

City of Syracuse
Office of Zoning Administration

VARIANCE APPLICATION

City Hall Commons - Room 500 * 201 E. Washington Street * Syracuse, NY 13202-1426
315-448-8640 * zoning@syr.gov * www.syr.gov/Zoning.aspx

Office Use Filing Date: 2/1/2021 Case: V-82-015M1 Zoning District: OB (1970), BA

VARIANCE REQUESTED (Check applicable and briefly describe.)

- ☐ Area Variance: _____
Cited Zoning Ordinance _____
Part(s), Sec(s), Art(s): _____
- ☐ Use Variance: Ordinance Part B Sec. 2 Art.2(2)(d)(1) (Office District B with
Cite Zoning Ordinance Restaurant Accessory Use) Part C Sec. IV Article 8.1 (Restaurant)
Part(s), Sec(s), Art(s): _____

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) <u>454 James Street</u>	<u>103.-03-04.1</u>	<u>Radha Krisna Corp</u>	<u>2004</u>
2) _____	_____	_____	_____
3) _____	_____	_____	_____
4) _____	_____	_____	_____

As listed in the **Syracuse Department of Tax Assessment** property tax records at <http://syr.gov/Assessment.aspx>, 315-448-8280.

COMPANION ZONING APPLICATION(S) (List any related Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

1) Resubdivision 2) _____ 3) _____

PROJECT CONSTRUCTION (Check all that apply and briefly describe.)

- ☐ Demolition (full and partial): _____
- ☐ New Construction: Interior revnovation, new finishes, casework and equipment
- ☐ Façade (Exterior) Alterations: New Exterior Canopy and Signage Installation
- ☐ Site Changes: _____

PROJECT INFORMATION (Briefly describe, as applicable.)

Business/Project Name: Mi Isla Restaurant

Current Land Use(s): Restaurant on Level 1 & Residential (6 units) on Level 2

Proposed Land Use(s): Restaurant on Level 1 & Residential (6 units) on Level 2

Number of Dwelling Units: 6

Days and Hours of Operation: Monday through Saturday 7:00 a.m. to 9:00 p.m.

Number of Onsite Parking Spaces: 0

PROJECT DESCRIPTION (Provide a brief description of the project, including purpose or need.)

Modification of previously approved use variance to allow expansion of existing restaurant from 1,945 square feet to 3,030 square feet, as well as new fabric canopy and signage to be installed on James Street Façade. The need for the same is resulting from tenant request for use in tenant's business venture. The restaurant area has remained vacant since it was vacated by Cristo's Restaurant in 1982. The need is due to owner's need for reasonable return after numerous and consistent attempts to utilize the space pursuant to allowable uses.

USE VARIANCE TEST (see [https://www.dos.ny.gov/lg/publications/Zoning Board of Appeals.pdf](https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf))

A Use Variance is permission to establish a land use which is not allowed by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that this has caused an unnecessary hardship using all of the four tests below. *Briefly describe below how each of the required Use Variance tests is met and attach all supporting materials.*

1. Describe how the property is incapable of earning a **reasonable return** on initial investment if used for any of the allowed uses in the district (actual "dollars and cents" proof must be submitted):
The property is unable to earn a reasonable return despite many attempts by owner to obtain tenants falling under one of the allowable uses listed in Part B, Article 2(2). Specifically, over the course of eight (8) years, owner has on his own and via contracts with Pyramid and Sutton tried to obtain tenants with allowable uses without success. In addition, owner attempted to combine the space with the hotel in 2013/14 during a renovation of the hotel, but the costs of implementation were substantial in that the cost outweighed the probability of a reasonable return. Any potential interested tenants were unwilling to pay the rental rate required to transform the current restaurant layout to another use. Despite making all reasonable attempts, and paying property taxes, owner has been unsuccessful in deriving any revenue.
2. Describe how the property is being affected by **unique circumstances**, or at least highly uncommon circumstances:
The portion of the property in question is presently built and outfitted, since the early 1980s and is a space of a mere 1,945 sq.ft. limiting the potential for turnovers of available tables in order to break even. The restaurant area of the building has also remained unoccupied for over thirty (30) years creating a stigma as to the desirability of potential tenants due to outdated fixtures and finishes. All other acceptable uses would require a complete overhaul of the current layout making the rental cost to cover an entire renovation and refitting to tenant requirements other than restaurant creates is reasonably and largely undesirable to potential tenants. In addition, the limitations of available parking for the building as a whole only furthers the lack of interest by potential commercial tenants seeking space for desirable uses.
3. Describe how the variance, if granted, will not alter the essential **neighborhood character**:
There is no plan to complete any work to the exterior of the building, but for a new awning and signage that would meet ordinance requirements. The neighborhood character is largely surrounded by other Office Class B uses, Commercial Class A uses, and even Industrial Class A uses. Additionally, in the nearby surrounding areas there are other restaurants including a 7-Eleven Convenience store and Original Italian Pizza across the street. The incorporation of this restaurant would be fluid within the character of the neighborhood and would simply offer nearby residents and business employees another dining option.
4. Describe how the hardship is not **self-created**:
The use variance was previously approved granting restaurant use at this location. It was designed, constructed as a restaurant, and later utilized by Cristo's Restaurant until 1986. It is this prior approved use and actual subsequent build out that limits alternate marketability of the space for other uses to potential tenants without further limiting a reasonable return by absorbing the cost of a rebuild or charging tenants above the standard rental rate of the area to cover the costs of the same. Upon acquiring the property in 2004, the location had already remained vacant for 18 years without obtaining a willing tenant. Since acquiring the property in 2004, and for the next 16 years, owner has undertaken every reasonable attempt to obtain a reasonable return on the property by aggressively seeking willing tenants to no avail, until now.

AREA VARIANCE TEST (see https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf)

An Area Variance is permission to build in a portion of the property that is otherwise restricted by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that the potential benefit of an Area Variance will outweigh any burden to community health, safety and welfare through a five-part balancing test. *Briefly describe how an Area Variance would affect the community using the following five tests and attach all supporting materials.*

1. Describe whether an undesirable change will be produced in the **character of the neighborhood**, or a detriment to nearby properties will be created by the granting of the area variance:
Not Applicable - only a modification of a use variance is sought through this application.

2. Describe whether the benefit sought by the applicant can be **achieved by some other method** which will be feasible for the applicant to pursue but would not require an area variance:
Not Applicable - only a modification of a use variance is sought through this application.

3. Describe whether the requested area variance is **substantial**:
Not Applicable - only a modification of a use variance is sought through this application.

4. Describe whether the proposed area variance will have an **adverse effect or impact** on the physical or environmental conditions in the neighborhood or district:
Not Applicable - only a modification of a use variance is sought through this application.

5. Describe whether an alleged difficulty is **self-created**.
Not Applicable - only a modification of a use variance is sought through this application.

City of Syracuse Office of Zoning Administration

PROPERTY OWNER(S) (required)

As listed in the Syracuse Department of Tax Assessment property tax records available at <http://syrgov.net/Assessment.aspx>, or at 315-448-8280. If not listed as the current owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a one page letter describing the legal representative arrangement. If the property owner is a Corporation or Organization, the person signing must provide verification they are a member. Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.

Naresh	Patel	Owner	Radha Krisna Corp.		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
446 Jame Street		Syracuse	NY	13203	Phone: 315-373-9911
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: nysotel@yahoo.com</i>
* Signature: <i>Naresh M Patel</i>			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
			<i>Phone:</i>		
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
			<i>Phone:</i>		
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
			<i>Phone:</i>		
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email:</i>
* Signature:			Date:		

*** OWNER SIGNATURE DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

Viraj	Patel	Managing Partner	Radha Krisna, Corp		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
446 James Street		Syracuse	NY	13203	Phone: 315-373-9911
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: nysotel@yahoo.com</i>
Juvenal	Vizcaino	Managing Partner	Mi Isla, LLC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
1013 Lodi Street	2	Syracuse	NY	13203	Phone: 786-560-3137
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: miisla2020@yahoo.co</i>

REPRESENTATIVE(S)/CONTACT(S) (if applicable)

Anthony	Rojas	Architect	in-ARCHITECTS, PLLC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
239 E. Water Street	2nd Floor	Syracuse	NY	13202	Phone: 315-728-9458
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: arojas@in-architects.c</i>
Lourdes	Rosario	Attorney	Rosario Law Firm, PLLC		
<i>First Name</i>	<i>Last Name</i>	<i>Title</i>	<i>Company</i>		
311 Montgomery St.	Suite 1	Syracuse	NY	13202	Phone: 315-362-2639
<i>Street Address</i>	<i>Apt / Suite / Other</i>	<i>City</i>	<i>St</i>	<i>Zip</i>	<i>Email: LRosarioEsq@gmail.c</i>

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

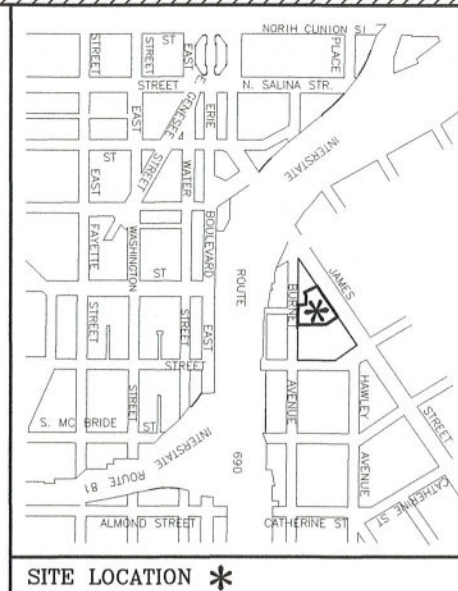
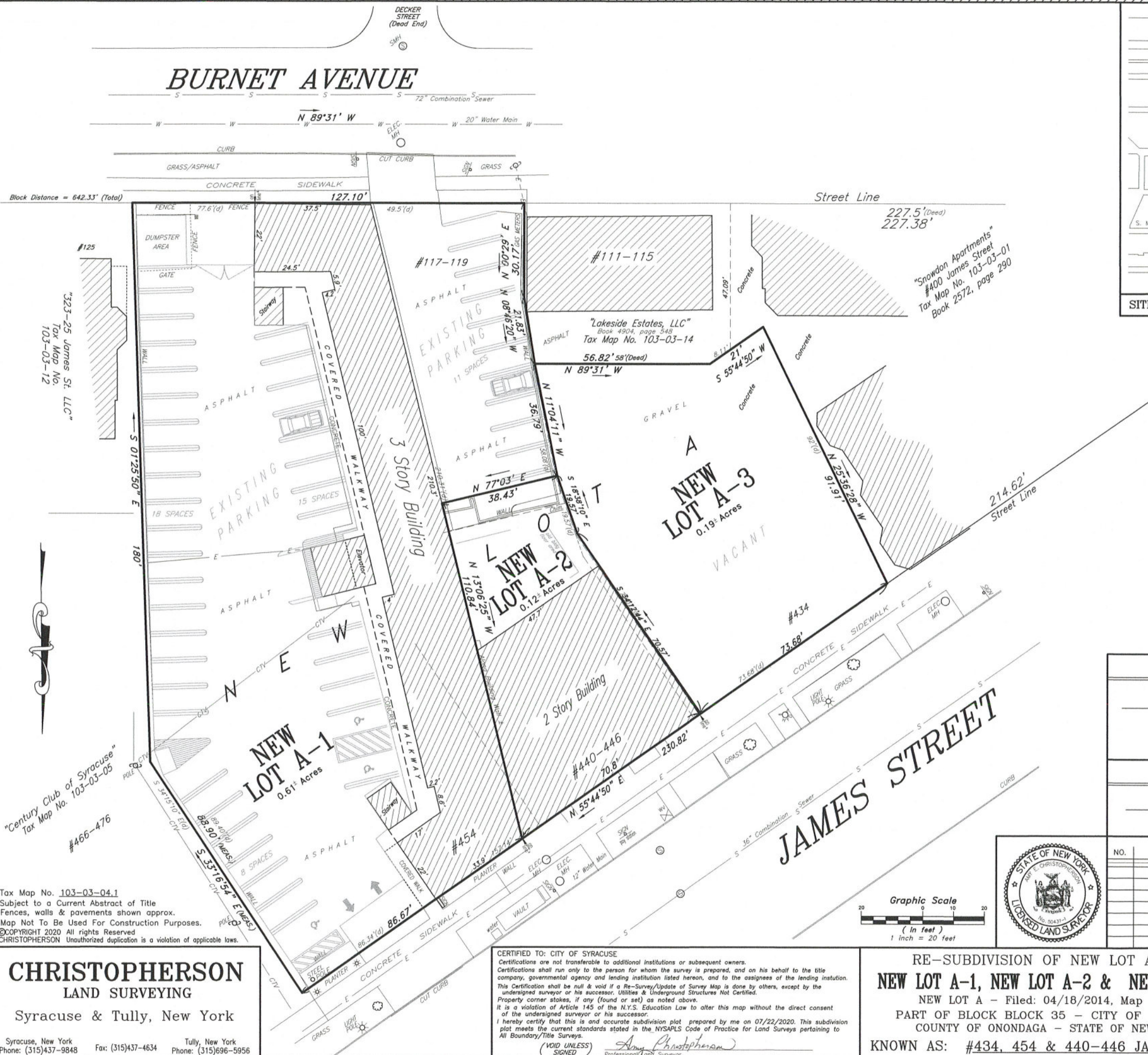
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Viraj Patel, Radha Krishna Corp.			
Name of Action or Project:			
454 James Street			
Project Location (describe, and attach a location map):			
454 James Street, Syracuse, New York			
Brief Description of Proposed Action:			
No changes to physical structures are being proposed. Instead, a re-subdivision and modification of a Use Variance is applied for.			
Name of Applicant or Sponsor:		Telephone: 315-373-9911	
Viraj Patel		E-Mail: nyshotel@yahoo.com	
Address:			
454 James Street			
City/PO:		State:	Zip Code:
Syracuse		New York	13203
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
			<input checked="" type="checkbox"/>
			<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
			<input checked="" type="checkbox"/>
			<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned _____ acres			
or controlled by the applicant or project sponsor?			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

PRINT FORM

BURNET AVENUE



Approved:

Dated:

RADHA KRISNA CORP.
454 JAMES STREET
SYRACUSE, NY 13203

Approved:

Dated:

CITY OF SYRACUSE



NO.	DATE	BY	REVISIONS

RE-SUBDIVISION OF NEW LOT A INTO
NEW LOT A-1, NEW LOT A-2 & NEW LOT A-3
NEW LOT A - Filed: 04/18/2014, Map #11832
PART OF BLOCK BLOCK 35 - CITY OF SYRACUSE
COUNTY OF ONONDAGA - STATE OF NEW YORK
KNOWN AS: #434, 454 & 440-446 JAMES STREET

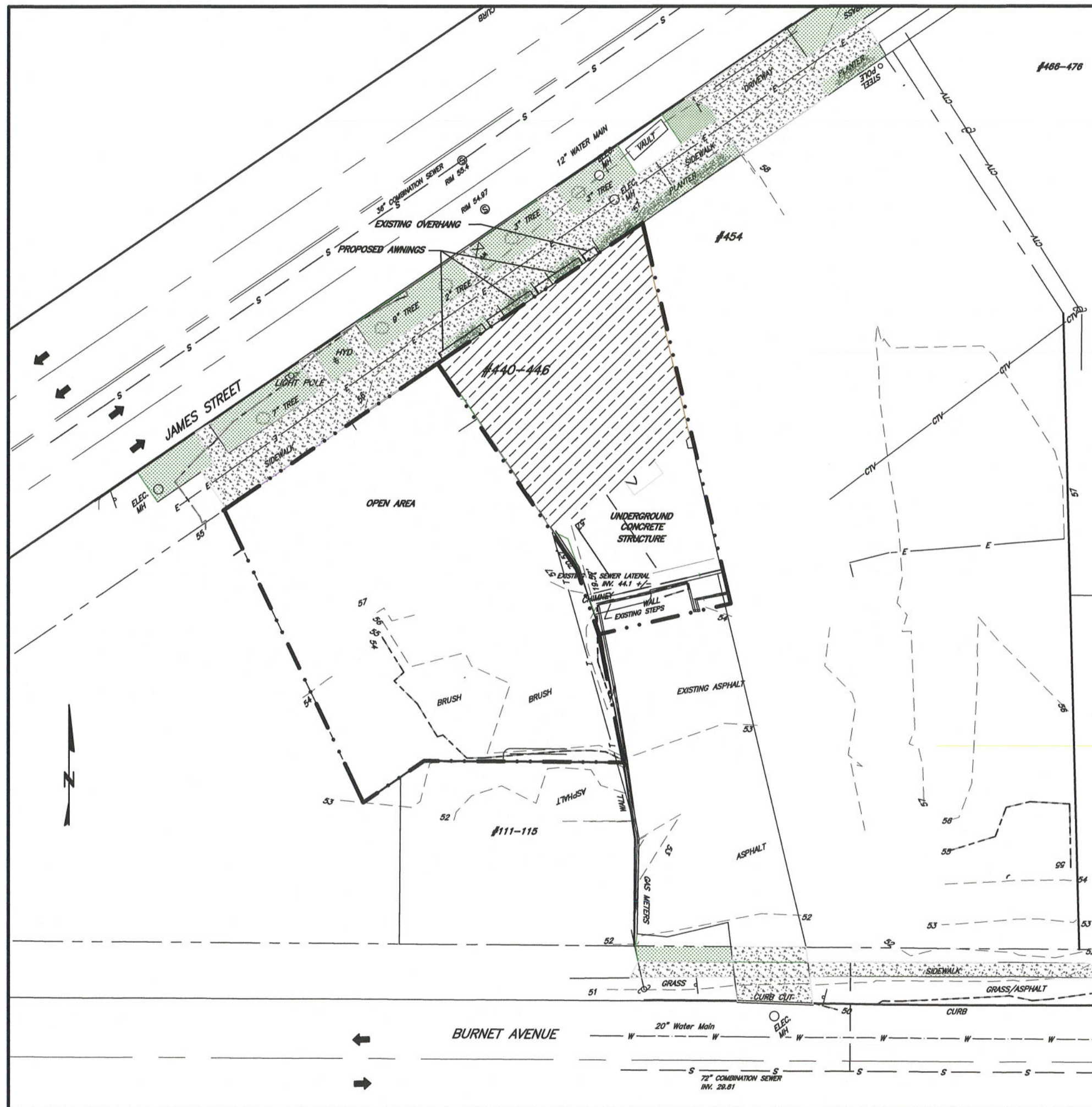
Made By: HBC/ATC
Reviewed By: HBC
Date: 02/08/2021
Scale: 1"=20'
File: 6694H-SUB2
Disk: CD 1631

Tax Map No. 103-03-04.1
Subject to a Current Abstract of Title
Fences, walls & pavements shown approx.
Map Not To Be Used For Construction Purposes.
©COPYRIGHT 2020 All rights Reserved
CHRISTOPHERSON Unauthorized duplication is a violation of applicable laws.

CHRISTOPHERSON
LAND SURVEYING
Syracuse & Tully, New York

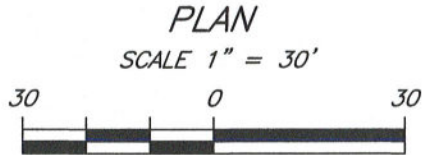
Syracuse, New York
Phone: (315)437-9848 Fax: (315)437-4634
Tully, New York
Phone: (315)696-5956



CERTIFIED TO: CITY OF SYRACUSE
Certifications are not transferable to additional institutions or subsequent owners.
Certifications shall run only to the person for whom the survey is prepared, and to the assignees of the lending institution.
This Certification shall be null & void if a Re-Survey/Update of Survey Map is done by others, except by the undersigned surveyor or his successor. Utilities & Underground Structures Not Certified.
Property corner stakes, if any (found or set) as noted above.
It is a violation of Article 145 of the N.Y.S. Education Law to alter this map without the direct consent of the undersigned surveyor or his successor.
I hereby certify that this is an accurate subdivision plat prepared by me on 07/22/2020. This subdivision plat meets the current standards stated in the NYSAPLS Code of Practice for Land Surveys pertaining to All Boundary/Title Surveys.
(VOID UNLESS SIGNED)
Christopherson
Professional Land Surveyor



LEGEND

- EXISTING BUILDING
- EXISTING SIDEWALK
- EXISTING GREEN SPACE
- ROAD CENTERLINE
- EXISTING PROPERTY LINE
- NEW LOT BOUNDARY



WASTEWATER DRAINAGE	 W-M ENGINEERING, DPC P.O. BOX 37, SOLVAY, N.Y. 13209 315-952-8159 WMORSE@WMENGINEERS.COM	HIGHWAY WATER
		
PLAN EXISTING SITE		
440-446 JAMES ST.		
CITY OF SYRACUSE	COUNTY OF ONONDAGA	
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7208 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW.		DATE: JANUARY 2, 2020
SCALE: AS NOTED DRAWN BY: WDM		CHECKED BY:
REVISED: 1/17/21 2/23/21		JOB NO. B102 DWG NO. B102-1EXA SHEET NO. OF

ARCHITECT

IN-ARCHITECTS, PLLC
239 EAST WATER STREET
SYRACUSE, NY 13202
(315) 728-9458 (phone)
PRIMARY CONTACT: ANTHONY ROJAS
E-MAIL: AROJAS@IN-ARCHITECTS.COM

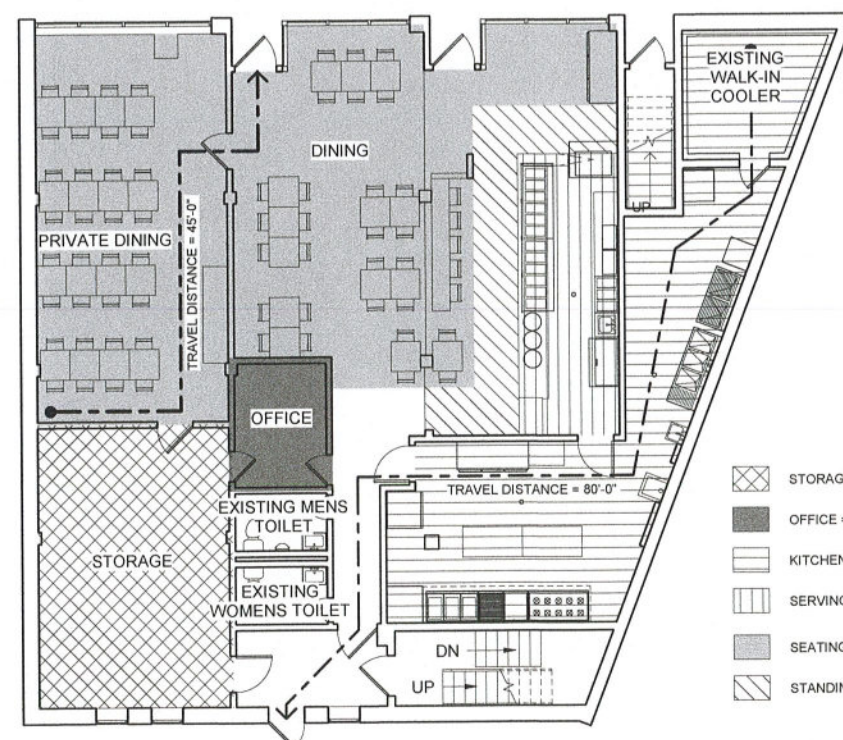
OWNER

MI ISLA RESTUARANT, LLC
446 JAMES STREET
SYRACUSE, NY 13203
(315) 350-6478 (phone)
CONTACT: MANUEL G. RODRIGUEZ
E-MAIL: MIISLA2020@YAHOO.COM

MI ISLA RESTAURANT

446 JAMES STREET
SYRACUSE, NEW YORK

PROJECT #20029



EGRESS PLAN - GROUND FLOOR
SCALE: 1/8" = 1'-0"

CODE SUMMARY

PROJECT:
MI ISLA RESTAURANT - WORK AREA COMPLIANCE ALTERATION LEVEL 2 (3,030 SF)

GOVERNING CODES:
2020 EXISTING BUILDING CODE OF NEW YORK STATE
2020 BUILDING CODE OF NEW YORK STATE
2020 MECHANICAL CODE OF NEW YORK STATE
2020 FIRE CODE OF NEW YORK STATE
2020 PLUMBING CODE OF NEW YORK STATE
2020 FIRE CODE OF NEW YORK STATE
2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
PROPERTY CONSERVATION CODE OF THE CITY OF SYRACUSE
REFERENCE CODES:
ICC A117.1 2009
NFPA 13-2016 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS
NFPA 72-2016 NATIONAL FIRE ALARM CODE
NFPA 101-2018 LIFE SAFETY CODE

USE AND OCCUPANCY:
RESTAURANT A2

CONSTRUCTION CLASSIFICATION:
TYPE II NON-COMBUSTIBLE, FULLY SPRINKLERED

OCCUPANT LOAD:
STORAGE = 410 SF / 300 = 2 OCCUPANTS
OFFICE = 95 SF / 100 = 1 OCCUPANT
KITCHEN = 695 SF / 200 = 4 OCCUPANTS
BAR = 205 SF / 200 = 2 OCCUPANT
SEATING = 1,186 SF / 15 = 80 OCCUPANTS
STANDING = 156 SF / 5 = 32 OCCUPANTS

TOTAL = 121 OCCUPANTS

EXIT ACCESS TRAVEL DISTANCE:
2 EXITS REQUIRED, 3 EXITS PROVIDED

EXIT DOOR WIDTH CALCULATION:
120 OCC X .2 = 24" REQUIRED

(2) 36" DOORS EXISTING - 32" X 2 = 64"
(2) 42" DOORS EXISTING - 32" X 2 = 66"
130" PROVIDED

PLUMBING FIXTURES:
120 OCCUPANTS = 60 MALE, 60 FEMALE

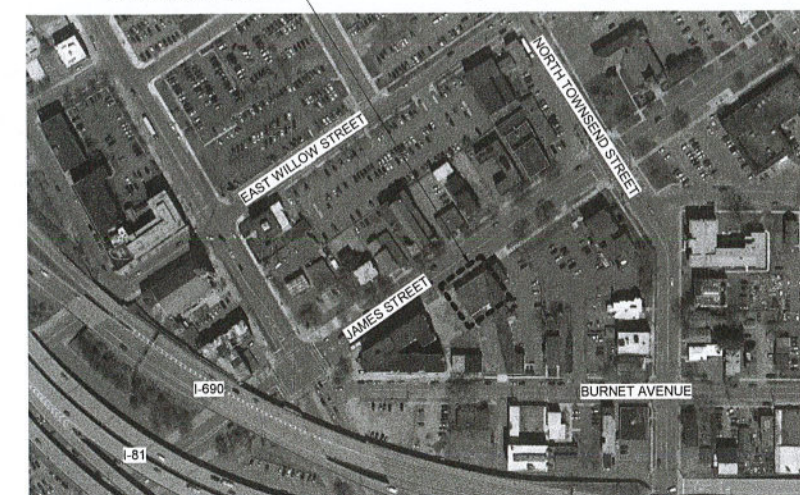
WATER CLOSETS = MALE - 1 PER 75 = 1 REQUIRED, 1 PROVIDED
FEMALE - 1 PER 75 = 1 REQUIRED, 1 PROVIDED

LAVATORIES = MALE - 1 PER 200 = 1 REQUIRED, 1 PROVIDED
FEMALE - 1 PER 200 = 1 REQUIRED, 1 PROVIDED

SERVICE SINK = 1 REQUIRED, 1 PROVIDED

DRAWING LIST				
SHEET NUMBER	SHEET NAME	ISSUED DATE	REVISION #	REVISION DATE
GENERAL INFORMATION				
A001	COVER SHEET	05/11/2020	1	7/16/2020
A002	GENERAL INFORMATION	05/11/2020	1	7/16/2020
ARCHITECTURAL				
A200	SITE PLAN		1	7/16/2020
A201	FLOOR PLAN	05/11/2020	1	7/16/2020
A202	REFLECTED CEILING PLAN	05/11/2020	1	7/16/2020
A203	SECOND FLOOR PLAN		1	7/16/2020
A301	EXTERIOR ELEVATIONS		1	7/16/2020

446 JAMES STREET
SYRACUSE, NEW YORK



SITE PLAN
SCALE: NOT TO SCALE



ARCHITECTS

239 E. Water Street - 2
Syracuse, New York 13202

www.in-ARCHITECTS.COM



IT IS THE VIOLATION OF THE LAW FOR ANY PERSON TO ACT UNDER THE DIRECTION OF A LICENSE TO ALTER AN ITEM IN ANY WAY IF AN ITEM SEAL OF AN ARCHITECT IS ALTERED. THE ARCHITECT SHALL AFFIX TO HIS ITEM THE NOTATION "ALTERED BY" FOLLOWED BY THE NAME AND THE DATE OF SUCH ALTERATION AND A DESCRIPTION OF THE ALTERATION.

MI ISLA RESTAURANT
446 JAMES STREET
SYRACUSE, NEW YORK

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

REVISIONS	
NO.	DESCRIPTION
1	Revision 1

COVER SHEET

Project Status PERM

Date 05/11/2020

Project Number

Drawn By

Checked By

A00

A

B

C

A1
A002

A2
A002

A3
A002

A4
A002

B1
A002

B3
A002

B4
A002

C1
A002

C2
A002

C3
A002

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE TO CHECK PLANS AND IS TO NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
2. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. **DO NOT SCALE THE DRAWINGS.**
3. ALL DEMOLITION SHALL BE PERFORMED TO ACCOMMODATE NEW CONSTRUCTION. THE DEMOLITION CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH PLUMBING MECHANICAL, ELECTRICAL, AND FIRE ALARM SYSTEMS AND TO MAINTAIN FULL OPERATION AND FUNCTIONAL CAPACITY.
4. CONTRACTOR SHALL DISPOSE ALL MATERIALS IN A LAWFUL AND LEGAL MANNER.

GENERAL CONSTRUCTION NOTES
SCALE: NO SCALE

TYPICAL ROOM ADA SIGNAGE

MINIMUM 5/8" HIGH
TACTILE TEXT RAISED 1/32"
FULL CAPITAL SANS SERIF
FONT OR SIMPLE SERIF
TYPE FONT

GRADE 2 BRAILLE

ELECTRICAL
ROOM

*ALL ADA SIGNAGE TO BE MOUNTED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. IN INSTANCES, WHERE THERE IS NO WALL SPACE ADJACENT TO THE LATCH SIDE OF THE DOOR (INCLUDING DOUBLE-LEAF DOORS) SIGNAGE SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL. ALL ADA SIGNAGE SHALL BE MOUNTED 5'-0" TO THE CENTLINE OF THE SIGN. A PERSON MUST BE ABLE TO APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.

TYPICAL RESTROOM ADA SIGNAGE

PICTOGRAM BORDER
OR BACKGROUND FIELD
MINIMUM 6" HIGH

MINIMUM 5/8" HIGH
TACTILE TEXT RAISED 1/32"
FULL CAPITAL SANS SERIF
FONT OR SIMPLE SERIF
TYPE FONT

GRADE 2 BRAILLE

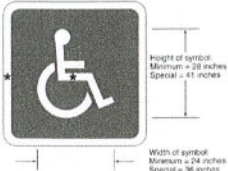
PROVIDE AT UNISEX RESTROOM



PROVIDE AT RESTROOM

INTERNATIONAL ACCESSIBILITY SIGN

PROVIDE AT ADA TOILET STALL

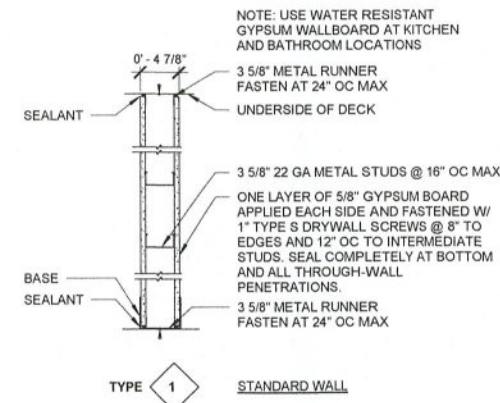


Height of symbol
Minimum = 24 inches
Special = 41 inches
Width of symbol
Minimum = 24 inches
Special = 36 inches
Stroke width:
Minimum = 3 inches
Special = 4 inches

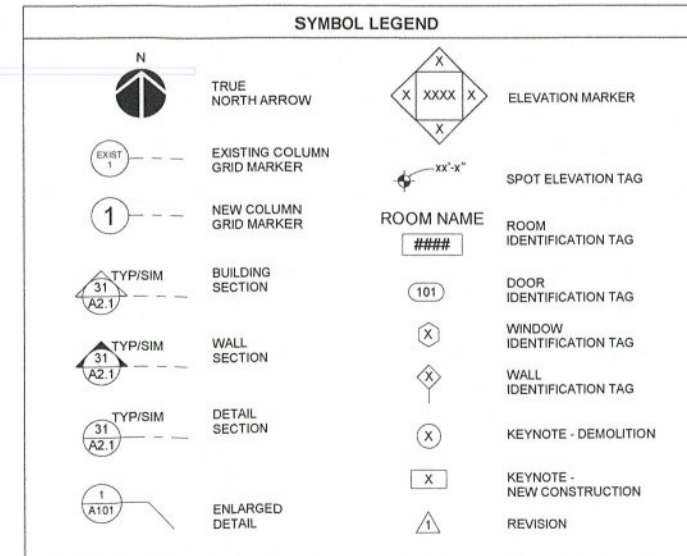
DEMOLITION NOTES:

1. ALL DEMOLITION MATERIAL SHALL BE DISPOSED OFF SITE BY CONTRACTOR EXCEPT FOR MATERIAL TO BE REUSED OR AS DIRECTED EXECUTE CUTTING AND REMOVAL METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK AND WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS AND NEW WORK.
2. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL MATERIALS IN A LAWFUL AND LEGAL MANNER.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DUMPSTER AND DEMOLITION PERMITS.
4. CONTRACTOR TO COORDINATE ALL PHASES OF DEMOLITION FOR PROJECT AND NOTIFY THE ARCHITECT AND ENGINEERS OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF DEMOLITION.
5. CONTRACTOR TO COORDINATE WITH LANDLORD'S MANAGER AS TO THE PROTECTION AND/OR STORAGE OF ANY ITEMS TO BE SAVED FROM DEMOLITION.
6. CONTRACTOR IS TO COORDINATE WITH THE MANAGEMENT FOR THE USE OF THE SITE AND SERVICES, AND TO CONFORM TO ALL REGULATIONS WITH THE REGARD TO DEMOLITION.
7. FIELD VERIFY ALL EXISTING SPACES AND CONDITIONS TO BE DETERMINE THE COMPLETE SCOPE OF WORK.
8. WHERE EXISTING MATERIALS AND FINISHES ARE DISTURBED OR LEFT INCOMPLETE BY THE REMOVALS OR CHANGES SHOWN ON ALL DRAWINGS THE CONTRACTOR SHALL CUT-PATCH AND FINISH THESE AREAS AS REQUIRED FOR A UNIFORM APPEARANCE AT FLOORS, WALLS, CEILINGS, SOFFITS, TRIM, FINISHES, ETC.
9. PROTECT EXISTING BUILDING ELEMENTS TO REMAIN AS REQUIRED. MEP DEMOLITION SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO ANY REMOVALS FOR ANY ITEMS TO BE SAVED FROM DEMOLITION.
10. ALL ELECTRICAL IN AREAS OF WORK TO BE DISCONNECTED & MADE SAFE BY LICENSED ELECTRICAL CONTRACTOR PRIOR TO DEMOLITION. CONTRACTOR TO PROVIDE TEMPORARY POWER AND LIGHTING THROUGHOUT COURSE OF THE JOB. PROVIDE TEMPORARY LIFE SAFETY SYSTEMS AS REQUIRED BY LOCAL A.H.J.
11. ALL WORK SHALL COMPLY TO APPLICABLE LOCAL AND CITY BUILDING CODES AS WELL AS ANY REGULATORY AGENCIES, I.E. OSHA. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH THE LOCAL REGULATIONS REGARDING HOURS IN WHICH DEBRIS CAN BE REMOVED FROM THE SITE.

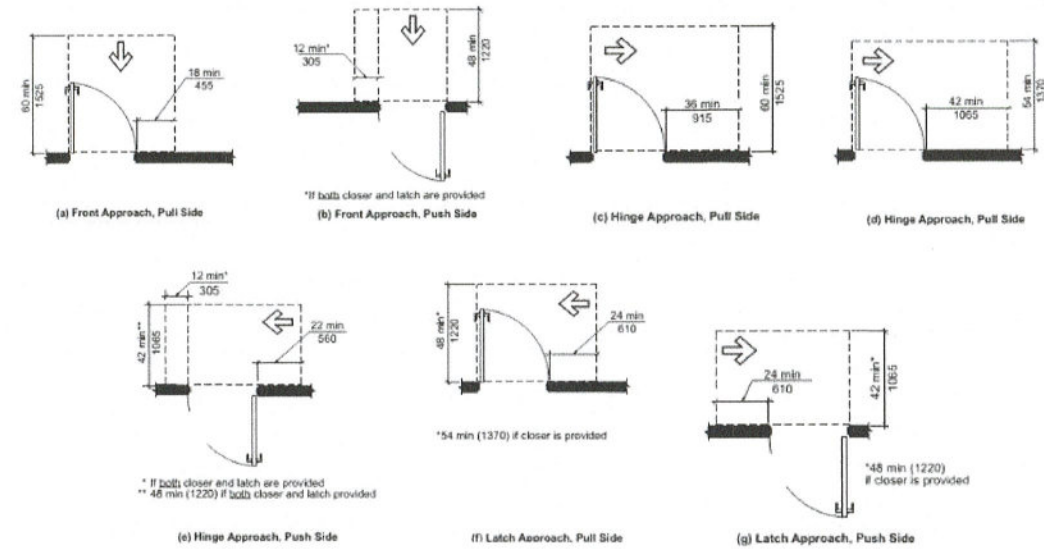
GENERAL DEMOLITION NOTES
SCALE: NO SCALE



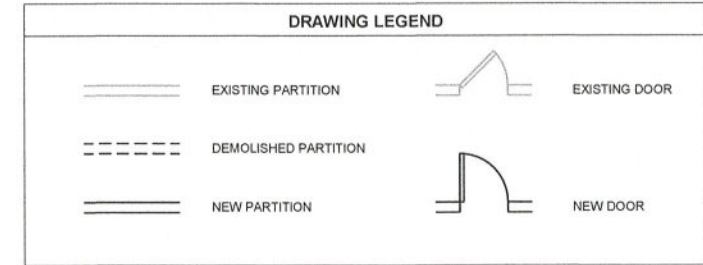
PARTITION TYPES
SCALE: 1" = 1'-0"



SYMBOL LEGEND
SCALE: NOT TO SCALE



TYPICAL ANSI MANEUVERING CLEARANCES AT DOORS
SCALE: NOT TO SCALE

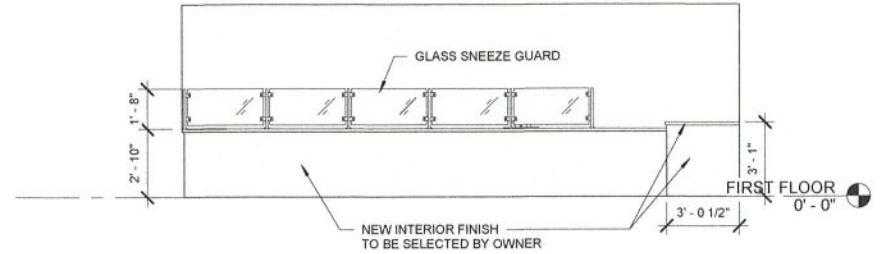
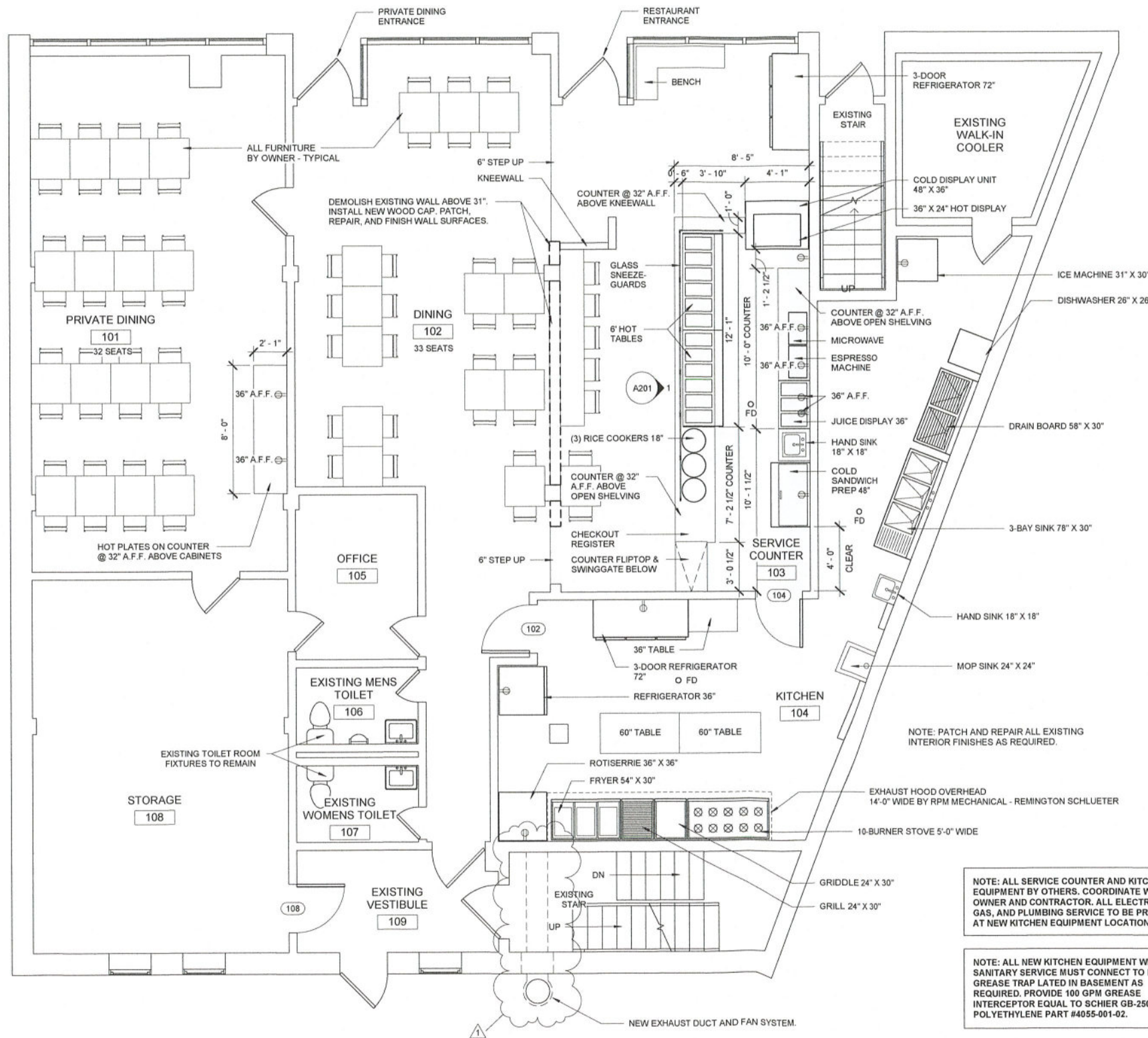


11/10/2020 9:03:00 AM

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A
B
C

C1 FLOOR PLAN
A201 SCALE: 1/4" = 1'-0"



DOOR SCHEDULE

- 102 - 3'-0" W X 7'-0" H HOLLOW METAL FRAME & DOOR. DOOR TO HAVE GLASS VISION PANEL. COORDINATE DOOR, FINISH & HARDWARE SELECTION W/ OWNER
- 104 - 3'-0" W X 7'-0" H HOLLOW METAL FRAME & DOOR. DOOR TO HAVE GLASS VISION PANEL. COORDINATE DOOR, FINISH & HARDWARE SELECTION W/ OWNER
- 108 - 3'-0" W X 7'-0" H HOLLOW METAL FRAME & DOOR. COORDINATE FINISH & HARDWARE SELECTION W/ OWNER

DRAWING LEGEND:

- CO CO DETECTOR LOCATION
S SMOKE DETECTOR LOCATION
H FIRE ALARM HORN LOCATION
S FIRE ALARM STROBE LOCATION

NOTES:

1. FIRE ALARM PANEL IN BASEMENT
2. VERIFY EXISTING SMOKE DETECTOR
3. PROVIDE CO DETECTORS IN KITCHEN.

ELECTRICAL LEGEND

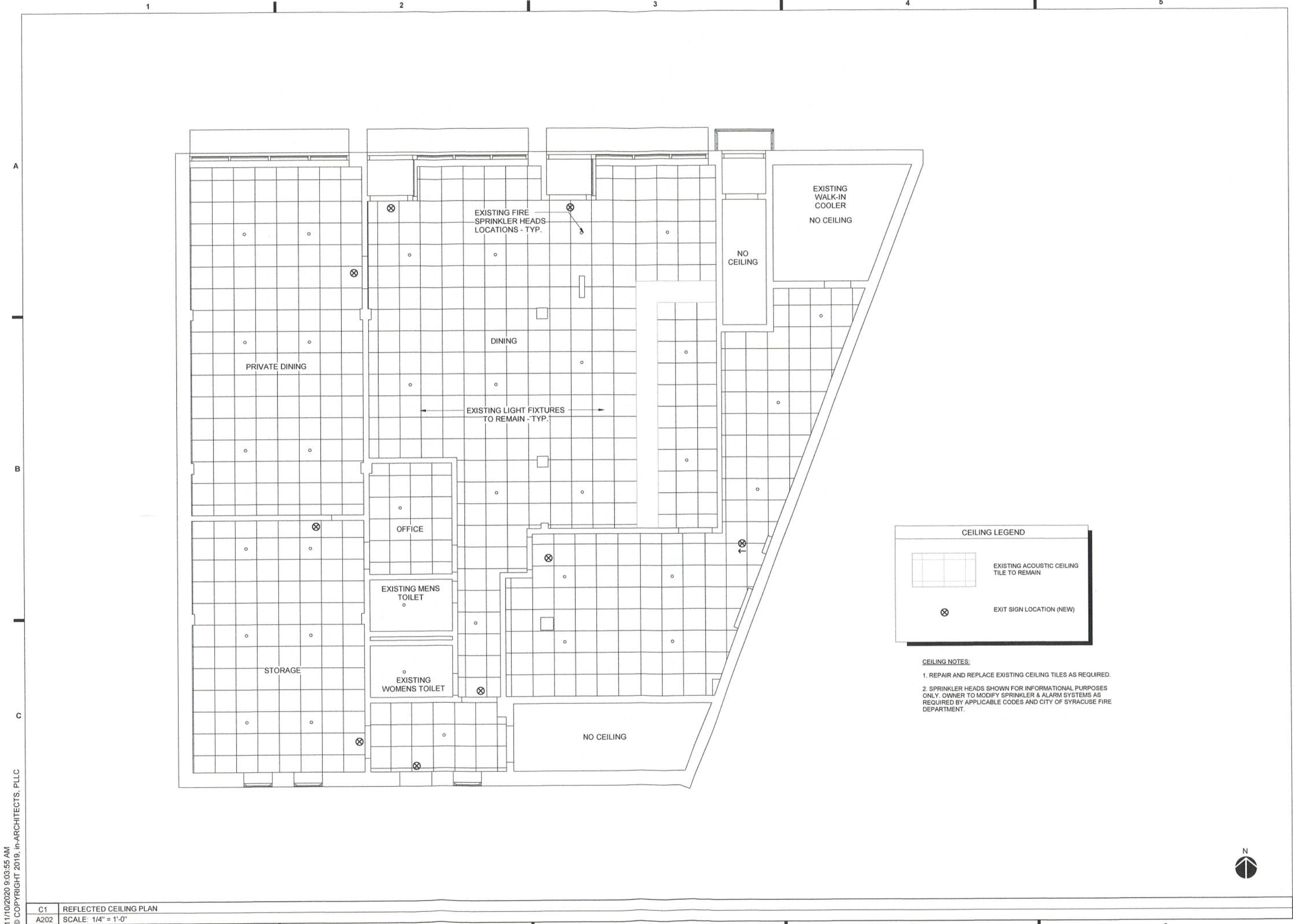
- UTILITY DUPLEX RECEPTACLE
QUAD RECEPTACLE
FLOOR MOUNTED UTILITY DUPLEX QUAD RECEPTACLE

ELECTRICAL NOTES:

1. ALL OUTLETS SHALL BE MOUNTED AT 18" UNLESS NOTED OTHERWISE.
2. ALL OUTLET LOCATIONS SHALL BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.
3. ALL EXISTING ELECTRICAL OUTLETS TO REMAIN.
4. ALL COVER PLATES/ SWITCHES TO BE WHITE.

NOTE: ALL SERVICE COUNTER AND KITCHEN EQUIPMENT BY OTHERS. COORDINATE W/ OWNER AND CONTRACTOR. ALL ELECTRICAL, GAS, AND PLUMBING SERVICE TO BE PROVIDED AT NEW KITCHEN EQUIPMENT LOCATIONS.

NOTE: ALL NEW KITCHEN EQUIPMENT WITH SANITARY SERVICE MUST CONNECT TO NEW GREASE TRAP LATED IN BASEMENT AS REQUIRED. PROVIDE 100 GPM GREASE INTERCEPTOR EQUAL TO SCHIER GB-250 POLYETHYLENE PART #4055-001-02.




11/10/2020 9:03:55 AM
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C1	REFLECTED CEILING PLAN
A202	SCALE: 1/4" = 1'-0"



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IT IS THE VIOLATION OF THE LAW FOR ANY PERSON TO ACT AS AN ARCHITECT WITHOUT A LICENSE TO DO SO. IF AN ARCHITECT IS ALTERED, THE ARCHITECT SHALL AFFIX TO HIS SEAL THE NOTATION "ALTERED BY" FOLLOWED BY THE DATE OF SUCH ALTERATION AND A DESCRIPTION OF THE ALTERATION.

MI ISLA RESTAURANT

446 JAMES STREET
SYRACUSE, NEW YORK

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

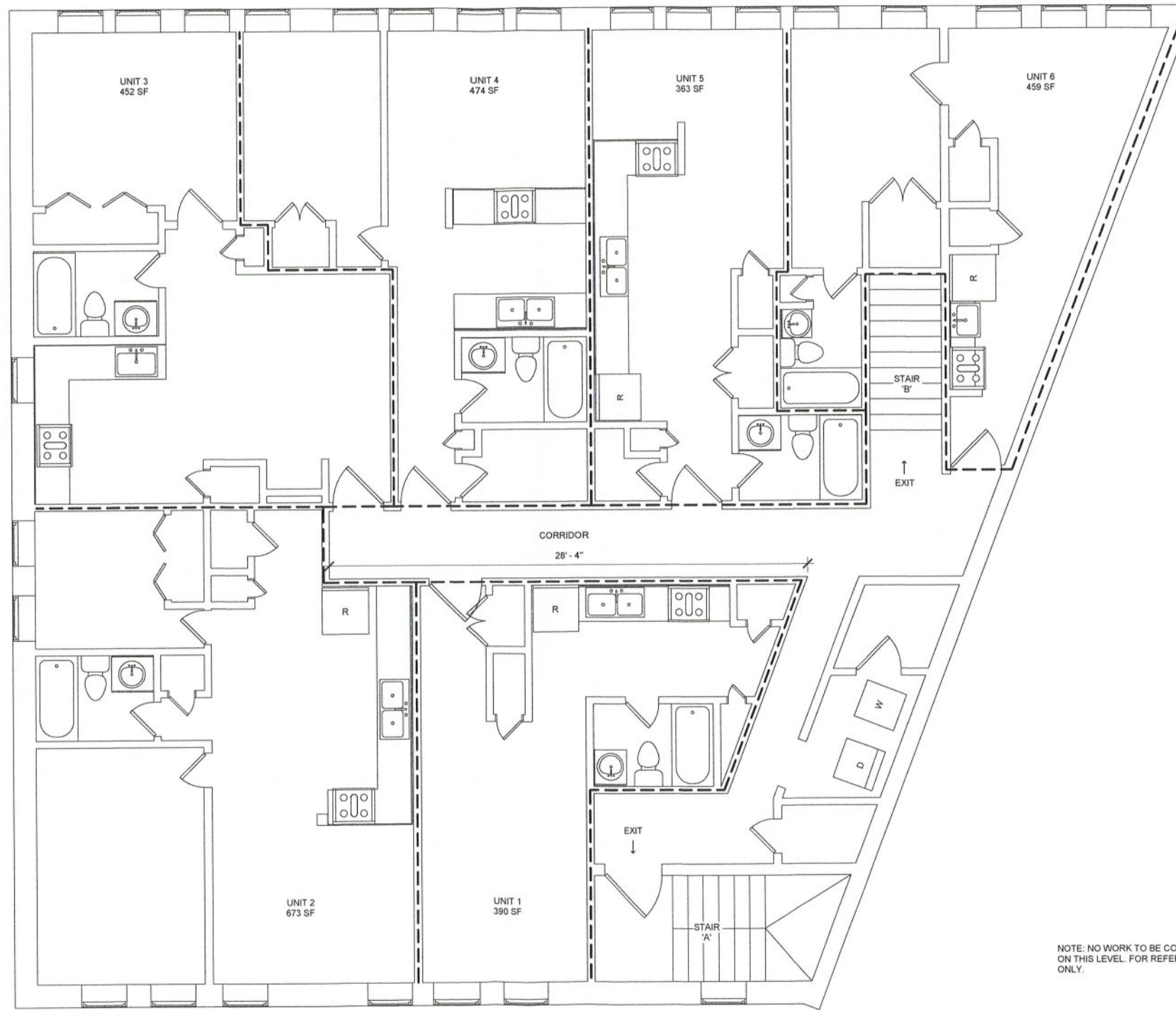
REVISIONS	
NO.	DESCRIPTION

REFLECTED CEILING PLAN	
Project Status	PERM
Date	05/
Project Number	
Drawn By	
Checked By	

A202

11/10/2020 9:04:52 AM
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C1	SECOND FLOOR
A203	SCALE: 1/4" = 1'-0"



NOTE: NO WORK TO BE COMPLETED
ON THIS LEVEL. FOR REFERENCE
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IT IS THE VIOLATION OF THE LAW FOR ANY PERSON
ACTING UNDER THE DIRECTION OF A LICENSED
TO ALTER AN ITEM IN ANY WAY IF AN ITEM IS
SEAL OF AN ARCHITECT IS ALTERED. THE
ARCHITECT SHALL AFFIX TO HIS ITEM THE
THE NOTATION "ALTERED BY" FOLLOWED BY HIS
AND THE DATE OF SUCH ALTERATION AND
DESCRIPTION OF THE ALTERATION

MI ISLA RESTAURANT

446 JAMES STREET
SYRACUSE, NEW YORK

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS
SITE AND PROMPTLY NOTIFY THE ARCHITECT
ANY DISCREPANCIES

REVISIONS	
NO.	DESCRIPTION
1	Revision 1

SECOND FLOOR PL

Project Status PERM

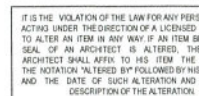
Date 05/

Project Number

Drawn By

Checked By

A203



MI ISLA RESTAURANT
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SYRACUSE, NEW YORK

REVISIONS		
NO.	DESCRIPTION	
1	Revision 1	7

EXTERIO
ELEVATIO

Project Status	PERM
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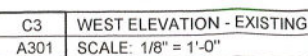
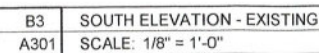
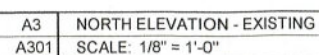
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Project Number

Drawn By

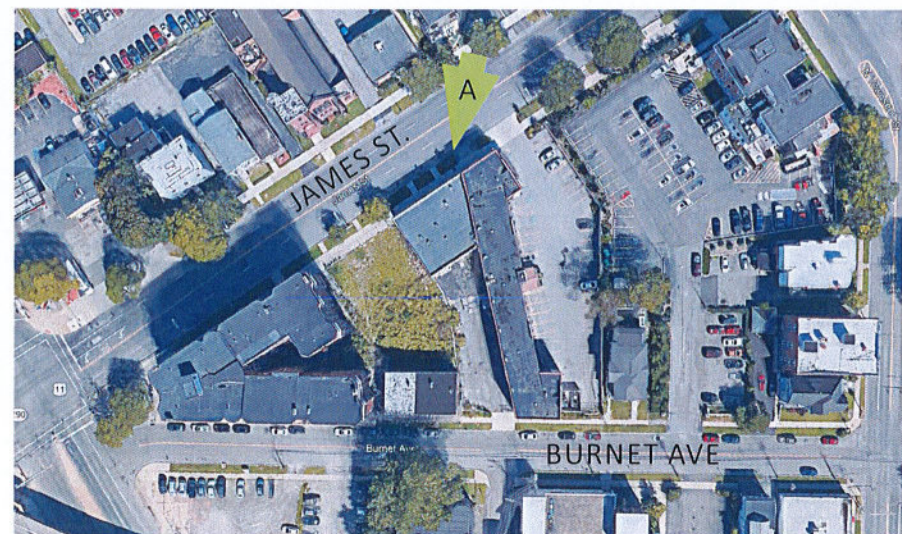
Checked By

A301





STREETSCAPE IMAGE 'A'
JAMES STREET



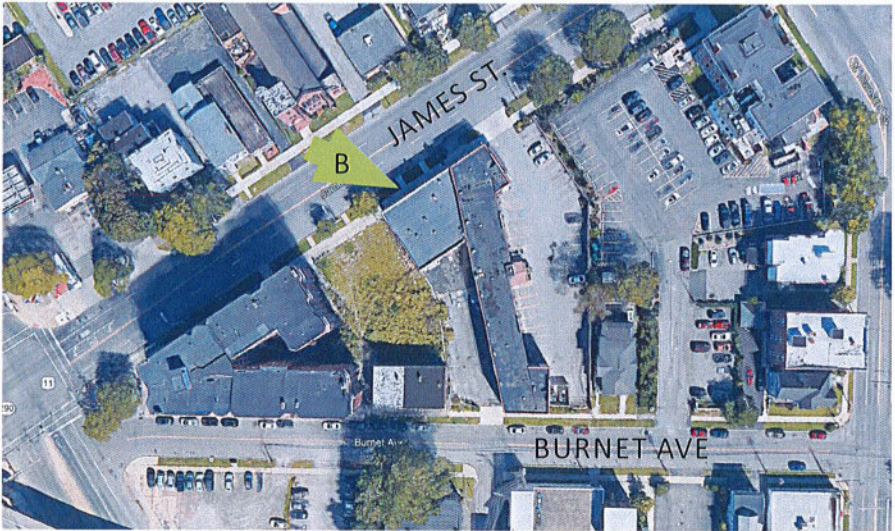
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SYRACUSE, NEW YORK

DATE: 01/20/2021
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SHEET NUMBER: A1


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STREETSCAPE IMAGE 'B'
JAMES STREET



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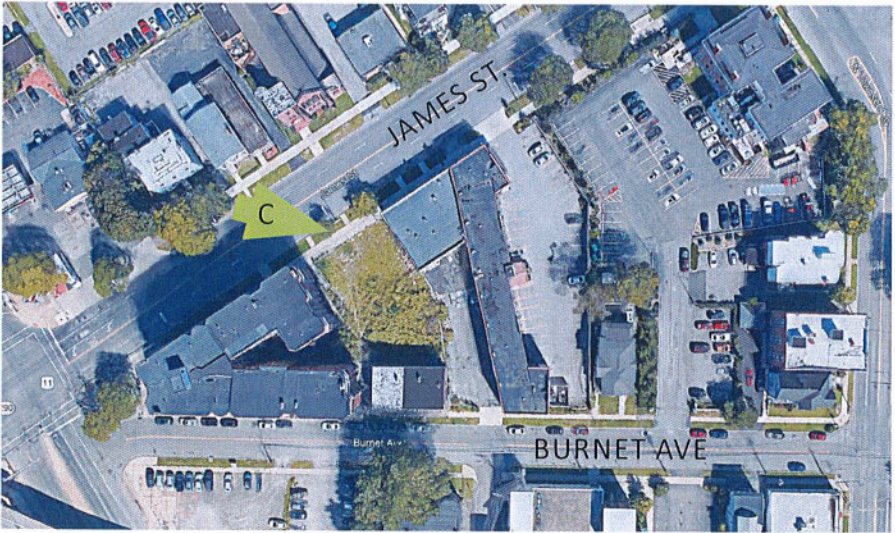
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SHEET NAME: EXISTING PHOTO
SHEET NUMBER: A2



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STREETSCAPE IMAGE 'C'
JAMES STREET

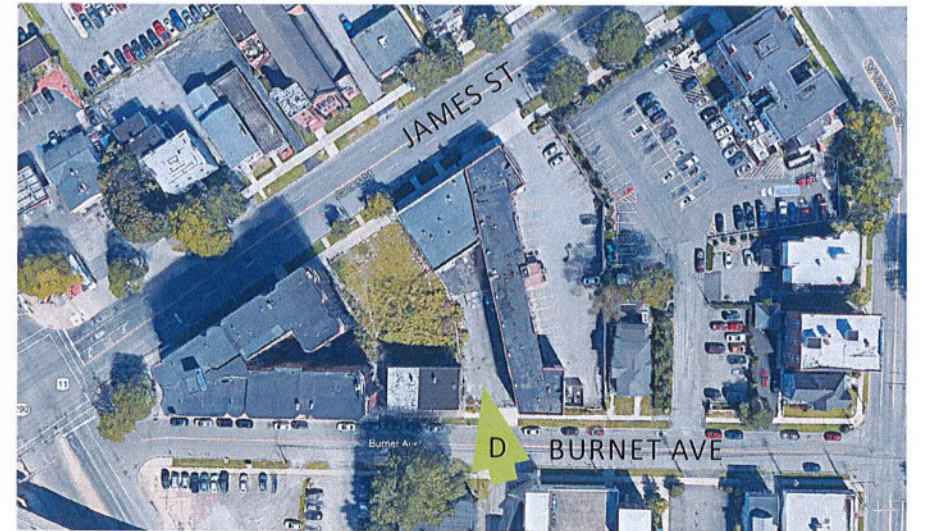


446 JAMES STREET
SYRACUSE, NEW YORK

DATE: 01/20/2021
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SHEET NAME: EXISTING PHOTO
SHEET NUMBER: A3



STREETSCAPE IMAGE 'D'
BURNET AVE



446 JAMES STREET
SYRACUSE, NEW YORK

DATE: 01/20/2021
SCALE: NOT TO SCALE
SHEET NAME: EXISTING PHOTO
SHEET NUMBER: A4



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DIVISION OF CODE ENFORCEMENT

A DIVISION OF THE DEPARTMENT OF NEIGHBORHOOD
AND BUSINESS DEVELOPMENT
CITY OF SYRACUSE, MAYOR BEN WALSH

Denial of Permit

PROJECT INFORMATION			
Address: <u>454 JAMES ST TO BURNET AVE</u>		Ward No:	
Intention: <u>EXPAND RESTAURANT AREA</u>			
<input type="checkbox"/> Erect	<input checked="" type="checkbox"/> Convert	<input type="checkbox"/> Maintain	<input type="checkbox"/> Operate
The project referenced above is denied under the following article(s) of the Zoning Ordinance for the following reasons:			
Article(s):			
Reason(s):			
OWNER CONTACT INFORMATION			
Owner: <u>RADHA KRISNA CORP</u>			
Address: <u>454 JAMES ST SYR NY 13203</u>			
Phone Number:			
Email Address:			
ATTACHMENTS			
<input checked="" type="checkbox"/> Plans Attached			
o Approved By: _____			
o Date of Approval: _____			
<input type="checkbox"/> Zoning Reviewed By: _____			
<input type="checkbox"/> Survey Attached			
LOCATION OF REFERENCE ADDRESS			
Book(s) No. <u>103</u>	Plate(s) No. <u>03</u>	Parcel(s) No. <u>04.1</u>	
ACKNOWLEDGMENT			
Signature: <u>Haila Swistak</u>		Date: <u>12-28-2020</u>	