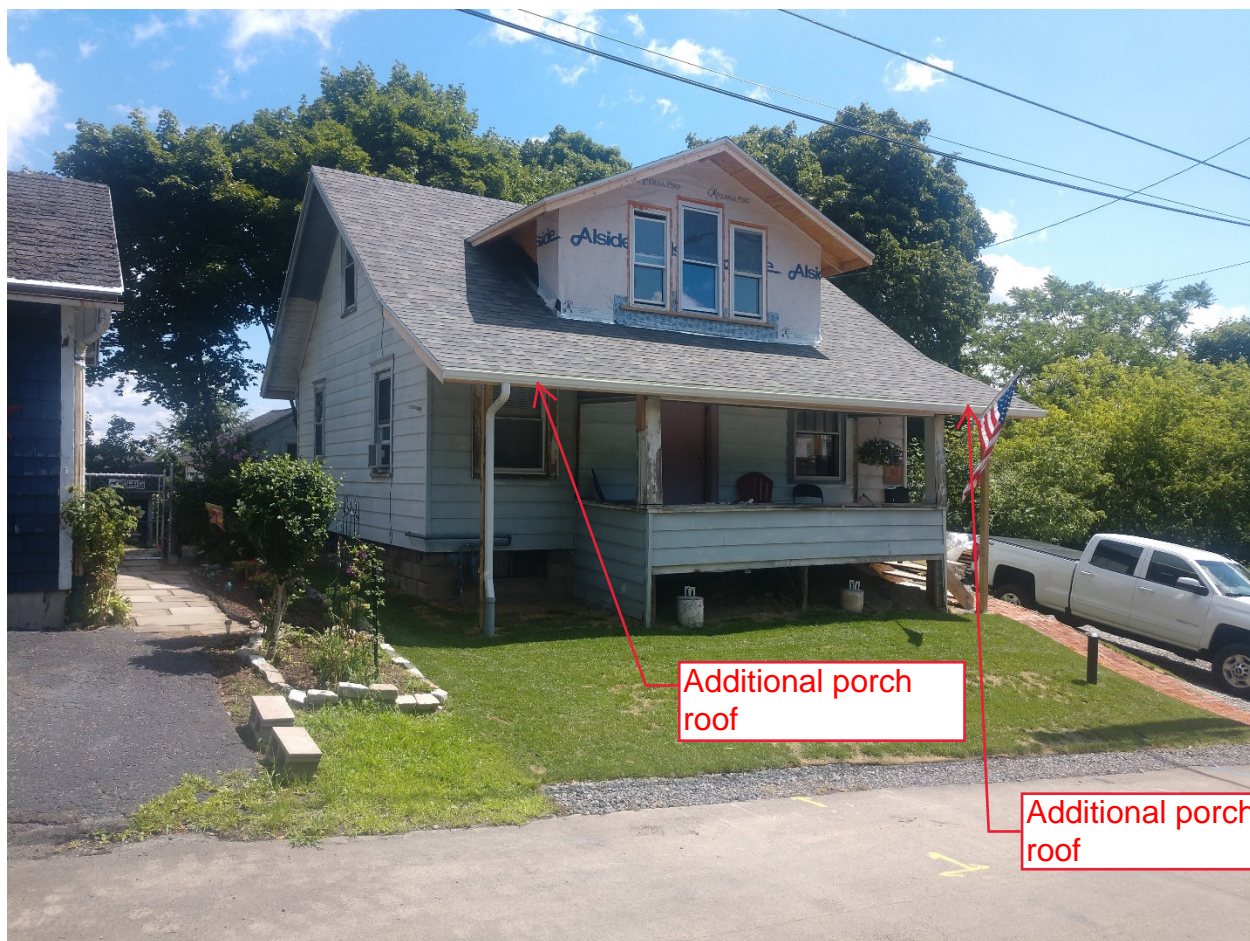


Back Yard at time of Purchase

Current Pictures Of my home



Current view of home from across the street



Current Northwest corner of home



Current Back Yard

Streetscape



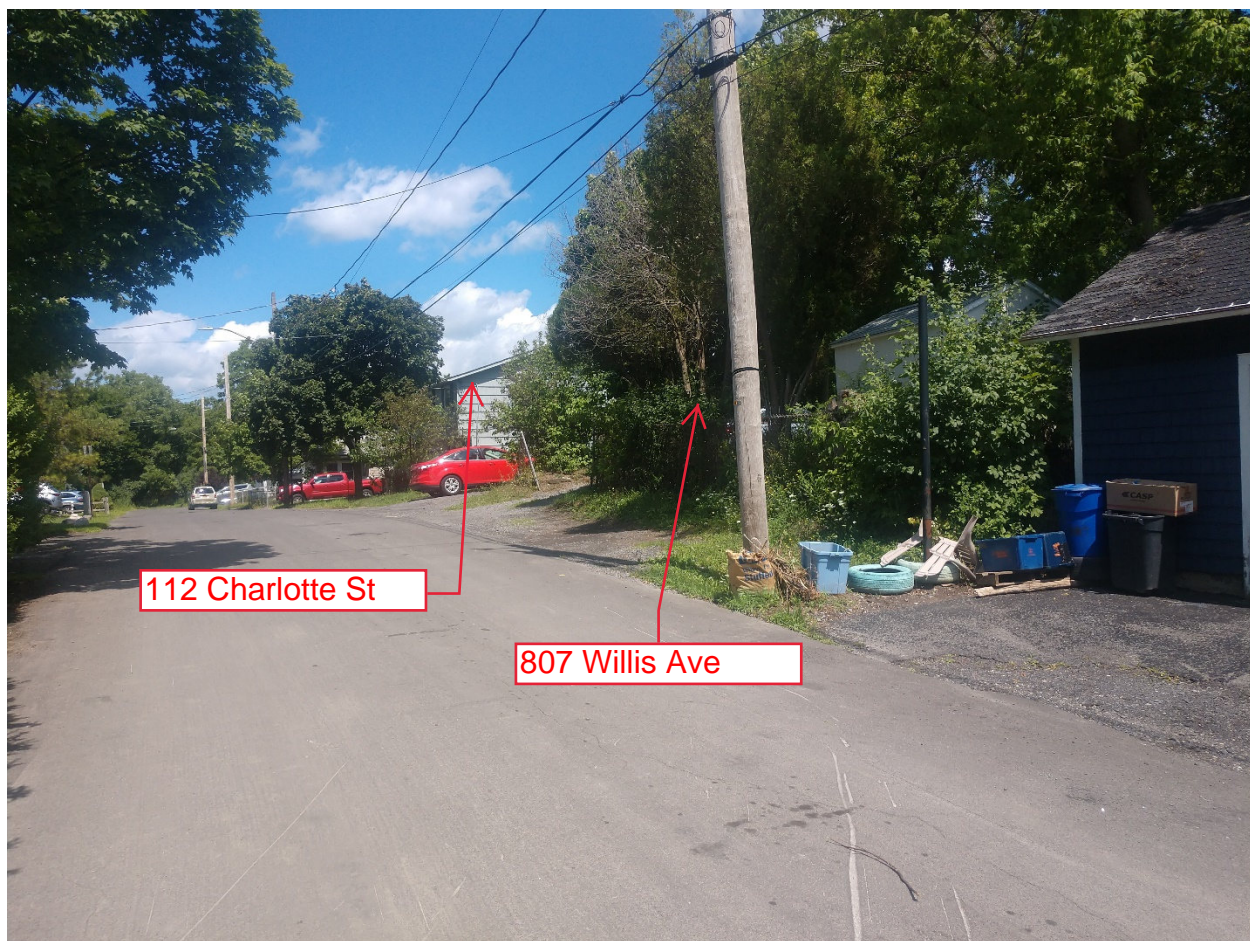
Standing Directly in front of house looking south on street



House directly across street to the southwest



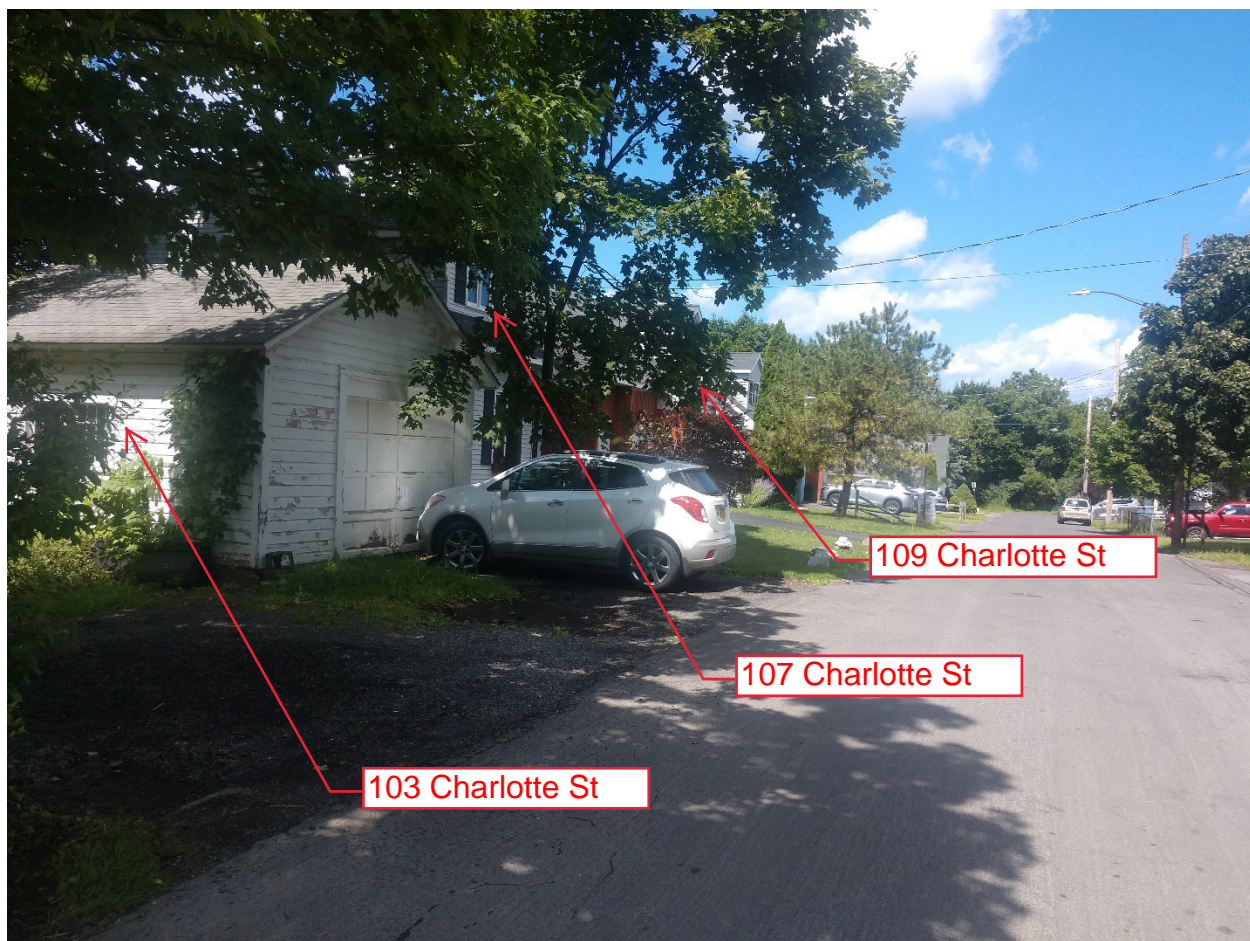
House directly next-door to the north



112 Charlotte St

807 Willis Ave

Standing in front of house looking north east. on street



House North-west of house looking north on street.