



**CITY OF SYRACUSE, MAYOR BEN WALSH**  
**300 South State Street, Suite 700 Syracuse, NY 13202**

Department of Neighborhood and Business Development  
 Jake Dishaw, Zoning Administrator  
 Office of Zoning Administration – P: (315)448-8640 E: Zoning@syr.gov

<b><i>V-25-04</i></b>	<b><i>Staff Report – March 20th, 2025</i></b>	
<b><i>Application Type:</i></b>	Area Variance	
<b><i>Project Address:</i></b>	Current address: 155 Gifford Street (Tax Map ID: 096.-03-01.1) New project address: 120 Seymour Street (Tax Map ID: TBD)	
<b><i>Summary of Proposed Action:</i></b>	The applicant requests an Area Variance seeking relief from the requirement in ReZone, Art. 2, Sec. 2.9B(C), which requires 60% of the building footprint to be two stories. The applicant is proposing to construct a commercial building with the establishment of retail, office, and other use types under the Commercial Use Category.	
<b><i>Owner/Applicant</i></b>	Dan Sieburg (Owner) Scott Freeman (Applicant)	
<b><i>Zoning Violations</i></b>	The proposed project seeks to violate ReZone, Art. 2, Sec. 2.9B(C), which requires 60% of the building footprint to be two stories for properties within the: Mixed-Use Transition (MX-3) Zone District. The total footprint of the proposed building is 45,000 square feet. Per Zoning requirements, 60% of the total footprint must be two stories, which requires 27,000 square feet. The applicant has proposed a two-story portion covering 9,900 square feet, or 22% of the total footprint.	
	<b><i>Prohibited in Zoning Code</i></b>	<b><i>Proposed by Applicant</i></b>
	Less than 60% of the building footprint to be below two stories	The proposed development consists of a 9,900 SF two-story portion meeting 22% of the proposed building footprint for the MX-3 District.
<b><i>Existing Zone District:</i></b>	Mixed-Use Transition (MX-3) Zone District	
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the west, north, and south are also within the MX-3 Zone District. The neighboring property to the east is within the Open Space (OS) Zone District.	
<b><i>Companion Application(s)</i></b>	The applicant will submit a Major Site Plan Review and Resubdivision application in the future upon the approval of the proposed Area Variance.	
<b><i>Scope of Work:</i></b>	There is no scope of work associated with this Area Variance.	
<b><i>Staff Analysis:</i></b>	<b><i>Factors:</i></b>	
	<ul style="list-style-type: none"> <li>- The proposed lot for the project site will be created through combining the vacant portion of 155 Gifford St. with 5 adjacent properties (240-48 W Onondaga St., 252-54 W Onondaga St., 116-18 Seymour St., 120-22 Seymour St., 321 Granger St.), while the existing office building and the eastern on-site parking lot at 155 Gifford will remain in a separate lot.</li> <li>- The proposed lot is bounded by Gifford St. to the North, W Onondaga St. to the East, Seymour St. to the South, and Granger St. According to ReZone, Art. 2, Sec. 2.17C(8), a primary street frontage shall be identified when a lot has more than two frontages. This Office of Zoning Administration identifies West Onondaga Street frontage as the primary street frontage because the main entrance to the Mission Exchange Building faces West Onondaga Street.</li> <li>- The proposed building will be constructed with two different sections:</li> <li>- The two-story building portion (9,900 SF) fronting Seymour Street will primarily contain commercial tenant space and offices. One of the proposed tenants on the first floor, “3fifteen”, is a retail shop that will sell reclaimed goods. On the second</li> </ul>	

floor will be new administrative offices for the Rescue Mission.

- The one-story building (35,100 SF) portion will primarily function as the storage space for the fifteen retail and other Rescue Mission Properties.
- The parking area is permitted within the side setback along Granger Street, which is considered non-primary frontage. On non-primary frontage, a parking area is allowed between a building and the public right-of-way, provided it includes landscaping and buffering, pursuant to Rezone, Art. 2, Sec. 2.17C(8). The proposed site plan includes appropriate landscape buffers that screen the parking area at the intersection of Granger St. and Seymour St.
- According to the Onondaga County Planning Agency's confirmation letter, the new 9-1-1 street address for Lot 101 will be **120 Seymour Street**.

### **Staff Analysis of Applicant's Area Variance Criteria**

#### **1. Neighborhood Character Analysis:**

The surrounding properties are located in the MX-3 Zone District, which encourages mixed-use development consistent with the proposed building's design. Based on the submitted building elevation, the one-story warehouse portion reaches a height of 23 feet and visually resembles a two-story structure due to the use of varied colors, materials, and design patterns. Additionally, the applicant has indicated that most surrounding properties are owned by the Rescue Mission to serve individuals and groups in need. The proposed building is unlikely to disrupt the existing neighborhood character or conflict with the urban building design objectives of the MX-3 Zone District.

#### **2. Feasibility of Alternatives Analysis:**

The applicant acknowledges that alternative designs could achieve zoning compliance. However, these alternatives would impose additional costs and expand the project scope beyond what is necessary. Moreover, adding a second story to the warehouse portion would create unnecessary space and compromise the practical functionality of the storage area.

#### **3. Substantiality Analysis:**

The proposed 2-story building footprint (9,900 square feet) accounts for 22% of the total building footprint, deviating from the 60% two-story minimum requirement by 38%, which is considered substantial. However, as noted above, the one-story structure visually mimics a two-story building due to its height, mitigating concerns about its street presence. The applicant plans to plant landscaping trees at least 18 feet tall along the façades facing the public street and open space, further enhancing the building's visual integration with its surroundings.

#### **4. Adverse Effect Analysis:**

The absence of an interior second story will not result in any significant negative impacts on the physical or environmental conditions of the neighborhood. Additionally, the project incorporates the Crime Prevention Through Environmental Design (CPTED) recommendations from the Syracuse Police Department, enhancing security around the nearby Rescue Mission properties.

	<p><b><u>5. Self-Created Difficulty Analysis:</u></b> The proposed variance is considered self-created, as this is applicant's intent to construct the proposed building. According to the applicant, the one-story design for warehouse space is an optimal option to provide the necessary shelf height to store the retail goods and the Rescue Mission's donation materials</p> <p><b>Recommended conditions if approved:</b></p> <ol style="list-style-type: none"> <li>1. This Area Variance shall adhere to the general area variance conditions.</li> <li>2. The applicant shall continue to collaborate with relevant agencies and stakeholders to improve the building design while balancing operational and security needs.</li> <li>3. Approval of this Area Variance is contingent upon the approval of the companion Major Site Plan Review and Resubdivision by the City Planning Commission.</li> </ol>
<b><i>Zoning Procedural History:</i></b>	V-86-53  Use Variance was approved on 7/1/1986 to allow residential units in commercial A Zone District.
<b><i>Summary of Zoning History:</i></b>	<p>Before the ReZone Syracuse initiative changed the Zoning Map in 2023, the subject parcel was a split-zoned property located within the Local Business A and Commercial A Zone Districts. In 1986, the applicant, Rescue Mission Alliance, proposed using the building for offices, meeting areas, and residential units. As a result, Variance V-86-53 was approved, allowing residential units within the Commercial A Zone District.</p> <p>The existing three-story brick building, originally constructed in 1957 as an office building, was later expanded in 1987 with a 32.5' x 86.6' two-story addition on its east side.</p>
<b><i>Code Enforcement History:</i></b>	See Attached Code Enforcement History.
<b><i>Summary of Changes:</i></b>	This is not a continued application.
<b><i>Property Characteristics:</i></b>	<p><b><u>Existing property characteristics:</u></b> The subject lot 155 Gifford Street is an irregularly shaped parcel totaling 78,622 square feet (1.8 Acres). The property features three street frontages: Gifford St. for 553.45 feet (northern property line); Granger St. for 163 feet (eastern property line); and W Onondaga St. for 148.18 feet (southwestern property line). The property also borders 620 Clinton St for 98.89 feet (eastern property line); and 240-48, 252-54 W Onondaga St., 116-118, 120-22 and 321 Seymour St. for 520.78 feet (southern property line). The property is improved by an 18,342 square foot three-story brick building, 9,444 square feet of driveway and parking surfaces.</p> <p>The subject lot 240-48 W Onondaga Street. is an irregularly shaped parcel totaling 7,333 square feet (0.168 Acres). The property features one street frontages: W Onondaga St. for 66 feet (southeastern property line). The property also borders 155 Gifford St. for 143 feet (northeastern side property line) and 252-54 W Onondaga St. for a total of 135.35 feet (southwestern side property line).</p> <p>The subject lot 252-54 W Onondaga Street is an irregularly shaped parcel totaling 17,374 square feet (0.398 Acres). The property features one street frontages: Seymour St. for 179.21 feet (southern property line). The property also borders 240-48 W Onondaga St. for</p>

	<p>135.35 feet (eastern property line); 155 Gifford St. for 96.77 feet (northern property line); and 116-118 Seymour St. for 132 feet (western property line).</p> <p>The subject lot 116-18 Seymour St. is a rectangular-shaped parcel totaling 7,620 square feet (0.174 Acres). The property features one street frontages: Seymour St. for 55 feet (southern property line). The property also borders 252-54 W Onondaga St. for 132 feet (eastern property line); 155 Gifford St. for 55 feet (northern property line); and 120-22 Seymour St. for 132 feet (western property line).</p> <p>The subject lot 120-22 Seymour St. is a rectangular-shaped parcel totaling 8,580 square feet (0.196 Acres). The property features one street frontages: Seymour St. (southern property line) for 65 feet. The property also borders 116-18 Seymour St. for 132 feet (eastern property line); 155 Gifford St. for 65 feet (northern property line); and 155 Gifford St. and 321 Granger St. for 132 feet (western property line).</p> <p>The subject lot 321 Granger St. is a rectangular-shaped parcel totaling square feet (0.174 Acres). The property features two street frontages: Seymour St. for 100 feet (southern property line) and Granger St. for 98.79 feet. (western property line). The property also borders 120-22 Seymour St. for 98.79 feet (eastern property line) and 155 Gifford St. for 100 feet (northern property line).</p> <p><b><u>Proposed property characteristics:</u></b></p> <p>The proposed subject lot 120 Seymour Street will be an irregularly shaped parcel totaling 97,574.4 square feet (2.24 Acres). The property features four street frontages: Gifford St. (northern property line) for 344.11 feet; Granger St. for 98.79 feet (western property line); Seymour St. for 365.21 feet (southern property line); and W Onondaga St. for 248.71 feet(southeastern property line). The property also borders 155 Gifford St. for 341.34 feet (northwestern side property line).</p>
<b><i>SEQR Determination:</i></b>	Pursuant to 6 NYCRR §617.2(al), the proposal is an Unlisted Action.
<b><i>Onondaga County Planning Board Referral:</i></b>	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board with no position dated on 02/26/2025.

**Application Submittals:** The application submitted the following in support of the proposed project:

- Area Variance application
- Full Environmental Assessment Form Part 1
- Project Description and Variance Criteria Tests.
- Site, Floor and Elevations Plans of “Rescue Mission-Mission Exchange Building | Rescue Mission Alliance 155 Gifford Street, Syracuse, New York ” (Sheets: L-001, A-101-104, A-201) Drawn by Licensed Architect Daniel Griffiths of Griffiths Engineering & Architecture, PLLC. Scale: As Noted; Date: as noted in each sheet.
- Boundary & Topographic Survey: Rescue Mission Alliance of Greater Syracuse Block No.247, City of Syracuse, Onondaga County, New York.” Drawn by Licensed New York Surveyor: Timothy Coyer of Ianuzi & Romans Land Surveying P.C. Scale: 1”=30’; Date: 6/29/2023





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<b><i>V-25-05</i></b>	<b><i>Staff Report – March 20th, 2025</i></b>
<b><i>Application Type:</i></b>	Area Variance
<b><i>Project Address:</i></b>	Current address: 155 Gifford Street (Tax Map ID: 096.-03-01.1) New project address: 120 Seymour Street (Tax Map ID: TBD)
<b><i>Summary of Proposed Action:</i></b>	The applicant requests an Area Variance seeking relief from the requirement in ReZone, Art. 2, Sec. 2.18A(3).a.1, which requires 40% transparency on the ground floor of any façade facing a public street or public area. The applicant is proposing to construct a commercial building with the establishment of retail, office, and other use types under the Commercial Use Category.
<b><i>Owner/Applicant</i></b>	Dan Sieburg (Owner) Scott Freeman (Applicant)
<b><i>Zoning Violations</i></b>	The proposed project seeks to violate ReZone, Art. 2, Sec. 2.9B(C), which requires 40% transparency on the ground floor of any façade facing a public street or public area. The proposed ground floor building façade facing Gifford St. will only provide 20% transparency. (See attached Building Elevation Plan Sheet A-201, Exterior Elevation North)
<b><i>Existing Zone District:</i></b>	Mixed-Use Transition (MX-3) Zone District
<b><i>Surrounding Zone Districts:</i></b>	The neighboring properties to the west, north, and south are also within the MX-3 Zone District. The neighboring property to the east is within the Open Space (OS) Zone District.
<b><i>Companion Application(s)</i></b>	The applicant will submit a Major Site Plan Review and Resubdivision application in the future upon the approval of the proposed Area Variance.
<b><i>Scope of Work:</i></b>	There is no scope of work associated with this Area Variance.
<b><i>Staff Analysis:</i></b>	<p><b><u>Factors:</u></b></p> <ul style="list-style-type: none"> <li>- The proposed lot for the project site will be created through combining the vacant portion of 155 Gifford St. with 5 adjacent properties (240-48 W Onondaga St., 252-54 W Onondaga St., 116-18 Seymour St., 120-22 Seymour St., 321 Granger St.), while the existing office building and the eastern on-site parking lot at 155 Gifford will remain in a separate lot.</li> <li>- The proposed lot is bounded by Gifford St. to the North, W Onondaga St to the East, Seymour St. to the South, and Granger St. According to ReZone, Art. 2, Sec. 2.17C(8), a primary street frontage shall be identified when a lot has more than two frontages. This Office of Zoning Administration identifies West Onondaga Street frontage as the primary street frontage because the main entrance with the proposed building name (Mission Exchange Building) of the proposed facility faces West Onondaga Street.</li> <li>- The proposed building will be constructed with two different sections:             <ol style="list-style-type: none"> <li>1) The two-story building portion (9,900 SF) fronting Seymour Street will primarily contain commercial tenant space and offices. One of the proposed tenants on the first floor, “3fifteen”, is a retail shop that will sell reclaimed goods. On the second floor will be new administrative offices for the Rescue Mission</li> <li>2) The one-story building (35,100 SF) portion will primarily function as the storage space for the 3fifteen retail and other Rescue Mission Properties.</li> </ol> </li> </ul>

- The parking area is permitted within the side setback along Granger Street, which is considered non-primary frontage. On non-primary frontage, a parking area is allowed between a building and the public right-of-way, provided it includes landscaping and buffering, pursuant Rezone, Art. 2, Sec. 2.17C(8). The proposed site plan includes appropriate landscape buffers that screen the parking area at the intersection of Granger St. and Seymour St.
- According to the Onondaga County Planning Agency's confirmation letter, the new 9-1-1 street address for Lot 101 will be **120 Seymour Street**.

### **Staff Analysis of Applicant's Area Variance Criteria**

#### **1. Neighborhood Character Analysis:**

The project site is currently vacant and has been associated with undesirable activities, as noted by the Syracuse Police Department. The intent of the 40% transparency requirement is to enhance pedestrian engagement and street-level visibility.

The applicant acknowledges the proposed transparency will weaken this intent. However, the project mitigates these concerns by incorporating strategic glazing and enhanced exterior lighting to improve visibility and safety. This approach aligns with recommendations on Crime Prevention Through Environmental Design (CPTED), which emphasize natural surveillance, territorial reinforcement, and access control. Given that the surrounding properties are largely owned by the Rescue Mission, and the design maintains a consistent street presence so that the reduced transparency will not alter the neighborhood's character.

#### **2. Feasibility of Alternatives Analysis:**

The applicant acknowledges that alternative designs could achieve zoning compliance. However, it would be excessive in cost and functionally impractical for the Rescue Mission's operational and security needs. The applicant believes that the use of opaque glass will better serve the purpose of security and safety for the Rescue Mission Exchange Building.

#### **3. Substantiality Analysis:**

A 20% reduction is substantial, but the argument that opaque glazing still contributes to visibility (per CPTED principles) helps mitigate the concern. Technically, the proposed ground floor building is 23 feet in height, which results in a larger surface area compared to a standard commercial ground-floor height, meaning the provided transparency, though lower in percentage, still maintains a notable presence for pedestrians. Additionally, from a design standpoint, the building's materials, lighting, and urban design strategies help reduce the impact of transparency deficiency.

#### **4. Adverse Effect Analysis:**

The proposed transparency does not introduce environmental harm and will not result in any significant negative impacts on the physical condition of the neighborhood. Instead, the activation of the vacant lot, improved lighting, and strategic transparency will enhance the overall pedestrian safety. The site design reduces opportunities for crime while still maintaining a visible and engaging streetscape.

	<p><b><u>5. Self-Created Difficulty Analysis:</u></b>  The hardship is self-created because the design intentionally prioritizes the operational needs of the Rescue Mission, as well as the guidelines set by the Syracuse Industrial Development Agency (SIDA) and the Downtown Revitalization Initiative (DRI). The applicant argues that the requested variance is a necessary adaptation to the site’s specific security and functional challenges, particularly along Gifford Street.</p> <p><b>Recommended conditions if approved:</b></p> <ol style="list-style-type: none"> <li>1. This Area Variance shall adhere to the general area variance conditions.</li> <li>2. The applicant shall continue to collaborate with relevant agencies and stakeholders to improve the building design while balancing operational and security needs.</li> <li>3. Approval of this Area Variance is contingent upon the approval of the companion Major Site Plan Review and Resubdivision by the City Planning Commission.</li> </ol>
<b><i>Zoning Procedural History:</i></b>	V-86-53   Use Variance was approved on 7/1/1986 to allow residential units in commercial A Zone District.
<b><i>Summary of Zoning History:</i></b>	<p>Before the ReZone Syracuse initiative changed the Zoning Map in 2023, the subject parcel was a split-zoned property located within the Local Business A and Commercial A Zone Districts. In 1986, the applicant, Rescue Mission Alliance, proposed using the building for offices, meeting areas, and residential units. As a result, Variance V-86-53 was approved, allowing residential units within the Commercial A Zone District.</p> <p>The existing three-story brick building, originally constructed in 1957 as an office building, was later expanded in 1987 with a 32.5' x 86.6' two-story addition on its east side.</p>
<b><i>Code Enforcement History:</i></b>	See Attached Code Enforcement History.
<b><i>Summary of Changes:</i></b>	This is not a continued application.
<b><i>Property Characteristics:</i></b>	<p><b><u>Existing property characteristics:</u></b>  The subject lot 155 Gifford Street is an irregularly shaped parcel totaling 78,622 square feet (1.8 Acres). The property features three street frontages: Gifford St. for 553.45 feet (northern property line); Granger St. for 163 feet (eastern property line); and W Onondaga St. for 148.18 feet (southwestern property line). The property also borders 620 Clinton St for 98.89 feet (eastern property line); and 240-48, 252-54 W Onondaga St., 116-118, 120-22 and 321 Seymour St. for 520.78 feet (southern property line).  The property is improved by an 18,342 square foot three-story brick building, 9,444 square feet of driveway and parking surfaces.</p> <p>The subject lot 240-48 W Onondaga Street. is an irregularly shaped parcel totaling 7,333 square feet (0.168 Acres). The property features one street frontages: W Onondaga St. for 66 feet (southeastern property line). The property also borders 155 Gifford St. for 143 feet (northeastern side property line) and 252-54 W Onondaga St. for a total of 135.35 feet (southwestern side property line).</p>

	<p>The subject lot 252-54 W Onondaga Street is an irregularly shaped parcel totaling 17,374 square feet (0.398 Acres). The property features one street frontages: Seymour St. for 179.21 feet (southern property line). The property also borders 240-48 W Onondaga St. for 135.35 feet (eastern property line); 155 Gifford St. for 96.77 feet (northern property line); and 116-118 Seymour St. for 132 feet (western property line).</p> <p>The subject lot 116-18 Seymour St. is a rectangular-shaped parcel totaling 7,620 square feet (0.174 Acres). The property features one street frontages: Seymour St. for 55 feet (southern property line). The property also borders 252-54 W Onondaga St. for 132 feet (eastern property line); 155 Gifford St. for 55 feet (northern property line); and 120-22 Seymour St. for 132 feet (western property line).</p> <p>The subject lot 120-22 Seymour St. is a rectangular-shaped parcel totaling 8,580 square feet (0.196 Acres). The property features one street frontages: Seymour St. (southern property line) for 65 feet. The property also borders 116-18 Seymour St. for 132 feet (eastern property line); 155 Gifford St. for 65 feet (northern property line); and 155 Gifford St. and 321 Granger St. for 132 feet (western property line).</p> <p>The subject lot 321 Granger St. is a rectangular-shaped parcel totaling square feet (0.174 Acres). The property features two street frontages: Seymour St. for 100 feet (southern property line) and Granger St. for 98.79 feet. (western property line). The property also borders 120-22 Seymour St. for 98.79 feet (eastern property line) and 155 Gifford St. for 100 feet (northern property line).</p> <p><b><u>Proposed property characteristics:</u></b></p> <p>The proposed subject lot 120 Seymour Street will be an irregularly shaped parcel totaling 97,574.4 square feet (2.24 Acres). The property features four street frontages: Gifford St. (northern property line) for 344.11 feet; Granger St. for 98.79 feet (western property line); Seymour St. for 365.21 feet (southern property line); and W Onondaga St. for 248.71 feet (southeastern property line). The property also borders 155 Gifford St. for 341.34 feet (northwestern side property line).</p>
<b><u>SEQR Determination:</u></b>	Pursuant to 6 NYCRR §617.2(al), the proposal is an Unlisted Action.
<b><u>Onondaga County Planning Board Referral:</u></b>	Pursuant to GML §239-l, m and n, the proposal was reviewed by the Onondaga County Planning Board with no position dated on 02/26/2025.

**Application Submittals:** The application submitted the following in support of the proposed project:

- Area Variance application
- Full Environmental Assessment Form Part 1
- Project Description and Variance Criteria Tests.
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- Boundary & Topographic Survey: Rescue Mission Alliance of Greater Syracuse Block No.247, City of Syracuse, Onondaga County, New York.” Drawn by Licensed New York Surveyor: Timothy Coyer of Ianuzi & Romans Land Surveying P.C. Scale: 1”=30’; Date: 6/29/2023

**Attachments:**

- Area Variance Application
- Full Environmental Assessment Form Part 2 & Part 3
- OCPB Review Resolution
- IPS Comments from City Departments

**Context Maps:**

**Figure 1:** Zone District of Subject Property



Description: Figure 1 shows the current Zone District of the subject property.

Image Source: City of Syracuse Neighborhood and Business Development, ReZone Syracuse Zoning Map



**Figure 2:** Aerial Imagery of Subject Property



Description: Figure 2 shows satellite imagery of the subject property.

Image Source: Onondaga County GIS Planning™, Eagle View Technology Corporation





Galaxy S21 FE 5G  
March 10, 2025



Galaxy S21 FE 5G  
March 10, 2025



## Variance Application



### For Office Use Only

Zoning District: \_\_\_\_\_  
Application Number: V-\_\_\_\_\_ - \_\_\_\_\_  
Date: \_\_\_\_\_

Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

### Variance Application

*This application may be emailed, or mailed, or delivered in person to the Syracuse Office of Zoning Administration. Do not bind application materials. Faxed submissions will not be processed. **Email submissions must be packaged together in a single PDF with all applicable materials, please call if you want to discuss another electronic delivery method.** If you wish to discuss the application with a member of our staff, please call ahead for an appointment.*

### General Project Information

Business/project name: Rescue Mission - Mission Exchange Building		
Street address (as listed in the Syracuse Department of Tax Assessment property tax records): 155 Gifford St.(096.-03-01.1, 096.-03-09.0, 096.-03-08.0, 096.-03-07.0, 096.-03-06.0, 096.-0305.0)		
Lot numbers:	Block number:	Lot size (sq. ft.) 3.00 ac
Current use of property: Commercial/ Vacant		Proposed: Commercial
Current number of dwelling units (if applicable): NA		Proposed: NA
Current hours of operation (if applicable): 7 AM - 9 PM		Proposed: 7 AM - 9 PM
Current onsite parking (if applicable): 36		Proposed: 47
Zoning (base and any overlay) of property: <b>MX-3</b>		
Companion zoning applications (if applicable, list any related zoning applications): Planning Board, SIDA		
Project construction (check all that apply): <input type="checkbox"/> Demolition (full or partial) <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Exterior alterations <input checked="" type="checkbox"/> Site changes		
Variance requested (check one and cite the section of the Zoning Ordinance that a variance is requested): <input type="checkbox"/> Use variance <input checked="" type="checkbox"/> Area variance		
Nature and extent of variance requested (attach additional pages if necessary): See attached Area Variance Narrative:  Requested Area Variances:  1. Article 2 Section 2.9.B  2. Article 2 Section 2.18.A.3.a.1		

## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

### Owner/Owner's Agent Certification

By signing this application below, I, as the owner of the property under review give my endorsement of this application.

**Print owner's name:**

Signature: *Dan Sieburg*

Date:

Mailing address:

**Print authorized agent's name:** Scott Freeman - PLA

Date: 2.6.2025

Signature: *Scott Freeman*

Mailing address: 6320 Fly Rd. Ste. 109 East Syracuse NY 13057

The names, addresses, and signatures of all owners of the property are required. Please attach additional sheets as needed. **If a property owner designates an authorized agent as a legal representative to apply on their behalf or to present the project at the City Planning Commission, please attach an executed power of attorney.** Faxed or photocopied signatures will not be accepted.

## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov.net

### Area Variance Test

*An Area Variance is permission to build in a portion of the property that is otherwise restricted by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that the potential benefit of an Area Variance will outweigh any burden to community health, safety, and welfare through a five-part balancing test (see [https://www.dos.ny.gov/lg/publications/Zoning\\_Board\\_of\\_Appeals.pdf](https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf) for more information).*

*Briefly describe below how an Area Variance would affect the community using the following five tests and attach all supporting materials.*

#### 1. Neighborhood Character

Describe whether an undesirable change will be produced in the character of the neighborhood, or a detriment to nearby properties will be created by the granting of the area variance.

See attached Variance Narrative.

#### 2. Feasibility of Alternatives

Describe whether the benefit sought by the applicant can be achieved by some other method that will be feasible for the applicant to pursue, other than an area variance.

See attached Variance Narrative.

#### 3. Substantiality

Describe whether the requested area variance is substantial.

See attached Variance Narrative.

#### 4. Adverse Effect

Describe whether the proposed area variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

See attached Variance Narrative.

#### 5. Self-Created Difficulty

Describe whether an alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

See attached Variance Narrative.



## Variance Application



Office of Zoning Administration  
One Park Place, 300 S State St,  
Suite 700  
Syracuse, NY 13202  
Phone: (315) 448-8640  
Email: zoning@syr.gov

### Required Submittal Sheet

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

*Please submit one copy of each of the following:*

- ☒ **APPLICATION** – filled out completely, dated, and signed by property owner as instructed.
- ☐ **DENIAL OF PERMIT** – provided by the City of Syracuse Central Permit Office at 315-448-8600.
- ☒ **STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR)** – Short Environmental Assessment Form (SEAF) Part One filled out to the best of your ability, dated, and signed.
- ☒ **PHOTOGRAPHS (COLOR) of the PROJECT SITE** – keyed to a property survey or site plan.
- ☒ **PHOTOGRAPHS (COLOR) of the STREETScape** – including properties adjacent to and across the street from the project site, labeled with addresses and keyed to a property survey or site plan.
- ☒ **APPLICATION FEE** – \$25 for Area Variance and Use Variance issued to the Commissioner of Finance.

*Please submit three full sized and one no larger than 11x17" of all of the plans listed below (all plans must include a title block with author, date, scale, and the Property Tax Assessment address, and must be an accurate graphic representation of all pertinent information that can be correctly interpreted by any person without additional explanation. Plans do not need to be stamped by a licensed professional unless noted below):*

- ☒ **AS BUILT PROPERTY SURVEY(S)** of all involved properties illustrating boundaries and current conditions including structures, fencing, parking surface, and retaining walls (signed and stamped by a licensed surveyor)
- ☒ **SITE PLAN(S)** illustrating site alterations and post project conditions that are/will be different from the as built property survey including:
  - Zoning (density, setbacks, bldg. and parking surface coverage, screening) and onsite parking requirements
  - Demolitions and post demolition conditions
  - Structures
  - Parking areas including surface type, dimensioned spaces, number of spaces, traffic patterns, and coverage
  - Loading dock and delivery areas
  - Dumpsters and/or trash receptacles
  - Landscaping including type, height, and number of plantings
  - Screening including parking, dumpsters, and site
  - Fencing including type and height
  - Lighting including structure heights and luminaries wattage
  - Ground signs
  - Street rights-of-way conditions, existing and proposed, including curb cuts, driveways, sidewalks, and plantings
  - Encroachments, existing or proposed, into the City rights-of-way including stairs, signs, and awning
- ☒ **FLOOR PLANS** for new construction, additions, and change of zoning use/building occupancies with square footages and all applicable layouts (e.g., customer areas, kitchens, bathrooms, bedrooms, etc.) clearly labeled for land uses.
- ☒ **EXTERIOR BUILDING ELEVATIONS** with all dimensions, materials, and colors clearly illustrated and noted. (Schematics or color renderings can be submitted in addition to elevation drawings, if available.)

February 5, 2025

Syracuse Zoning Administration  
300 S State Street, Suite 700  
Syracuse, NY 13202



**RE: Area Variance Application**  
**Rescue Mission -Mission Exchange Building (MEB) – SWBR Architects**  
**155 Gifford St to Onondaga St W, Syracuse, NY 13202**  
**KFA Project #: 42075**

Dear Syracuse Zoning Administration:

On behalf of the applicant/ owner, Keplinger Freeman Associates respectfully submits the enclosed Area Variance Application related to the above property and project. The developer seeks an area variance for the proposed construction.

**Project Description:**

The project involves constructing a new commercial development at the corner of Seymour and W. Onondaga St., known as the Mission Exchange Building (MEB). The MEB will be approximately 45,000 square feet and two (2) stories tall and include retail, retail storage, and offices to support the adjacent Rescue Mission campus, which supports the needs of the unhoused population of Central New York. The building will be constructed using two different construction methods. The main structure along Seymour St. will be a conventional steel frame construction similar to recent nearby developments like Salt City Market, approximately 24,150 square feet. In contrast, the rear structure along Gifford Street will be a custom-engineered metal building, approximately 31,000 square feet. The anchor tenant on the first floor will be the Rescue Mission's boutique retail shop, 3fifteen, which will sell reclaimed goods as part of Rescue Mission's mission to "put LOVE INTO ACTION through shelter, food, clothing, and hope." On the second floor will be new administrative offices for the Rescue Mission. Lastly, the retail storage housed in the manufactured building will supplement the 3fifteen facility and the other Rescue Mission properties. Donations will be accepted at this location.

The block's six (6) parcels will be subdivided into one (1) complete parcel for the site's development. Building access will include multiple pedestrian entrances along the city-owned ROW, including Seymour St. and W. Onondaga St. One (1) new city-compliant 24'-0" driveway along Seymour St. is proposed for parking, delivery, and drop-off access. Exterior improvements include parking lot reconfiguration, utility connections, detention pond, waste enclosure, ROW improvements (sidewalk reconstruction), lighting, and truck loading bays.

**Property Zoning & Location:**

This property is zoned MX-3: Central Business District Zone District. The MX-3 Zone District is established to provide for pedestrian-friendly, transit-supportive areas of higher-density residential development and compatible nonresidential uses, such as offices and supporting commercial uses. Development shall be on a walkable scale that is compatible with surrounding residential neighborhoods. The Zone District is intended to allow for greater vertical or horizontal mixing of uses and is appropriate near activity centers and near major arterial and collector streets. A range of residential housing types and live-work dwelling units is allowed.

The property is bounded by Gifford St. to the North, W. Onondaga St to the East, Seymour St. to the South, and Granger St. to the North and maintains three (3) front yards. The existing building at 155 Gifford St. conforms to zoning lot coverage and setbacks.

**Area Variance Request:**

Two (2) Area Variances are requested for the new construction of the MEB facility. An Area Variance is permission to build a portion of the property that is otherwise restricted by the Zoning Rules and Regulations, as amended. New

York State law requires applicants to prove that an Area Variance's potential benefit will outweigh any community health, safety, and welfare burden through a five-part balancing test.

The specific relief is requested from the following:

- a) ReZone Article 2, Section 2.9(B) *“2 stories minimum; 6 stories maximum (60% of building footprint must meet minimum-story requirement).”*
- b) ReZone Article 2, Section 2.18(A)3.a.1 *“The ground floor of any façade facing a public street or other public area such as a plaza, park, or pedestrian walkway shall contain a minimum of 40 percent windows, display areas, openings, or doorways. Windows shall be unobstructed, allowing views into working areas or lobbies, pedestrian entrances, or display areas.”*

The project is unique, considering the proposed facility's location, block/lot coverage, and multiple uses. Both variances are needed to meet the owner's specific needs to serve the unhoused community. The building was designed in accordance with the requests of the Rescue Mission, Syracuse Industrial Development Agency (SIDA), and the NYS Empire State Development (ESD): Downtown Revitalization Initiative (DRI). Additional design considerations were made regarding 360 Architecture and the city's initiative, Crime Prevention Through Environmental Design (CPTED).

Under variance (a), the proposed second story meets 22% of the required 60% of the proposed first-floor area (deficit 44%). The height of the rear-engineered steel building is consistent with the height of a two-story building (22ft and 29 ft, respectively) and would make the project compliant if there was human occupancy at the assumed second story. The city defines a story as *“the portion of a building intended for human occupancy included between the upper surface of a floor and the upper surface of the next floor above or the roof.”* A second story was not provided as the total building height is being utilized for the storage of Rescue Mission donated goods and clothing through a system of stacked gaylords that are sorted and distributed to Rescue Mission Thrifty Shopper and 3fifteen retail stores, including the onsite store. Creating a second story as defined by the city in this portion of the facility would be cost-prohibitive, reduce stacking, and be excessive to the needs of the Rescue Mission.

Under variance (b), the proposed transparency along Gifford St. covers 20% of the façade, which although consistent with zoning requirements for upper floors, does not meet the 40% requirement for ground-floor commercial buildings. Transparent glass is not advisable at this façade as more durable materials are needed at grade to reduce the potential for damage or vandalism. Limiting the ground-floor glass reduces potential harm, unsightly broken glass, and theft that commonly occurs in the area. As a minimally staffed storage facility, additional ground-floor transparency would not improve direct visibility to the street as the Gifford St. end of the building is solely utilized for storage purposes. In lieu of views of interior spaces, supplemental exterior lighting provides an inviting and safe pedestrian environment.

#### **Justification for Area Variance:**

These Area variances are further elaborated in the following Standards of Proof:

#### **1. Neighborhood Character**

- a) The granting of variance a) will **not** create an undesirable change in the neighborhood's character or detriment to nearby properties. Most of the properties surrounding the facility are owned by the Rescue Mission and serve to further its mission. Although the proposed facility does not meet the definition, it functionally looks like a two-story building from the street, which is in character with neighboring buildings.
- b) The granting of variance b) will **not** create an undesirable change in the neighborhood's character or detriment to nearby properties. Most of the properties surrounding the facility are owned by the Rescue Mission and serve to further its mission. Also, the lot's vacancy has led to undesirable activities in the area, as noted by the City of Syracuse Police Department. The new facility will increase visibility and security through glazing and lighting, hopefully deterring some of these activities. Glazing around the entire building

may not be transparent, but it will still provide the sense that there are eyes on the street, which is a primary component of CPTED.

## **2. Feasibility of Alternatives**

- a) A zoning-compliant design for the MEB could be achieved by other methods/ designs but would be excessive in cost and scope for what the Rescue Mission needs the facility for. The granting of variance a) allows Rescue Mission to build the facility they need for their operation without creating excessive/unnecessary space.
- b) Other methods/designs could achieve a zoning-compliant design for the MEB but would be excessive in cost and scope for what the Rescue Mission needs the facility for. The granting of variance b) allows the Rescue Mission to provide the security and safety it needs for its clientele through the use of opaque glass.

## **3. Substantiality**

- a) The requested variance a) is **not** substantial. Variance (a) is deficient in 64% of the technical requirements of the ordinance (i.e. there is no interior floor between the first floor and roof); the building appears to be two stories from the exterior/ street through the use of lines, glazing on the façade, and overall height (22 ft).
- b) The requested variance b) is **not** substantial. Variance (b) is 50% deficient in the technical requirement, based on the definition of glazing (i.e. transparent), but does meet the requirement if opaque/spandrel glass is allowed, which, as noted above, meets the needs of CPTED.

## **4. Adverse Effect**

- a) The proposed area variance a) will **not** adversely affect or impact the physical or environmental conditions in the neighborhood or district. The proposed MEB facility will benefit the physical conditions of the neighborhood by providing a new two-story structure that will increase the area's security, as described above. The facility will not impact the neighborhood environmentally as the variance requested does not impact the area's environmental quality.
- b) The proposed area variance b) will **not** adversely affect or impact the physical or environmental conditions in the neighborhood or district. The proposed MEB facility will benefit the neighborhood's physical conditions by providing new lighting and glazing that will increase the area's security, as described above. The facility will not impact the neighborhood environmentally, as the variance requested does not impact the area's environmental quality.

## **5. Self-Created Difficulty**

- a) The proposed action is self-created. The design was proposed to meet the requirements/needs of the Rescue Mission, SIDA, and ESD: DRI as described above. The building was designed with 360 Architecture and CPTED in mind as it relates to this specific area within the city, which is known for increased police presence as well as serving the unhoused community. The relief requested from variance a), provides the necessary shelf height to store the gaylords critical to the Rescue Mission's donation services.
- b) The proposed action is self-created. The design was proposed to meet the requirements/needs of the Rescue Mission, SIDA, and ESD: DRI as described above. The building was designed with 360 Architecture and CPTED in mind as it relates to this specific area within the city, which is known for increased police presence as well as serving the unhoused community. The relief requested from the glazing from variance b) along Gifford is meant to reduce unsightly broken windows and increase perceived street visibility.

Accompanying this submission:

- Use Variance Application
- Long Environmental Assessment Form (LEAF)
- Site Plan
- Site Survey
- Architectural Plans

Respectfully,

Keplinger Freeman Associates, PLLC

A handwritten signature in black ink, appearing to read "Scott L. Freeman", written over a light blue horizontal line.

Scott L. Freeman, PLA



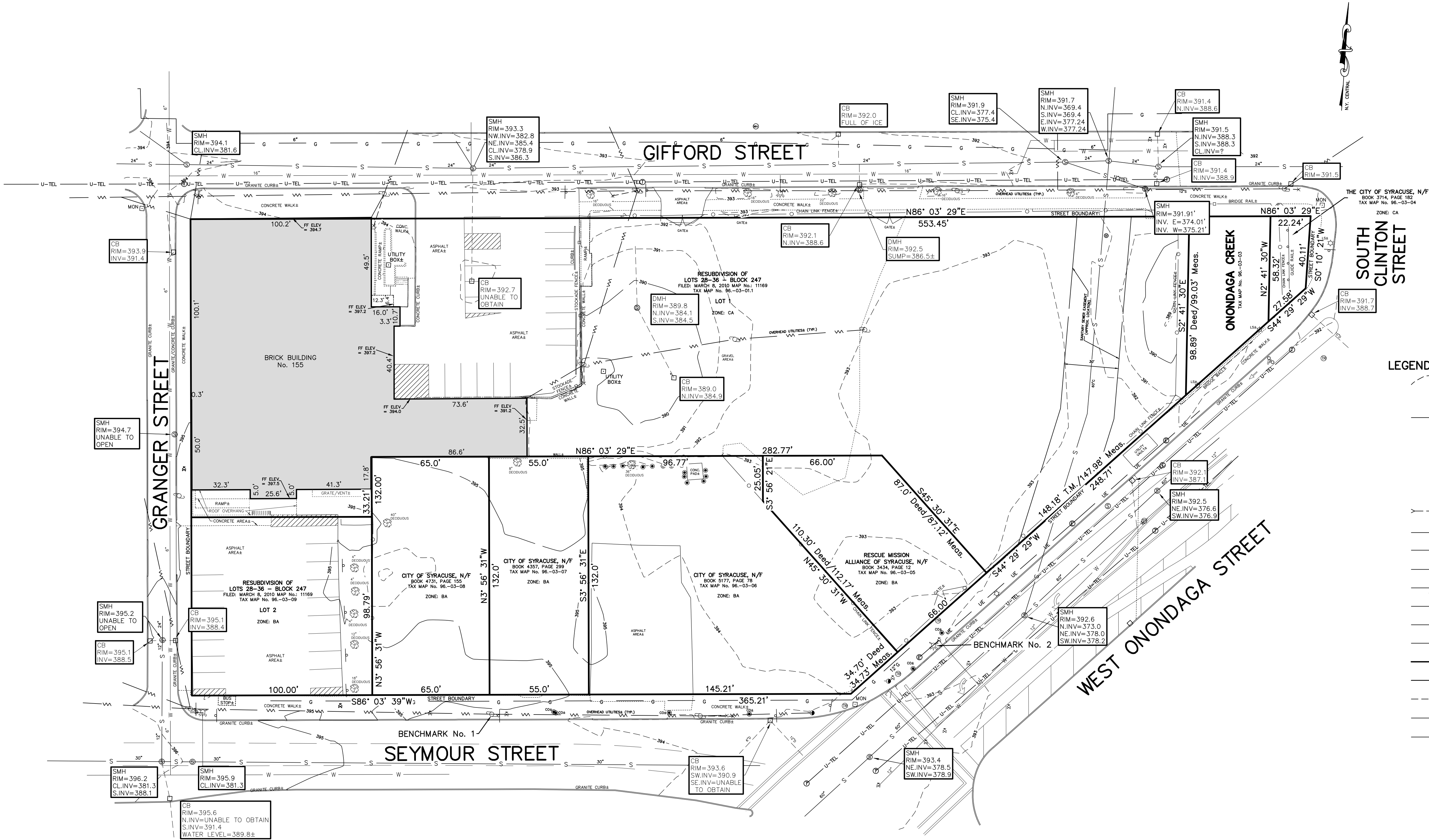
BENCHMARKS:

BENCHMARK No. 1  
MAG NAIL 1"± UP IN NORTHEASTERLY SIDE OF POLE No. NG 6.  
ELEV.=396.27'

BENCHMARK No. 2  
CHISELED "X" ON NUT BELOW "P" IN "OPEN".  
ELEV.=395.74'



LOCATION PLAN  
Scale: 1" = 500'



- LEGEND:
- indicates original grade
  - ☆ LS indicates light stand
  - indicates utility pole, anchor & overhead lines
  - IPF indicates iron pipe and/or monument found
  - indicates bollard
  - indicates sign
  - indicates monitoring well
  - indicates storm culvert
  - indicates gas main, gas valve & gas line marker
  - indicates water main, water valve & hydrant
  - indicates storm sewer, catch basin & manhole
  - indicates sanitary sewer, sewer vent & manhole
  - indicates underground telephone line, manhole & box
  - indicates underground electric line & manhole
  - indicates underground television cable & box
  - indicates boundary line
  - indicates adjacent parcel line
  - indicates old/original parcel line
  - indicates easement line
  - indicates centerline road

NOTES:

Present Zone: BA & CA per City of Syracuse Zoning Atlas last updated Dec. 2022.

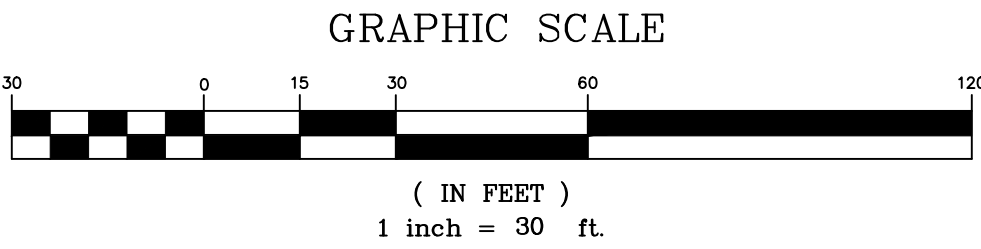
Elevations referred to NAVD 88.

Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only. Utility information shown is limited to visible utility hardware and possible utility markouts at the surface and may not include items such as subsurface piping, utility lines, etc. Before any excavation is to begin, underground utilities should be verified by the proper utility companies. Ianuzi & Romans Land Surveying, P.C. does not guarantee the utilities shown comprise such utilities in the area either in service or abandoned.

The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain.), Zone "X" (Areas of 0.2% annual chance flood; areas of 1% annual flood with average depths of less than 1 foot of with drainage areas of less than 1 square mile; and areas protected by levees from 1% annual chance flood.), Zone AE (Base Flood Elevations determined.) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 36067C0217F, effective date: November 4, 2016.

Flood Zones scaled from Flood Insurance Rate Map Community Panel No. 36067C0217F and are approximate only.

Tax Map Nos.: 96-03-01.1, 04, 05, 06, 07, 08 & 09.



REVISIONS		BOUNDARY & TOPOGRAPHIC SURVEY		
JANUARY 21, 2025		RESCUE MISSION ALLIANCE OF GREATER SYRACUSE		
		BLOCK No. 247 CITY OF SYRACUSE ONONDAGA COUNTY, NEW YORK		
		IANUZI & ROMANS LAND SURVEYING, P.C. 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251 EMAIL: mail@romanspc.com		
		DATE: JUNE 29, 2023		SHEET No.
		SCALE: 1" = 30'		
		FILE No.: 3120.024		F.B. No. 1729/1759












By: Cottrell Land Surveyors, P.C.  
Date Filed: March 8, 2010  
Map No.: 11169

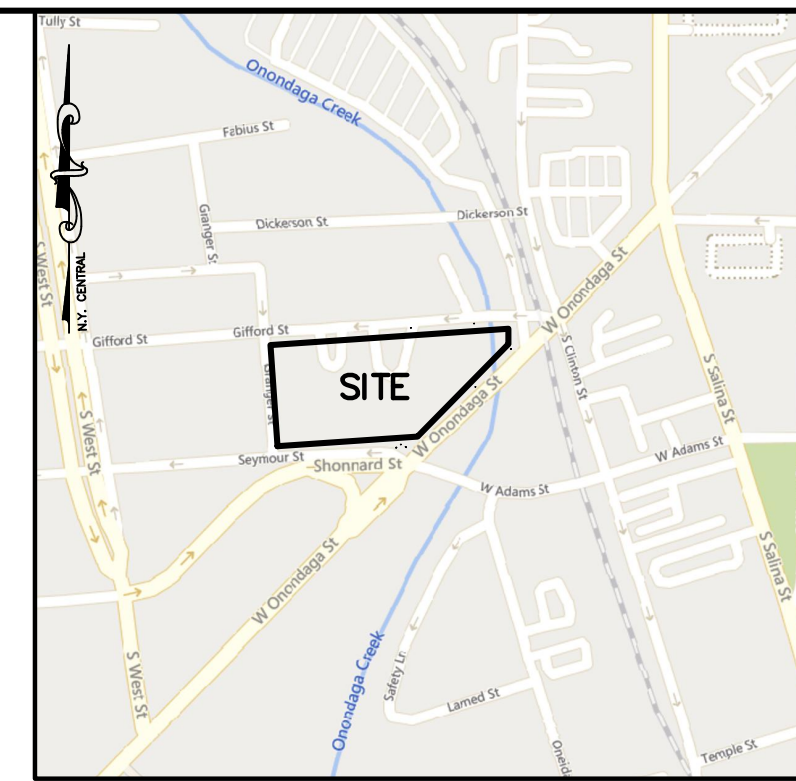
By: J.M Trowbridge  
Date Filed: November 5, 1870  
Map No.: 138

By: G.E. Higgins, C.E.  
Date Filed: July 17, 1896  
Map No.: 899

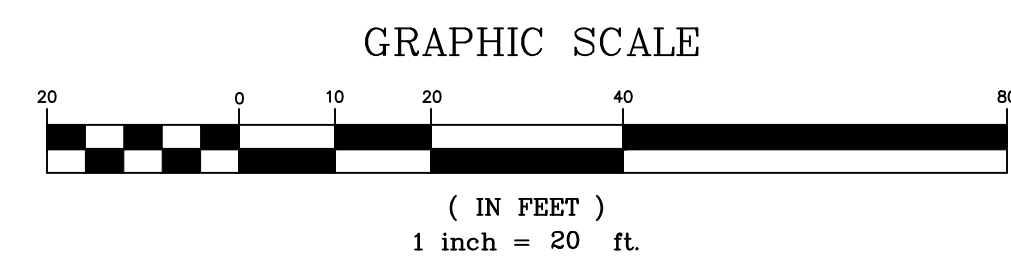
Total Area: 2.99± Acres.  
Total number of lots: Six (6) existing, Two (2) proposed.  
Present Zone: MX-3 Mixed-Use Transition.  
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only.  
The premises shown hereon is within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain.), Zone "X" (Areas of 0.2% annual chance flood; areas of 1% annual flood with average depths of less than 1 foot of with drainage areas of less than 1 square mile; and areas protected by levees from 1% annual chance flood.), Zone AE (Base Flood Elevations determined.) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 36067C0217F, effective date: November 4, 2016.  
Flood Zones caused from Flood Insurance Rate Map Community Panel No. 36067C0217F and are approximate only.  
Tax Map Nos.: 96.-03-01.1, 05, 06, 07, 08 & 09.

	indicates original grade
	indicates light stand
	indicates utility pole, anchor & overhead lines
	indicates iron pipe and/or monument found
	indicates bollard
	indicates sign
	indicates storm culvert
	indicates gas main, gas valve & gas line marker
	indicates water main, water valve & hydrant
	indicates storm sewer, catch basin & manhole

	indicates sanitary sewer, sewer vent & manhole
	indicates underground telephone line, manhole & box
	indicates underground electric line & manhole
	indicates underground television cable & box
	indicates boundary line
	indicates adjacent parcel line
	indicates old/original parcel line
	indicates easement line
	indicates centerline road



Scale: 1" = 500'



APPROVED: **RESCUE MISSION ALLIANCE OF SYRACUSE**  
155 Gifford Street, Syracuse, NY 13202

DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
Developer

CITY OF SYRACUSE FINANCE DEPT



CITY OF SYRACUSE DEPT. OF ENGINEERING

CITY OF SYRACUSE PLANNING COMMISSION

CITY OF SYRACUSE ASSESSMENT

ONONDAGA COUNTY HEALTH DEPT

[illegible]

(SHEET NUMBER 3) OF 3 PROJECTS (ONONDAGA COUNTY) CITY OF SYRACUSE, MISSISSAUGA (UNION) (UPP) STREET, SYRACUSE, MISSISSAUGA, ONTARIO FINAL PLAN <h1 style="text-align: center;">GIFFORD STREET RESCUE MISSION</h1> BLOCK No. 247 CITY OF SYRACUSE ONONDAGA COUNTY, NEW YORK		
 <p><b>JANUZZI &amp; ROMANS</b>  <b>LAND SURVEYING, P.C.</b>          5251 WITZ DRIVE          NORTH SYRACUSE, NY 13212          PHONE: (315) 457-7200          FAX: (315) 457-9251          EMAIL: <a href="mailto:info@januzziromans.com">info@januzziromans.com</a></p>	DATE: NOVEMBER 13, 2024 SCALE: 1" = 20' FILE No.: 3625.001	SHEET No. F.R. No. 1722

Subject to any statement of facts an accurate and up to date abstract of title will show.

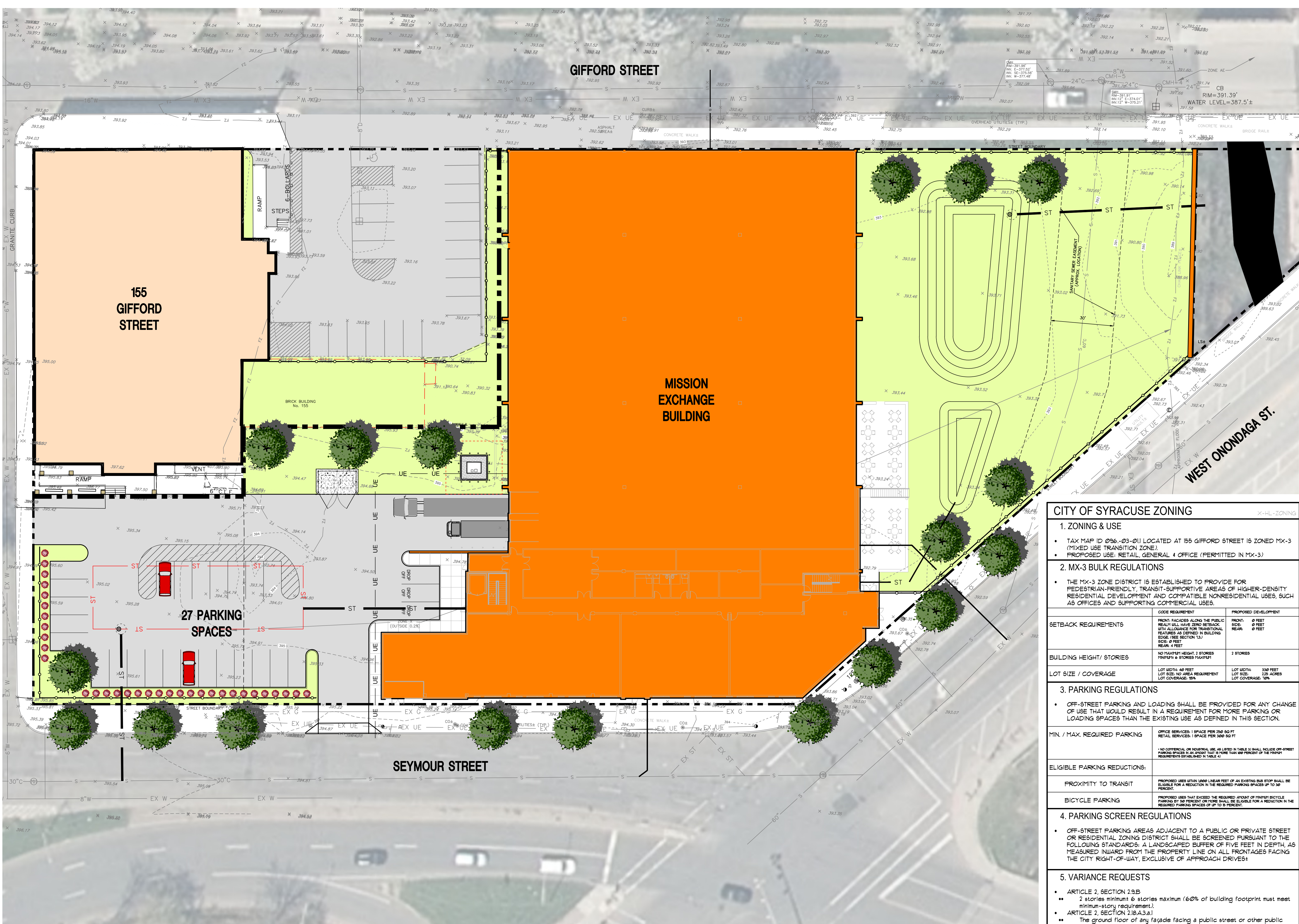
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

RESCUE MISSION, FP.dwg



1 SITE PLAN

L001



CITY OF SYRACUSE ZONING			X-HL-HL-ZONING
1. ZONING & USE			
<ul style="list-style-type: none"><li>• TAX MAP ID 036-03-011 LOCATED AT 155 GIFFORD STREET IS ZONED MX-3 (MIXED USE TRANSITION ZONE).</li><li>• PROPOSED USE: RETAIL, GENERAL &amp; OFFICE (PERMITTED IN MX-3)</li></ul>			
2. MX-3 BULK REGULATIONS			
<ul style="list-style-type: none"><li>• THE MX-3 ZONE DISTRICT IS ESTABLISHED TO PROVIDE FOR PEDESTRIAN-FRIENDLY, TRANSIT-SUPPORTIVE AREAS OF HIGHER-DENSITY RESIDENTIAL DEVELOPMENT AND COMPATIBLE NONRESIDENTIAL USES, SUCH AS OFFICES AND SUPPORTING COMMERCIAL USES.</li></ul>			
SETBACK REQUIREMENTS	CODE REQUIREMENT FRONT: FACADES ALONG THE PUBLIC RIGHT-OF-WAY SHALL HAVE ZERO SETBACK WITH ALLOWANCE FOR TRANSITIONAL FEATURES AS DEFINED IN BUILDING EDGE (SEE SECTION 13.3) SIDE: 0 FEET REAR: 4 FEET	PROPOSED DEVELOPMENT FRONT: 0 FEET SIDE: 0 FEET REAR: 0 FEET	
BUILDING HEIGHT/ STORIES	NO MAXIMUM HEIGHT, 2 STORIES MINIMUM 6 STORIES MAXIMUM	2 STORIES	
LOT SIZE / COVERAGE	LOT WIDTH: 40 FEET LOT SIZE: NO AREA REQUIREMENT LOT COVERAGE: 80%	LOT WIDTH: 330 FEET LOT SIZE: 225 ACRES LOT COVERAGE: 100%	
3. PARKING REGULATIONS			
<ul style="list-style-type: none"><li>• OFF-STREET PARKING AND LOADING SHALL BE PROVIDED FOR ANY CHANGE OF USE THAT WOULD RESULT IN A REQUIREMENT FOR MORE PARKING OR LOADING SPACES THAN THE EXISTING USE AS DEFINED IN THIS SECTION.</li></ul>			
MIN. / MAX. REQUIRED PARKING	OFFICE SERVICES: 1 SPACE PER 750 SQ FT RETAIL SERVICES: 1 SPACE PER 500 SQ FT  *NO COMMERCIAL OR INDUSTRIAL USE AS LISTED IN TABLE 3.1 SHALL INCLUDE OFF-STREET PARKING SPACES IN AN AMOUNT THAT IS MORE THAN 100 PERCENT OF THE MINIMUM REQUIREMENTS ESTABLISHED IN TABLE 4.		
ELIGIBLE PARKING REDUCTIONS:			
PROXIMITY TO TRANSIT	PROPOSED USES WITHIN 1000 LINEAR FEET OF AN EXISTING BUS STOP SHALL BE ELIGIBLE FOR A REDUCTION IN THE REQUIRED PARKING SPACES UP TO 30 PERCENT.		
BICYCLE PARKING	PROPOSED USES THAT EXCEED THE REQUIRED AMOUNT OF MINIMUM BICYCLE PARKING BY 50 PERCENT OR MORE SHALL BE ELIGIBLE FOR A REDUCTION IN THE REQUIRED PARKING SPACES OF UP TO 5 PERCENT.		
4. PARKING SCREEN REGULATIONS			
<ul style="list-style-type: none"><li>• OFF-STREET PARKING AREAS ADJACENT TO A PUBLIC OR PRIVATE STREET OR RESIDENTIAL ZONING DISTRICT SHALL BE SCREENED PURSUANT TO THE FOLLOWING STANDARDS: A LANDSCAPED BUFFER OF FIVE FEET IN DEPTH, AS MEASURED INWARD FROM THE PROPERTY LINE ON ALL FRONTAGES FACING THE CITY RIGHT-OF-WAY, EXCLUSIVE OF APPROACH DRIVES:</li></ul>			
5. VARIANCE REQUESTS			
<ul style="list-style-type: none"><li>• ARTICLE 2, SECTION 2.9.B<ul style="list-style-type: none"><li>• 2 stories minimum &amp; 6 stories maximum (60% of building footprint must meet minimum-story requirement).</li></ul></li><li>• ARTICLE 2, SECTION 2.10.A.3.a.i<ul style="list-style-type: none"><li>• The ground floor of any facade facing a public street or other public area such as a plaza, park, or pedestrian walkway shall contain a minimum of 40 percent windows, display areas, openings, or doorways. Windows shall be unobstructed and allow views into working areas or lobbies, pedestrian entrances, or display areas.</li></ul></li></ul>			

SWBR

309 South Franklin Street Syracuse NY 13202  
315 468 5635 | roche@swbr.com  
SWBR NYS Certificate of Authorization # 235221

KEPLINGER  
FREEMAN  
ASSOCIATES  
LANDSCAPE ARCHITECTURE & LAND PLANNING  
4330 191 ROAD, SUITE 101, BIG SPRING, NEW YORK 13027  
PHONE: (315) 445-7980 FAX: (315) 445-7981

Drawn By: VER  
Checked By: SLF  
Project Manager: DMKS

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Revisions  
1. 02.03.25 CITY CMT

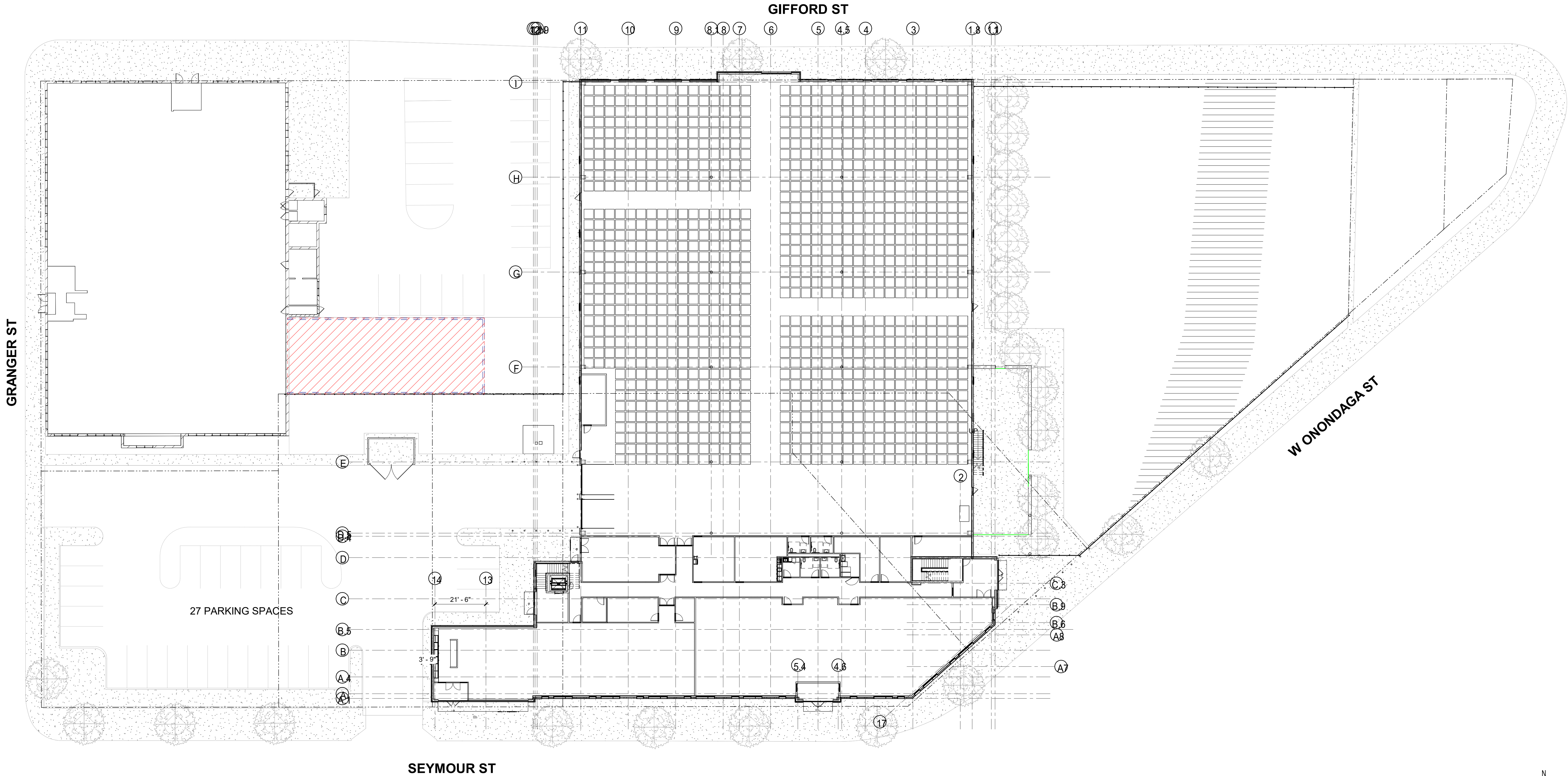
Rescue Mission - Mission  
Exchange Building  
SWBR Project Number 22137.00

Rescue Mission Alliance  
155 Gifford Street, Syracuse, NY  
13202

L-001

SITE PLAN  
DECEMBER 03, 2024  
Design Development





1 SITE PLAN  
3/64" = 1'-0"

**SWBR**

309 South Franklin Street Syracuse NY 13202  
315.488.5635 | rochester@swbr.com  
SWBR NY'S Certificate of  
Authorization #: 235221

Drawn By: KC  
Checked By: DMKS  
Project Manager: DMKS

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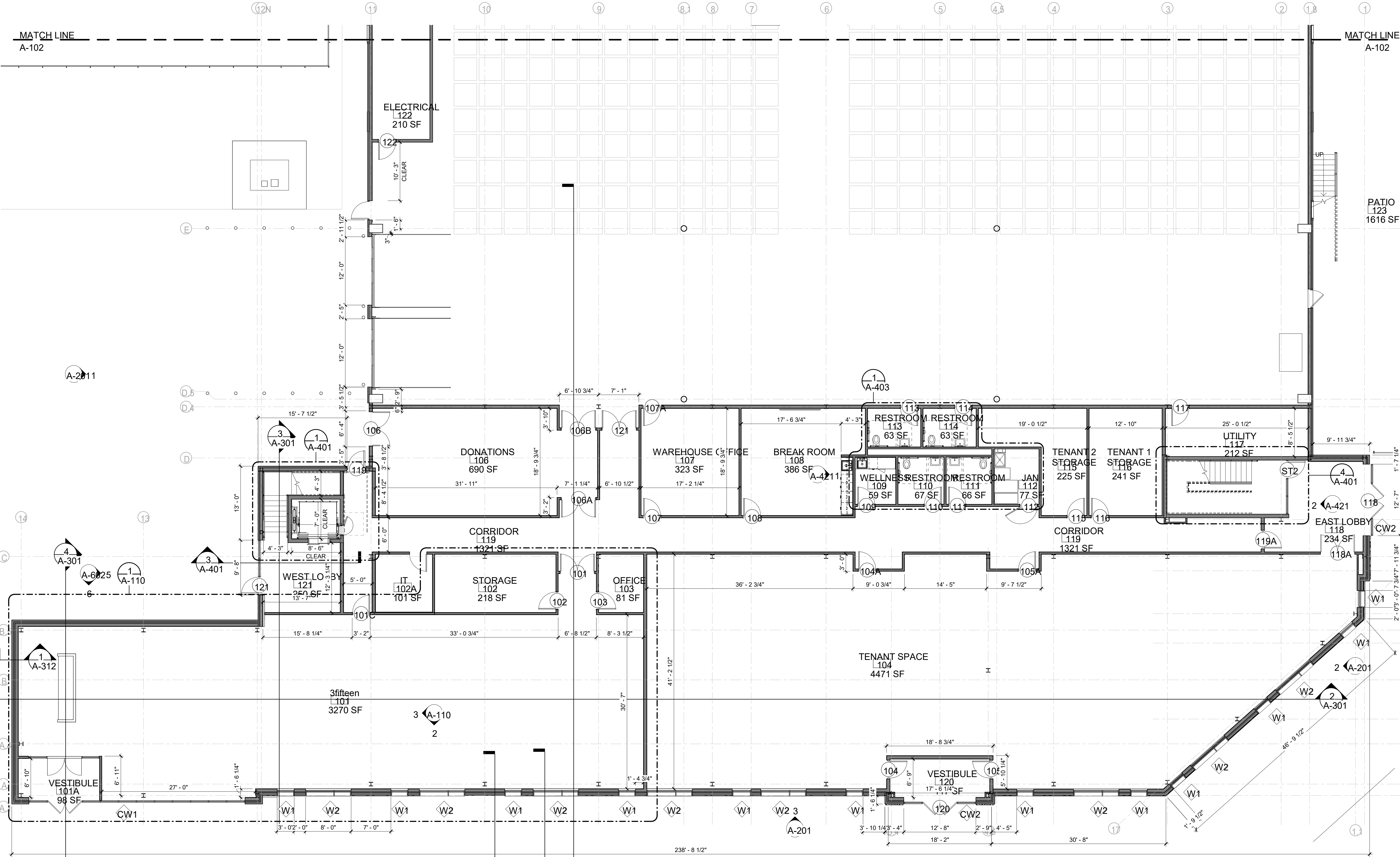
Revisions

Rescue Mission - Mission  
Exchange Building  
2.25.137.00

Rescue Mission Alliance  
155 Gifford Street, Syracuse, NY  
13202

**A-100**  
SITE PLAN

March 17, 2025  
Site Plan Review  
Progress Set



**1 PARTIAL FIRST FLOOR PLAN**  
1/8" = 1'-0"

**SWBR**

309 South Franklin Street Syracuse NY 13202  
315.488.5635 | rochester@swbr.com  
SWBR NY'S Certificate of  
Authorization #: 23521

Drawn By: KC. SM  
Checked By: DMKS  
Project Manager: DMKS

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Revisions

**Rescue Mission - Mission Exchange Building**  
22137.00

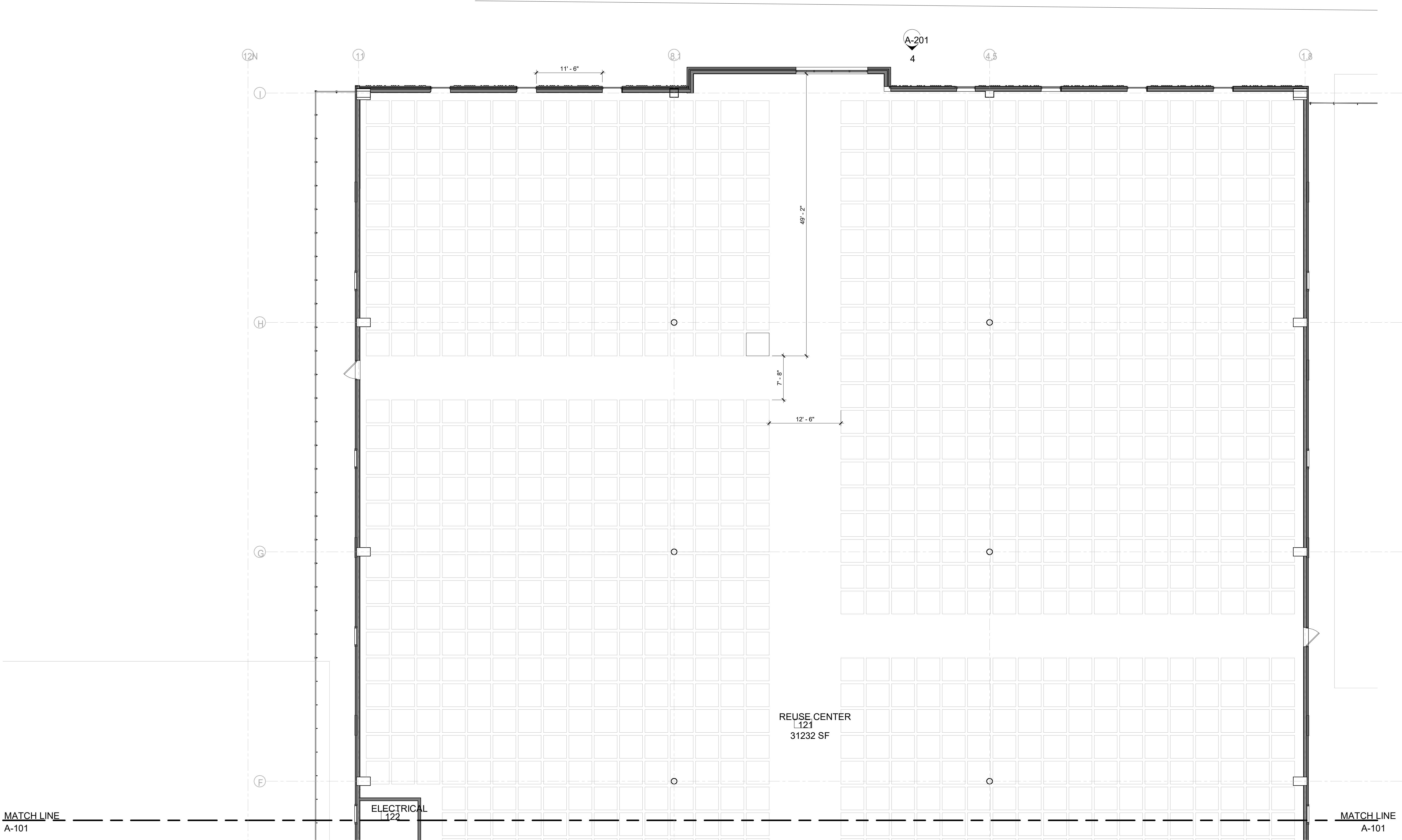
**Rescue Mission Alliance**  
155 Gifford Street, Syracuse, NY 13202

**A-101**

**PARTIAL FIRST FLOOR PLAN**

**March 17, 2025**  
Site Plan Review  
Progress Set





MATCH LINE A-101

ELECTRICAL 122

MATCH LINE A-101

# 1 PARTIAL FIRST FLOOR PLAN

1/8" = 1'-0"

# SWBR

309 South Franklin Street Syracuse NY 13202  
315.488.5635 | rochester@swbr.com  
SWBR NY's Certificate of  
Authorization #: 235221

Drawn By: KC, SM  
Checked By: DMKS  
Project Manager: DMKS

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## Revisions

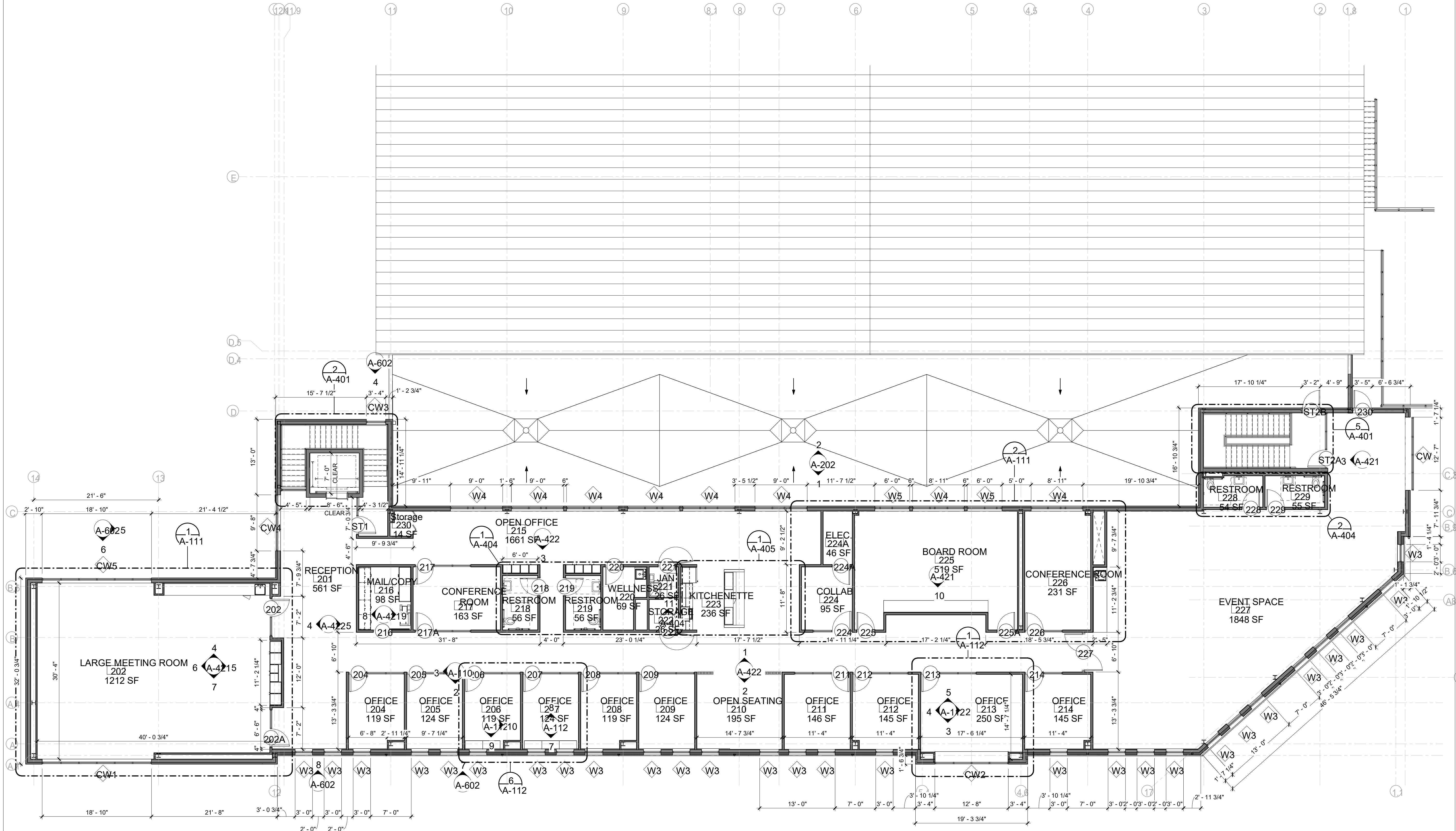
Rescue Mission - Mission  
Exchange Building 22137.00

Rescue Mission Alliance  
155 Gifford Street, Syracuse, NY  
13202

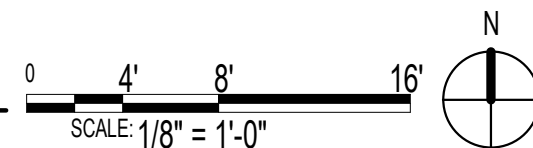
# A-102

PARTIAL FIRST  
FLOOR PLAN

March 17, 2025  
Site Plan Review  
Progress Set



1 SECOND FLOOR PLAN  
1/8" = 1'-0"



Drawn By: KC. SM  
Checked By: DMKS  
Project Manager: DMKS

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Revisions

Rescue Mission - Mission  
Exchange Building  
2.25.137.00

Rescue Mission Alliance  
155 Gifford Street, Syracuse, NY  
13202

A-103

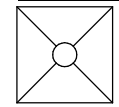
SECOND FLOOR  
PLAN

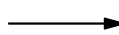
March 17, 2025  
Site Plan Review  
Progress Set


ROOF GENERAL NOTES

1. INSTALL PLYWOOD PROTECTION OVER ROOF FOR DURATION OF CONSTRUCTION. PROTECT MEMBRANE FROM DAMAGE AND PATCH ANY HOLES, TEARS, PUNCTURES OR OTHER BREACHES CAUSED BY CONSTRUCTION ACTIVITIES.

ROOF LEGEND

- 

ROOF DRAIN IN TAPERED 4'-0" X 4'-0" ROOF DRAIN SUMP
- 

DENOTES SLOPE OF TAPERED INSULATION AT 1/4" PER FOOT PITCH UNLESS OTHERWISE INDICATED
- 

(E) EXISTING TO REMAIN

ABBREVIATIONS:

- SVR

STATIONARY ROOF VENT
- EF

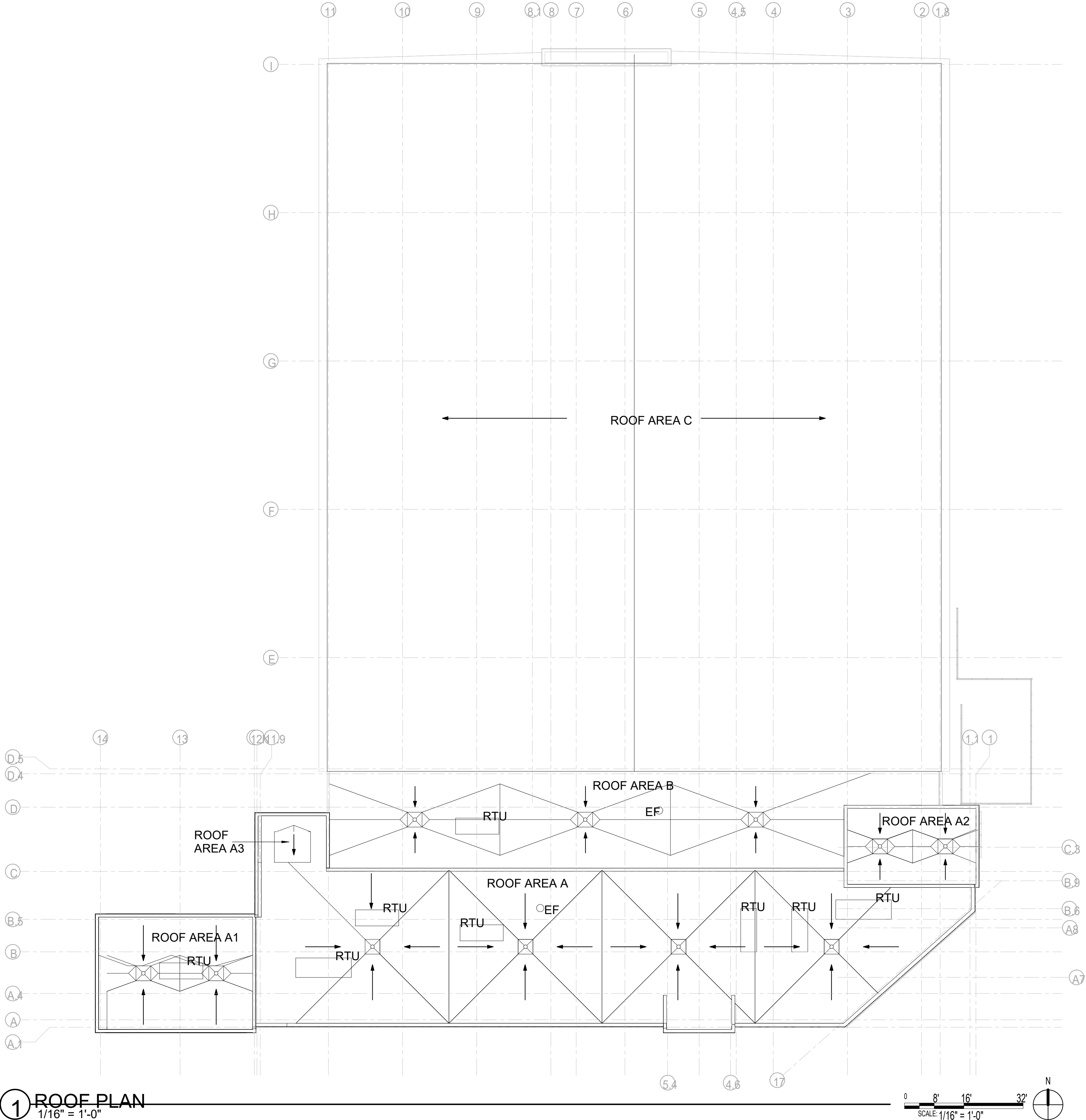
EXHAUST FAN
- RTU

ROOF TOP UNIT

ROOF SYSTEM DESCRIPTION (ROOF AREA A, A1, A2, A3, B)	R-VALUE
- OUTSIDE AIR	.17
- EPDM SINGLE-PLY ROOF MEMBRANE (FULLY ADHERED)	.35
- 1/2" COVERBOARD (SET IN ADHESIVE)	.45
- TAPERED POLY-ISO INSULATION (SET IN ADHESIVE)	30 MIN ci
- SELF ADHERED VAPOR RETARDER	.12
- 1/2" THERMAL BARRIER (MECHANICALLY FASTENED)	.45
- 1 1/2" METAL DECK	.00
- INSIDE AIR	.92

ROOF SYSTEM DESCRIPTION (ROOF AREA C)

- PREMANUFACTURED METAL ROOF



1 ROOF PLAN  
1/16" = 1'-0"

Drawn By: KC, SM  
Checked By: DMKS  
Project Manager: DMKS

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Revisions

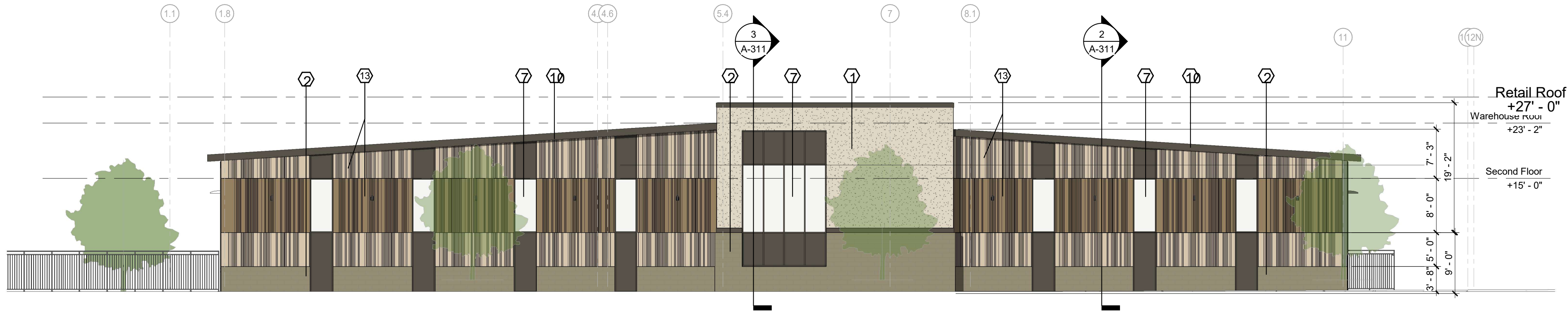
Rescue Mission - Mission Exchange Building  
2.25.137.00

Rescue Mission Alliance  
155 Gifford Street, Syracuse, NY 13202

A-104  
ROOF PLAN

March 17, 2025  
Site Plan Review  
Progress Set

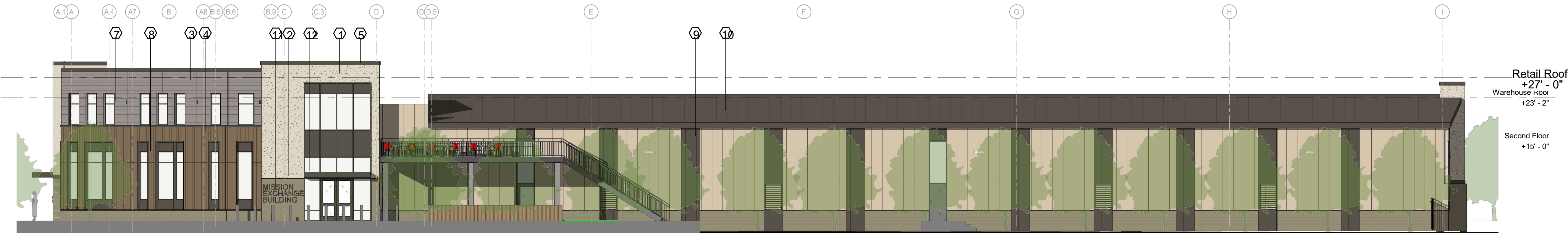




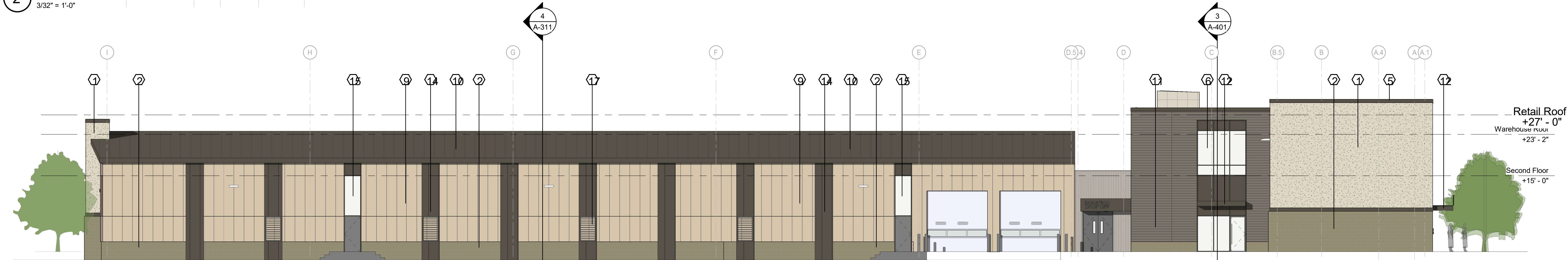
4 EXTERIOR ELEVATION - NORTH  
3/32" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH  
3/32" = 1'-0"



2 EXTERIOR ELEVATION - EAST  
3/32" = 1'-0"



1 EXTERIOR ELEVATION - WEST  
3/32" = 1'-0"

ELEVATION KEY NOTES		SHOWN AS:
NO.	DESCRIPTION	
1	EXTERIOR INSULATION FINISHING SYSTEM, COLOR: TBD	
2	CMU; BOD: ARCHITECTURAL MASONRY DECROFACE CMU 8"H x 24"W, COLOR: TBD	
3	FIBER CEMENT ARCHITECTURAL VERTICAL WALL PANELS; BOD: NICHHA VINTAGEWOOD 3030, COLOR: CEDAR	
4	FIBER CEMENT ARCHITECTURAL HORIZONTAL WALL PANELS; BOD: NICHHA VINTAGEWOOD 3030, COLOR: BARK	
5	8" PREFINISHED ALUMINUM FASCIA EDGE SYSTEM, COLOR: DARK BRONZE	
6	ALUMINUM STOREFRONT SYSTEMS WITH ENTRANCE DOORS; BOD: EFCO, COLOR: DARK BRONZE	
7	ALUMINUM STOREFRONT SYSTEMS - FIXED WINDOW; BOD: EFCO, COLOR: DARK BRONZE	
8	ALUMINUM STOREFRONT SYSTEMS - FIXED WINDOW WITH ALUMINUM SLOPED PANEL; BOD: EFCO, COLOR: DARK BRONZE	
9	FORMED METAL WALL PANELS WITH CONCEALED FASTENER; BOD: STAR BUILDING SYSTEMS; COLOR: TBD	
10	METAL STANDING SEAM ROOF PANELS; BOD: STAR BUILDING SYSTEMS, DOUBLE-LQK PANELS	
11	BUILDING SIGNAGE TBD	
12	PRE-ENGINEERED EXTRUDED ALUMINUM CANOPY; BOD: EXTRUDECK, COLOR: DARK BRONZE	
13	RAINSCREEN WALL PANEL SYSTEM; BOD: ATAS, COLOR TBD	
14	FORMED METAL WALL PANELS WITH CONCEALED FASTENER; BOD: STAR BUILDING SYSTEMS; COLOR: TBD	
15	ALUMINUM STOREFRONT SYSTEMS WITH SINGLE DOOR AND TRANSOM FIXED GLASS GLAZING ABOVE; COLOR: DARK BRONZE	
16	ALUMINUM STOREFRONT SYSTEMS; BOD: EFCO, COLOR: DARK BRONZE	
17	LOUVER; BOD: GREENHECK EAC 401, COLOR: DARK BRONZE	





J. Ryan McMahon, II  
COUNTY EXECUTIVE

# Onondaga County Planning Board

## RESOLUTION OF THE ONONDAGA COUNTY PLANNING BOARD

Meeting Date: February 26, 2025  
OCPB Case # Z-25-73

- WHEREAS, the Onondaga County Planning Board, pursuant to General Municipal Law, Section 239 l, m and n, has considered and reviewed the referral for a AREA VARIANCE from the City of Syracuse Board of Zoning Appeals at the request of Dan Sieburg, Rescue Mission for the property located at 155 Gifford Street; and
- WHEREAS, General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of West Street, a state arterial, and Adams Street, a state highway; and
- WHEREAS, the applicant is requesting two area variances related to a proposed two-story, 45,000 sf mixed-use development to support the existing Rescue Mission on 6 parcels totaling 3 acres in a Central Business (MX-3) zoning district; and
- WHEREAS, the site is a one-block portion the Rescue Mission campus which is located on the west side of downtown Syracuse; the site is surrounded by Gifford, Seymour, Granger, and West Onondaga Streets; and
- WHEREAS, per aerial imagery from May 2024, the site contains an approximately 17,400 sf building in the northwest corner with parking lots to the east and south; a gravel area is located along the northern site boundary, east of the parking lot, and appears to contain parking and outdoor storage; an area of broken asphalt occurs along the southern site boundary; the remainder of the site are vacant lawn areas; and
- WHEREAS, per the referral, that applicant is seeking to construct a new 45,000 sf building to be known as the Mission Exchange Building (MEB); the existing building at the corner of Gifford and Granger Streets will remain; the complex will contain retail, retail storage, and offices; per the Site Plan dated 2/3/25, the Mission Exchange building will cover the middle of the parcel and will front Gifford and Seymour Streets, the existing 155 Gifford Street building will remain in the northwest corner of the site, and parking lots will be installed in the southwest corner and east of the 155 Gifford Street building; and
- WHEREAS, the applicant is requesting two area variances to allow for this proposal prior to submitting the whole project for review; the applicant is seeking an area variance from the City Code that requires this building to be 2 stories minimum with 60% of the building's footprint to meet the minimum-story requirement, noting the proposed building meets 22% of the required 60% minimum, the height of the building is consistent with the height of a two-story building, but the building requires high ceilings to accommodate the storage of donations that need to be sorted and distributed to the Mission's retail stores; the applicant is also seeking a variance from the requirement that "the ground floor of any façade facing a public street or other public area such as a plaza, park, or pedestrian walkway shall contain a minimum of 40% windows, display areas, openings, or doorways", stating the proposed façade on Gifford Street will have 20% transparency, but increasing transparency will could lead to costly vandalism for a portion of the building that will be utilized for storage; and

WHEREAS, per the Environmental Assessment Form (EAF) dated 1/29/25, 1.66 acres of the site will be disturbed by the proposed project and stormwater will be discharged to a “wet pond and below grade detention facility”; per the Site Plan dated 2/3/25, a stormwater basin will be installed in the eastern portion of the site between the Mission Exchange Building and Onondaga Creek;

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more of land must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval; and

WHEREAS, per the referral notice, the site is served by public drinking water and new connections are proposed to serve the complex; and

WHEREAS, per the referral notice, the site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant service area and new connections are proposed for the complex;

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division in order to connect into the public sewer system; additionally, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online:

<http://www.ongov.net/wep/CapacityAssuranceReviews.html>; and

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects; the applicant must contact Plumbing Control to ensure appropriate permits are obtained; and

WHEREAS, per the Topographic Survey dated 6/19/23, a sanitary sewer easement crosses the eastern portion of the site in the approximate location of the stormwater basin;

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection (WEP), no permanent structures are permitted within the County easement; any other work within the County easement must be coordinated with WEP; and

WHEREAS, GIS-mapping shows Onondaga Creek and its associated federal wetlands (Class C stream ID 895-23) and 100-year floodplain cross the easternmost end of the site; Onondaga Creek is shown on the Topographic Survey dated 6/19/23 and it appears no development is proposed for this area; and

WHEREAS, the project is within 2,000 feet of multiple sites (IDs: 734042, C734162) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper); and

WHEREAS, the site is located near a bridge over Onondaga Creek, Peace Manor, and the Whedon-Schumacher House which are listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places; and

WHEREAS, the site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the NYS Historic Preservation Office archaeological site inventory (per EAF Mapper);

ADVISORY NOTE: The applicant and/or municipality is advised to contact the NYS Historic Preservation Office to determine if the project should be submitted to



the Office for review as part of the State Environmental Quality Review (SEQR) process; and

NOW THEREFORE BE IT RESOLVED, that the Onondaga County Planning Board has determined that said referral will have no significant adverse inter-community or county-wide implications and may consequently be acted on solely by the referring board.

A handwritten signature in black ink, appearing to read 'M. E. Voss', with a long horizontal stroke extending to the right.

Martin E. Voss, Chairman  
Onondaga County Planning Board

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Rescue Mission - Mission Exchange Building (MEB)		
Project Location (describe, and attach a general location map): 155 Gifford St. (Tax Map #s: 096.-03-01.1, 096.-03-09.0, 096.-03-08.0, 096.-03-07.0, 096.-03-06.0, 096.-0305.0)		
Brief Description of Proposed Action (include purpose or need):  Construction of a new mixed use development at the corner of Seymour and W. Onondaga St. Building will consist of retail, retail storage, and offices to support the adjacent Rescue Mission facility. The new building is approximately 53,000 square feet and 2 stories tall. The existing six (6) parcels of the Seymour block will be subdivided into one (1) complete parcel for the development of the site. The building will be accessed by multiple pedestrian entrances along city owned ROW and site interior. One new 24'-0" driveway is proposed for the property along Seymour St. exterior improvements include a parking lot reconfiguration, utility connections, detention pond, waste enclosure area, ROW improvements (new sidewalk) and truck loading bays.		
Name of Applicant/Sponsor: RESCUE MISSION ALLIANCE	Telephone: (315) 701-3886	
	E-Mail: Crystal.Cosentino@rmsyr.org	
Address: 155 Gifford Street		
City/PO: Syracuse	State: New York	Zip Code: 13202
Project Contact (if not same as sponsor; give name and title/role): Vincent Ryan	Telephone: (315) 279-7708	
	E-Mail: vr@keplingerfreeman.com	
Address: 6320 Fly Rd. Ste 109		
City/PO: East Syracuse	State: New York	Zip Code: 13057
Property Owner (if not same as sponsor): Same as Sponsor	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

## B. Government Approvals

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City of Syracuse CPC	Jan. 2025
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City of Syracuse Zoning Board of Appeals	Jan. 2025
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SOCPA	Jan. 2025
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Empire State Development, NYS DEC	Jan. 2025
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	HUD	Jan. 2025
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

## C. Planning and Zoning

### C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☒ Yes ☐ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

### C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☒ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

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c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

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### C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

The zoning classification for this project site is MX-3, Mixed-Use Transition.

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

### C.4. Existing community services.

a. In what school district is the project site located? City of Syracuse

b. What police or other public protection forces serve the project site?

Syracuse Police Department, Onondaga County Sherrifs

c. Which fire protection and emergency medical services serve the project site?

Syracuse Fire Department

d. What parks serve the project site?

Roseler Park, Skiddy Park

### D. Project Details

#### D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Benevolent Association

b. a. Total acreage of the site of the proposed action? 3 acres

b. Total acreage to be physically disturbed? 1.66 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 3 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision? ☒ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

Commercial

ii. Is a cluster/conservation layout proposed? ☐ Yes ☒ No

iii. Number of lots proposed? 2

iv. Minimum and maximum proposed lot sizes? Minimum .75 ac Maximum 2.24 ac

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: 18 months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_

- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year

- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes,	
i. Total number of structures <u>1</u> ii. Dimensions (in feet) of largest proposed structure: <u>28</u> height; <u>165</u> width; and <u>260</u> length iii. Approximate extent of building space to be heated or cooled: <u>45,890.5625</u> square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes,	
i. Purpose of the impoundment: <u>Stormwater Retention Pond</u> ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input checked="" type="checkbox"/> Other specify: <u>Stormwater Detention</u> iii. If other than water, identify the type of impounded/contained liquids and their source. _____ iv. Approximate size of the proposed impoundment. Volume: <u>TBD</u> million gallons; surface area: <u>TBD</u> acres v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): <u>Earthen Fill and HDPE Chambers</u>	

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. What is the purpose of the excavation or dredging? _____ ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____ _____ iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, describe. _____ _____ _____ v. What is the total area to be dredged or excavated? _____ acres vi. What is the maximum area to be worked at any one time? _____ acres vii. What would be the maximum depth of excavation or dredging? _____ feet viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> ix. Summarize site reclamation goals and plan: _____ _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____ _____ _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☒ No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☒ No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

\_\_\_\_\_

---

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 2,541 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No  
If Yes:

- Name of district or service area: City of Syracuse
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

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d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 2,541 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No  
If Yes:

- Name of wastewater treatment plant to be used: Onondaga County Metropolitan Wastewater Treatment Plant
- Name of district: City of Syracuse
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No



Page 6 of 13

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input checked="" type="checkbox"/> Morning <input checked="" type="checkbox"/> Evening <input type="checkbox"/> Weekend  <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____  1 semi-trailer per day and some small delivery trucks per week, daily donation drop off.</p> <p>iii. Parking spaces: Existing <u>36</u> Proposed <u>47</u> Net increase/decrease <u>+11</u></p> <p>iv. Does the proposed action include any shared use parking? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____  360,000 KWh</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  <u>Grid</u></p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>7 AM to 7 PM</u></li> <li>• Saturday: <u>Occasionally</u></li> <li>• Sunday: <u>Occasionally</u></li> <li>• Holidays: _____</li> </ul> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>7 AM to 5 PM</u></li> <li>• Saturday: <u>7 AM to 5 PM</u></li> <li>• Sunday: <u>7 AM to 5 PM</u></li> <li>• Holidays: _____</li> </ul> </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>7 AM to 7 PM</u></li> <li>• Saturday: <u>Occasionally</u></li> <li>• Sunday: <u>Occasionally</u></li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>7 AM to 5 PM</u></li> <li>• Saturday: <u>7 AM to 5 PM</u></li> <li>• Sunday: <u>7 AM to 5 PM</u></li> <li>• Holidays: _____</li> </ul>
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<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p><u>Several 20' pole lights and wall mounted lights will be installed across the new development to provide safety lighting. All lights will be dark sky compliant.</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ 10.0 tons per _____ week (unit of time)</li> <li>• Operation : _____ 2 tons per _____ week (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: <u>None</u></li> <li>_____</li> <li>• Operation: <u>Normal recycling in accordance with OCCRA requirements</u></li> <li>_____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: <u>Pick up will be called in on an as needed basis to empty on-site containers.</u></li> <li>_____</li> <li>• Operation: <u>weekly commercial garbage pickup will be scheduled.</u></li> <li>_____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☒ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

## E. Site and Setting of Proposed Action

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☒ Urban ☐ Industrial ☒ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	.75	1.42	+.67
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	1.42	.75	-.67
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, i. Identify Facilities: <u>Rescue Mission Alliance</u>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
e. Does the project site contain an existing dam? If Yes: i. Dimensions of the dam and impoundment: • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet ii. Dam's existing hazard classification: _____ iii. Provide date and summarize results of last inspection: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? • If yes, cite sources/documentation: _____ ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____ iii. Describe any development constraints due to the prior solid waste activities: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: <input type="checkbox"/> Yes – Spills Incidents database      Provide DEC ID number(s): _____ <input type="checkbox"/> Yes – Environmental Site Remediation database      Provide DEC ID number(s): _____ <input type="checkbox"/> Neither database ii. If site has been subject of RCRA corrective activities, describe control measures: _____ iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): <u>734042, C734162</u> iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No



v. Is the project site subject to an institutional control limiting property uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
<ul style="list-style-type: none"> <li>• If yes, DEC site ID number: _____</li> <li>• Describe the type of institutional control (e.g., deed restriction or easement): _____</li> <li>• Describe any use limitations: _____</li> <li>• Describe any engineering controls: _____</li> <li>• Will the project affect the institutional or engineering controls in place? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></li> <li>• Explain: _____</li> </ul>													
<b>E.2. Natural Resources On or Near Project Site</b>													
a. What is the average depth to bedrock on the project site? _____ >6 feet													
b. Are there bedrock outcroppings on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %													
c. Predominant soil type(s) present on project site: <table style="width: 100%; border: none;"> <tr> <td style="width: 60%;">Urban Fill</td> <td style="width: 40%; text-align: right;">100 %</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">%</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">%</td> </tr> </table>		Urban Fill	100 %	_____	%	_____	%						
Urban Fill	100 %												
_____	%												
_____	%												
d. What is the average depth to the water table on the project site? Average: _____ >6 feet													
e. Drainage status of project site soils: <table style="width: 100%; border: none;"> <tr> <td style="width: 30%;"><input type="checkbox"/> Well Drained:</td> <td style="width: 70%; text-align: right;">_____ % of site</td> </tr> <tr> <td><input type="checkbox"/> Moderately Well Drained:</td> <td style="text-align: right;">_____ % of site</td> </tr> <tr> <td><input type="checkbox"/> Poorly Drained</td> <td style="text-align: right;">_____ % of site</td> </tr> </table>		<input type="checkbox"/> Well Drained:	_____ % of site	<input type="checkbox"/> Moderately Well Drained:	_____ % of site	<input type="checkbox"/> Poorly Drained	_____ % of site						
<input type="checkbox"/> Well Drained:	_____ % of site												
<input type="checkbox"/> Moderately Well Drained:	_____ % of site												
<input type="checkbox"/> Poorly Drained	_____ % of site												
f. Approximate proportion of proposed action site with slopes: <table style="width: 100%; border: none;"> <tr> <td style="width: 40%;"><input checked="" type="checkbox"/> 0-10%:</td> <td style="width: 60%; text-align: right;">100 % of site</td> </tr> <tr> <td><input type="checkbox"/> 10-15%:</td> <td style="text-align: right;">_____ % of site</td> </tr> <tr> <td><input type="checkbox"/> 15% or greater:</td> <td style="text-align: right;">_____ % of site</td> </tr> </table>		<input checked="" type="checkbox"/> 0-10%:	100 % of site	<input type="checkbox"/> 10-15%:	_____ % of site	<input type="checkbox"/> 15% or greater:	_____ % of site						
<input checked="" type="checkbox"/> 0-10%:	100 % of site												
<input type="checkbox"/> 10-15%:	_____ % of site												
<input type="checkbox"/> 15% or greater:	_____ % of site												
g. Are there any unique geologic features on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, describe: _____													
h. Surface water features.													
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>													
ii. Do any wetlands or other waterbodies adjoin the project site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>													
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.													
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>													
iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <table style="width: 100%; border: none;"> <tr> <td style="width: 10%;">• Streams:</td> <td style="width: 40%;">Name 895-23</td> <td style="width: 50%;">Classification <sup>C</sup> _____</td> </tr> <tr> <td>• Lakes or Ponds:</td> <td>Name _____</td> <td>Classification _____</td> </tr> <tr> <td>• Wetlands:</td> <td>Name Federal Waters, Federal Waters, Federal Waters,...</td> <td>Approximate Size _____</td> </tr> <tr> <td>• Wetland No. (if regulated by DEC)</td> <td colspan="2">_____</td> </tr> </table>		• Streams:	Name 895-23	Classification <sup>C</sup> _____	• Lakes or Ponds:	Name _____	Classification _____	• Wetlands:	Name Federal Waters, Federal Waters, Federal Waters,...	Approximate Size _____	• Wetland No. (if regulated by DEC)	_____	
• Streams:	Name 895-23	Classification <sup>C</sup> _____											
• Lakes or Ponds:	Name _____	Classification _____											
• Wetlands:	Name Federal Waters, Federal Waters, Federal Waters,...	Approximate Size _____											
• Wetland No. (if regulated by DEC)	_____												
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, name of impaired water body/bodies and basis for listing as impaired: _____ Name - Pollutants - Uses: Onondaga Creek, Lower, and tribs – Pathogens; Nutrients; Other Pollutants; Ammonia; Silt/Sediment – Recrea...													
i. Is the project site in a designated Floodway? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>													
j. Is the project site in the 100-year Floodplain? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>													
k. Is the project site in the 500-year Floodplain? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>													
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:													
i. Name of aquifer: _____													

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>Urban Species _____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat: _____</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>Peregrine Falcon _____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: <u>Eligible property: Peace Manor, Eligible property: Bridge over Onondaga Creek BIN2208500, Whedon-Schumacher House, S Sa...</u> iii. Brief description of attributes on which listing is based: _____	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6 NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No

#### F. Additional Information

Attach any additional information which may be needed to clarify your project.

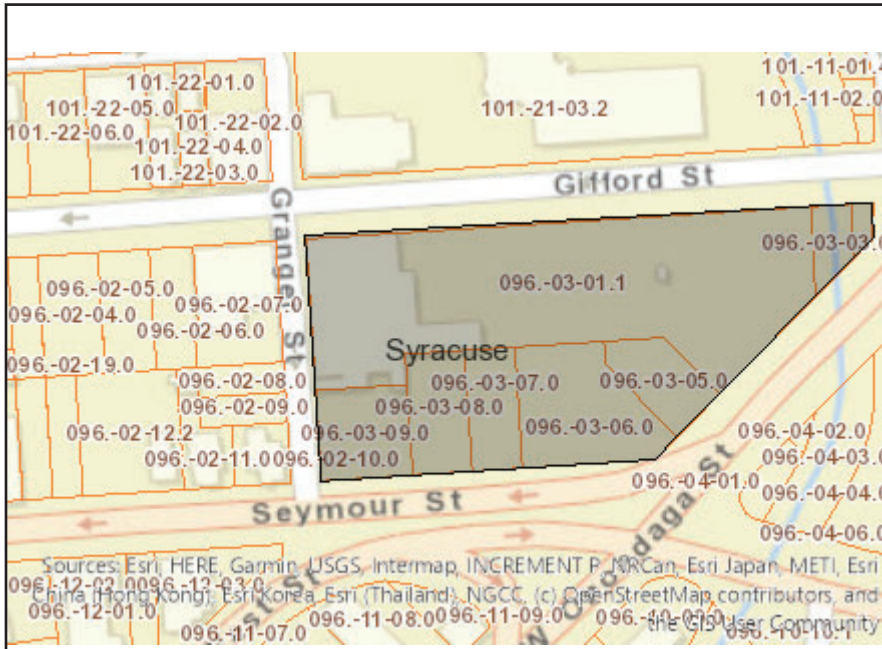
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

#### G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Scott Freeman - Keplinger Freeman Associates      Date 01/29/2025

Signature Scott Freeman      Title Landscape Architect



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	734042, C734162
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	895-23
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	Yes

E.2.h.v [Impaired Water Bodies - Name and Basis for Listing]	Name - Pollutants - Uses:Onondaga Creek, Lower, and tribs – Pathogens;Nutrients;Other Pollutants;Ammonia;Silt/Sediment – Recreation;Habitat/Hydrology;Aquatic Life
E.2.i. [Floodway]	Yes
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	Yes
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Peregrine Falcon
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:Peace Manor, Eligible property:Bridge over Onondaga Creek BIN2208500, Whedon-Schumacher House, S Salina St Downtown HD (Boundry Expansion)
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



March 12, 2025

**Cristian Toellner**

Director of Zoning Administration  
300 South State Street  
Syracuse, NY 13202  
(315) 448-8261  
[ctoellner@syr.gov](mailto:ctoellner@syr.gov)



Re: Mission Exchange Building at Rescue Mission  
155 Gifford St, Syracuse, NY 13202  
Endangered Species Letter – Peregrine Falcon

Dear Mr. Toellner

I am writing on behalf of the Mission Exchange Building (MEB) Project regarding the proposed development at 155 Gifford Street. As part of our application and in compliance with environmental regulations, we thoroughly reviewed the project's potential impacts on threatened species, including the Peregrine Falcon. This letter confirms that the project will **not adversely affect** the Peregrine Falcon population, including those nesting downtown. A project screening request has been submitted to NYSNHP on 03/12/25 as a response is expected in four to six weeks.

**Reasons Supporting No Impact**

**1. Distance from Peregrine Falcon Nesting Grounds**

According to data from the New York State Department of Environmental Conservation (NYSDEC) and the New York Natural Heritage Program (NYSNHP), the nearest Peregrine Falcon nesting sites are located downtown, approximately 2,580 feet from the project site. The 155 Gifford Street parcel does overlap with these areas, however the Peregrine Falcon's habitat is typically tall trees and buildings for nesting and foraging. The site is currently vacant and void of these habitat characteristics.

**2. No Nesting Sites on the Project Site**

The parcel at 155 Gifford Street has been thoroughly surveyed, and there are no suitable nesting or roosting habitats for Peregrine Falcon on-site. The site is vacant and does not provide the habitat that Peregrine Falcon typically used for nesting.

**3. Limited Scope of the Project**

The proposed development is confined to the boundaries of the existing parcel and will not extend into any natural areas. The project's scope is limited to construction and improvements within the property, with no encroachment on surrounding ecosystems.

**4. Lack of Impact on Nesting Areas**

Downtown Syracuse and the surrounding buildings are Peregrine Falcon's primary foraging habitats. The project site is located within these foraging areas does not include activities that would disturb water quality or food resources to the extent that the Peregrine Falcon would be impacted.

**5. Compliance with NYSDEC and NYSNHP Guidelines**

Our project has been reviewed in alignment with NYSDEC's "Peregrine Falcon Program" [<https://dec.ny.gov/nature/animals-fish-plants/peregrine-falcon/peregrine-falcon-program>]. Based on these guidelines, projects that do not impact tall buildings or bridges where Peregrine Falcon's are known to nest are determined to have no effect.

## Conclusion

The Mission Exchange Building will not impact on the Peregrine Falcon population or its habitat for the above reasons. We are committed to maintaining compliance with all environmental regulations and ensuring this project proceeds with minimal ecological disruption.

If you require further information or documentation regarding our findings, please do not hesitate to contact me at 315-445-7980 or [sf@keplingerfreeman.com](mailto:sf@keplingerfreeman.com).

Thank you for your attention to this matter.

Regards,  
Keplinger Freeman Associates

A handwritten signature in black ink, appearing to read "Scott J. Freeman", with a stylized flourish at the end.

Scott Freeman, PLA

City of Syracuse  
**Parcel History**  
 01/01/1900 - 03/03/2025  
 Tax Map #: 096.-03-01.1  
 Owners: Rescue Mission Alliance  
 Zoning: MX-3

Address	Date	Transaction	Transaction Type	Status	Description
155 Gifford St to Onondaga St W	08/14/12	Permit Application	Sprinkler	Issued	07974   RESCUE MISSION
155 Gifford St to Onondaga St W	08/16/12	Inspection	Fire Inspector Notification	<None>	
155 Gifford St to Onondaga St W	08/21/12	Inspection	Initial Inspection	In Progress	
155 Gifford St to Onondaga St W	09/05/12	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	09/12/12	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	09/19/12	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	09/21/12	Completed Permit	Sprinkler	Certificate Issued	07974   RESCUE MISSION   Certificate of Completion #07974
155 Gifford St to Onondaga St W	11/01/12	Permit Application	Sprinkler	Issued	09050    RESCUE MISSION-Sprinkler
155 Gifford St to Onondaga St W	11/19/12	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	11/27/12	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	12/04/12	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	12/05/12	Completed Permit	Sprinkler	Certificate Issued	09050    RESCUE MISSION-Sprinkler   Certificate of Completion #09050
155 Gifford St to Onondaga St W	12/10/12	Permit Application	Electric	Issued	09494   SMARTWATT LIGHTING UPGRADE
155 Gifford St to Onondaga St W	12/11/12	Inspection	Inspector Notification	Pass	
155 Gifford St to Onondaga St W	01/16/13	Completed Complaint	Traffic Sign Req - General	Completed	2013-00933   posts from old signs are sticking out of the sidewalk and need to be removed- sidewalk across from Rescue Mission New Life Center
155 Gifford St to Onondaga St W	02/12/13	Inspection	Final Inspection	Pass	
155 Gifford St to Onondaga St W	02/13/13	Completed Permit	Electric	Certificate Issued	09494   SMARTWATT LIGHTING UPGRADE   Certificate of Completion #09494
155 Gifford St to Onondaga St W	08/16/13	Permit Application	HVAC/Mechanical	Issued	12314   HVAC/Mechanical
155 Gifford St to Onondaga St W	08/16/13	Completed Permit	HVAC/Mechanical	Certificate Issued	12314   HVAC/Mechanical   Certificate of Completion #12314
155 Gifford St to Onondaga St W	08/22/13	Inspection	Final Inspection	In Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
155 Gifford St to Onondaga St W	09/17/13	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	10/15/13	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	11/04/13	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	11/25/13	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	12/18/13	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	03/12/14	Permit Application	Sprinkler	Issued	14427   sprinkler
155 Gifford St to Onondaga St W	03/12/14	Completed Permit	Sprinkler	Certificate Issued	14427   sprinkler   Certificate of Completion #14427
155 Gifford St to Onondaga St W	03/14/14	Permit Application	Sprinkler	Issued	14445   SPRINKLER RESCUE MISSION
155 Gifford St to Onondaga St W	03/14/14	Completed Permit	Sprinkler	Certificate Issued	14445   SPRINKLER RESCUE MISSION   Certificate of Completion #14445
155 Gifford St to Onondaga St W	03/19/14	Inspection	Sprinkler Inspection	In Progress	
155 Gifford St to Onondaga St W	03/26/14	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	03/26/14	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	03/26/14	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	04/02/14	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	04/03/14	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	05/20/14	Completed Complaint	Pot Holes in Road	Completed	2014-10221   in front of parking lot
155 Gifford St to Onondaga St W	06/04/14	Permit Application	Com. Reno/Rem/Chg Occ	Issued	12641   Ramp
155 Gifford St to Onondaga St W	06/06/14	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	12641   Ramp   Certificate of Completion #12641
155 Gifford St to Onondaga St W	06/09/14	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	07/01/14	Inspection	Footing Before Pouring Concrete	Pass	
155 Gifford St to Onondaga St W	07/17/14	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	07/30/14	Permit Application	Electric	Issued	16091   electrical
155 Gifford St to Onondaga St W	07/30/14	Completed Permit	Electric	Certificate Issued	16091   electrical   Certificate of Completion #16091
155 Gifford St to Onondaga St W	07/31/14	Inspection	Inspector Notification	Pass	
155 Gifford St to Onondaga St W	09/29/14	Inspection	Final Inspection	Pass	
155 Gifford St to Onondaga St W	10/23/14	Inspection	Final Inspection	Pass	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
155 Gifford St to Onondaga St W	03/09/15	Permit Application	Com. Reno/Rem/Chg Occ	Issued	18436   Bathroom renovations-Rescue Mission
155 Gifford St to Onondaga St W	03/12/15	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	03/19/15	Permit Application	Electric	Issued	18681   Electrical 1st Floor bathrooms
155 Gifford St to Onondaga St W	03/23/15	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	03/26/15	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	03/31/15	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	04/02/15	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	04/08/15	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	04/23/15	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	05/05/15	Inspection	Progress Inspection	N/A	
155 Gifford St to Onondaga St W	05/13/15	Inspection	Final Inspection	Pass	
155 Gifford St to Onondaga St W	05/15/15	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	18436   Bathroom renovations-Rescue Mission   Certificate of Completion #18436
155 Gifford St to Onondaga St W	06/10/15	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	08/12/15	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	11/25/15	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	12/18/15	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	02/04/16	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	02/25/16	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	02/26/16	Completed Permit	Electric	Certificate Issued	18681   Electrical 1st Floor bathrooms   Certificate of Completion #18681
155 Gifford St to Onondaga St W	03/16/16	Permit Application	Public Assembly	Issued	PC-0144-16   In Franklin Square. Creek Rats. 6th Annual Creek Float..
155 Gifford St to Onondaga St W	03/24/16	Permit	Public Assembly	Open	PC-0144-16   In Franklin Square. Creek Rats. 6th Annual Creek Float..   Expires 03/24/2017
155 Gifford St to Onondaga St W	03/31/16	Permit Application	Sprinkler	Issued	23327   Sprinkler
155 Gifford St to Onondaga St W	04/13/16	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	04/21/16	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	04/29/16	Inspection	Progress Inspection	In Progress	



City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
155 Gifford St to Onondaga St W	05/06/16	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	05/13/16	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	05/13/16	Completed Permit	Sprinkler	Certificate Issued	23327   Sprinkler   Certificate of Completion #23327
155 Gifford St to Onondaga St W	09/08/16	Permit Application	Electric	Issued	25290   Electrcial work - Lighting and outlets
155 Gifford St to Onondaga St W	09/09/16	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	10/13/16	Inspection	Service Inspection	In Progress	
155 Gifford St to Onondaga St W	10/19/16	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	10/20/16	Completed Permit	Electric	Certificate Issued	25290   Electrcial work - Lighting and outlets   Certificate of Completion #25290
155 Gifford St to Onondaga St W	02/17/17	Permit Application	Com. Reno/Rem/Chg Occ	Withdrawn	27788
155 Gifford St to Onondaga St W	06/26/17	Completed Complaint	Trash/Debris-Private, Occ	Owner Compliance	2017-17952   trash and debris by the fence
155 Gifford St to Onondaga St W	06/26/17	Inspection	Complaint Inspection	Pass	
155 Gifford St to Onondaga St W	09/19/18	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	09/20/18	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	09/21/18	Permit Application	Electric	Issued	35522   Electric
155 Gifford St to Onondaga St W	09/25/18	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	09/28/18	Completed Complaint	Fire Safety	Completed	2018-28916   Windows are locked shut on residential units and only staff have keys to unlock windows.Request to determine if this is against NYS code. Also, the elevator is out of service.
155 Gifford St to Onondaga St W	09/28/18	Inspection	Complaint Inspection	Pass	
155 Gifford St to Onondaga St W	10/24/18	Completed Complaint	Infestation	Owner Compliance	2018-31855   Bed bugs
155 Gifford St to Onondaga St W	07/03/19	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	07/25/19	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	09/23/19	Inspection	Progress Inspection	Pass	
155 Gifford St to Onondaga St W	09/24/19	Completed Permit	Electric	Certificate Issued	35522   Electric   Certificate of Completion #35522
155 Gifford St to Onondaga St W	12/02/19	Completed Complaint	Sewer Back Up	Completed	2019-31474   bu flush
155 Gifford St to Onondaga St W	01/15/20	Permit Application	Sprinkler	Issued	40586   Sprinkler
155 Gifford St to Onondaga St W	01/16/20	Inspection	Inspector Notification	In Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
155 Gifford St to Onondaga St W	03/18/20	Completed Permit	Sprinkler	Certificate Issued	40586   Sprinkler   Certificate of Completion #40586
155 Gifford St to Onondaga St W	03/18/20	Inspection	Sprinkler Inspection	Pass	
155 Gifford St to Onondaga St W	09/11/20	Complaint	Illegal Trash Set Out	Needs Review	2020-18797   illegal set outs
155 Gifford St to Onondaga St W	10/29/21	Permit Application	Com. Reno/Rem/Chg Occ	Issued	45148   Rescue Mission Roof Repair
155 Gifford St to Onondaga St W	01/03/22	Inspection	Inspector Notification	In Progress	
155 Gifford St to Onondaga St W	01/20/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	02/15/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	02/23/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	03/10/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	03/16/22	Inspection	Framing Before Enclosing	Pass	
155 Gifford St to Onondaga St W	03/31/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	04/01/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	04/27/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	05/12/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	05/25/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	06/16/22	Inspection	Complaint Inspection	Fail	
155 Gifford St to Onondaga St W	06/16/22	Violation	SPCC - Section 27-15 (b) Multiple dwelling	Open	
155 Gifford St to Onondaga St W	06/17/22	Complaint	Certificate of Compliance	x Issued	2022-05795   C of C / 28 sleeping rooms and 1 office
155 Gifford St to Onondaga St W	06/28/22	Completed Complaint	Smoke Alarm Certification	Completed	2022-05800   Smoke cert
155 Gifford St to Onondaga St W	06/29/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	07/12/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	07/22/22	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	08/16/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	09/20/22	Inspection	Complaint Inspection	In Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
155 Gifford St to Onondaga St W	09/20/22	Violation	2020 PMCNYS - Section 603.1 - Mechanical equipment and appliances	Closed	
155 Gifford St to Onondaga St W	09/20/22	Violation	2020 FCNYS- - 107.1 - Maintenance of required safeguards	Closed	
155 Gifford St to Onondaga St W	09/20/22	Violation	2020 PMCNYS - Section 306.1 - General	Closed	
155 Gifford St to Onondaga St W	09/20/22	Violation	2020 FCNYS- - 107.1 - Maintenance of required safeguards	Closed	
155 Gifford St to Onondaga St W	09/20/22	Violation	SPCC - Section 27-57 (a) (2) - Electrical Wiring and Equipment	Closed	
155 Gifford St to Onondaga St W	09/20/22	Violation	2020 PMCNYS - Section 603.1 - Mechanical equipment and appliances	Closed	
155 Gifford St to Onondaga St W	09/20/22	Violation	2020 PMCNYS - Section 301.1 - Scope	Closed	
155 Gifford St to Onondaga St W	09/20/22	Violation	SPCC - Section 27-57 (a) (16) - Receptacle Outlet/Switch Lacks Cover	Closed	
155 Gifford St to Onondaga St W	09/20/22	Violation	SPCC - Section 27-57 (a) (16) - Receptacle Outlet/Switch Lacks Cover	Closed	
155 Gifford St to Onondaga St W	09/20/22	Violation	2020 PMCNYS - Section 701.1 - Scope	Closed	
155 Gifford St to Onondaga St W	10/11/22	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	10/17/22	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	10/19/22	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	11/23/22	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	12/01/22	Inspection	Progress Inspection	In Progress	

City of Syracuse  
**Parcel History**

Address	Date	Transaction	Transaction Type	Status	Description
155 Gifford St to Onondaga St W	12/13/22	Inspection	Progress Inspection	In Progress	45148   Rescue Mission Roof Repair   Certificate of Completion #45148
155 Gifford St to Onondaga St W	01/11/23	Inspection	Progress Inspection	In Progress	
155 Gifford St to Onondaga St W	01/16/23	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	01/24/23	Completed Permit	Com. Reno/Rem/Chg Occ	Certificate Issued	
155 Gifford St to Onondaga St W	02/17/23	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	02/21/23	Inspection	Final Inspection	Pass	
155 Gifford St to Onondaga St W	03/17/23	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	03/22/23	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	04/19/23	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	04/27/23	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	05/03/23	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	05/08/23	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	05/22/23	Inspection	Complaint Inspection	Pass	
155 Gifford St to Onondaga St W	10/03/23	Inspection	Complaint Inspection	In Progress	
155 Gifford St to Onondaga St W	11/07/23	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	12/12/23	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	01/12/24	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	02/08/24	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	03/01/24	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	03/01/24	Violation	SPCC 27-43 (e) (1)(2)(3)(4) Certification	Closed	
155 Gifford St to Onondaga St W	04/05/24	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	05/06/24	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	05/28/24	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	06/18/24	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	07/18/24	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	02/04/25	Inspection	Complaint Inspection	No Progress	
155 Gifford St to Onondaga St W	02/27/25	Inspection	Tickle Date (Follow Up)	No Progress	

City of Syracuse

## Parcel History

Address	Date	Transaction	Transaction Type	Status	Description
155 Gifford St to Onondaga St W	03/14/25	Completed Complaint	Smoke Alarm Certification	Completed	2023-06475

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only [If applicable]
Project : Rescue Mission Exchange Building
Date : 3/8/2025

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “**Yes**” to a numbered question, please complete all the questions that follow in that section.
- If you answer “**No**” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b> Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i> <div style="text-align: right;"> <input type="checkbox"/> NO      <input checked="" type="checkbox"/> YES         </div>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>



**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

☒ NO☐ YES

*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

☐ NO☒ YES

*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>

l. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>4. Impact on groundwater</b> The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b> The proposed action may result in development on lands subject to flooding. (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in development in a designated floodway.	E2i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>6. Impacts on Air</b> The proposed action may include a state regulated air emission source. <span style="float: right;"><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</span> (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>7. Impact on Plants and Animals</b> The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <span style="float: right;"><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</span> <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

## 8. Impact on Agricultural Resources

The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)

☒ NO

☐ YES

*If "Yes", answer questions a - h. If "No", move on to Section 9.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
<p>If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:</p> <p>e.</p> <p>i. The proposed action may result in the destruction or alteration of all or part of the site or property.</p> <p>ii. The proposed action may result in the alteration of the property's setting or integrity.</p> <p>iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.</p>	<p>E3e, E3g, E3f</p> <p>E3e, E3f, E3g, E1a, E1b</p> <p>E3e, E3f, E3g, E3h, C2, C3</p>	<p><input type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p><input type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>

<p><b>11. Impact on Open Space and Recreation</b></p> <p>The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i></p>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>		
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

<p><b>12. Impact on Critical Environmental Areas</b></p> <p>The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i></p>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>		
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		



**13. Impact on Transportation**

The proposed action may result in a change to existing transportation systems.

☒ NO

☐ YES

(See Part 1. D.2.j)

*If "Yes", answer questions a - f. If "No", go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**

The proposed action may cause an increase in the use of any form of energy.

☒ NO

☐ YES

(See Part 1. D.2.k)

*If "Yes", answer questions a - e. If "No", go to Section 15.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

**15. Impact on Noise, Odor, and Light**

The proposed action may result in an increase in noise, odors, or outdoor lighting.

☒ NO

☐ YES

(See Part 1. D.2.m., n., and o.)

*If "Yes", answer questions a - f. If "No", go to Section 16.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

#### 16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)

☒ NO

☐ YES

*If "Yes", answer questions a - m. If "No", go to Section 17.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

**17. Consistency with Community Plans**

The proposed action is not consistent with adopted land use plans.  
(See Part 1. C.1, C.2. and C.3.)

☒ NO

☐ YES

*If "Yes", answer questions a - h. If "No", go to Section 18.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**18. Consistency with Community Character**

The proposed project is inconsistent with the existing community character.  
(See Part 1. C.2, C.3, D.2, E.3)

☒ NO

☐ YES

*If "Yes", answer questions a - g. If "No", proceed to Part 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

***Full Environmental Assessment Form***  
***Part 3 - Evaluation of the Magnitude and Importance of Project Impacts***  
***and***  
***Determination of Significance***

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status: ☐ Type 1 ☒ Unlisted

Identify portions of EAF completed for this Project: ☒ Part 1 ☒ Part 2 ☒ Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the \_\_\_\_\_ as lead agency that:

☐ A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

☐ B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

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There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

☐ C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Rescue Mission Exchange Building

Name of Lead Agency: City of Syracuse Board of Zoning Appeals

Name of Responsible Officer in Lead Agency: Honora Spillane

Title of Responsible Officer: Chairperson

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer)

Date:

**For Further Information:**

Contact Person: Jake Dishaw

Address: One Park Place, 300 S State St, Suite 700, Office of Zoning Administration

Telephone Number: 315-448-8640

E-mail: zoning@syr.gov

**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)  
Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Rescue Mission Alliance

From: Haohui Pan, Zoning Planner

Date: 3/14/2025 2:30:31 PM

Re: Variance (Area) V-25-04  
155 Gifford St to Onondaga St W, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Board of Zoning Appeals	Pending	02/10/2025		BZA Meeting 3/20/2025
Zoning Planner	Waiting on Board	03/14/2025	Haohui Pan	BZA 3/20/2025
Zoning Administrator	Pending	02/10/2025		
DPW Sewers - Zoning	Internal Review Complete	02/11/2025	Vinny Esposito	SWPPP must be approved by City Engineer. Detention may be an issue in the flood plane. The basin outlet would require back flow protection as well as the underground detention. o Overflow flood routing would also need to be established and approved.
DPW Sidewalks - Zoning	Pending	02/10/2025		
DPW Traffic Control- Zoning	Conditionally Approved	02/18/2025	Charles Gafrancesco	2.18.25 Construction work that is going to affect the passage of vehicular or pedestrian traffic in the ROW, will require an MUTCD compliant WZTP to be submitted during permit process.
City Planning - Zoning	Pending	02/10/2025		



OFFICE OF ZONING ADMINISTRATION  
Ben Walsh, Mayor

To: Rescue Mission Alliance

From: Haohui Pan, Zoning Planner

Date: 3/14/2025 2:33:05 PM

Re: Variance (Area) V-25-05  
155 Gifford St to Onondaga St W, Syracuse, 13202

The Departments and/or Boards below have reviewed your application and provided the following comments for your information and action as appropriate.

Please modify the proposal as necessary to address the comments/recommendations. Upon receipt of any revisions and/or written justification to the Office of Zoning Administration, a Public Hearing will be scheduled.

Please contact the Zoning Office at (315) 448-8640 or [Zoning@syr.gov](mailto:Zoning@syr.gov) if you have any questions.

Approval	Status	Status Date	Reviewer	Comments
Board of Zoning Appeals	Pending	02/14/2025		BZA 3/20/2025
Zoning Planner	Pending	02/14/2025		pending BZA 3/20/ 2025 decision
Zoning Administrator	Pending	02/14/2025		
DPW Sewers - Zoning	Internal Review Complete	02/14/2025	Vinny Esposito	A full SWPPP must be submitted and approved by the City Engineer.
DPW Traffic Control- Zoning	Conditionally Approved	02/20/2025	Charles Gafrancesco	2.20.25 Conditionally Approved. - Contractor shall submit MUTCD compliant work zone traffic plan (WZTP) for approval during permit process if the nature of this sitework is to affect pedestrian or vehicular traffic the public ROW. All necessary warning signs, flaggers, detours, and or barriers ect. shall be clearly drawn on WZTP plan. It is the contractor's responsibility to assure the submitted WZTP is MUTCD compliant. Non-compliant plan may cause delay in approval process. Transportation planner approval is also necessary during sign off process. If the contractor is unfamiliar with requirements, they are instructed to reach out central permit office.
City Planning - Zoning	Pending	02/14/2025		