

**SYRACUSE
LANDMARK
PRESERVATION
BOARD**

Certificate of Appropriateness Application

Case Number: CA-20-14

Submit by mail or by hand to:

Syracuse Landmark Preservation Board
City Hall Commons, Room 512
201 E. Washington Street
Syracuse, NY 13202

Electronic submissions to: SLPB@syr.gov

APPLICATION

- I. Applicant's Name: Derek Pitts
 Address: 115 Hampshire Rd
Syracuse, NY 13203
 Phone: 917-282-2925 email: derek.pitts@yanoo.com
- II. Work is proposed for property at (address): 115 Hampshire Rd
Syracuse, NY 13203

This property is:

- individual Protected Site
 located within a Preservation District

III. This application is for the following (check as many as appropriate; complete only the parts indicated with each work item):

- Partial or complete demolition (Complete Part 1)
 Alteration to texture or material composition of building exterior (Complete Part 2)
 Alteration to texture or material composition of building interior (only if interior is designated a Protected Site; Complete Part 2)
 Change in color (Complete Part 3)
 Cleaning (Complete Part 3)
 Addition to existing building (Complete Part 4)
 New building construction (Complete Part 4)
 Alteration to site including excavation, change in land contours, installation of pavement for parking lots, driveways, or sidewalks (Complete Part 5)
 Deposit of refuse or waste material (Complete Part 5)
 Change in signage or advertising (Complete Part 6)

Applicant's Signature: Derek Pitts Date: 7.2.20
 Owner's Signature: Derek Pitts Date: 7.2.20

**Submission of this application or approval of a Certificate of Appropriateness does not relieve the applicant of his/her responsibilities in obtaining other permits and/or approvals as prescribed by law. The Syracuse Landmark Preservation Board uses the United States Secretary of the Interior's Standards as guidelines for review of proposals. A copy of these standards is available at the SLPB office or online at <https://www.nps.gov/tps/standards/rehabilitation/rehab/stand.htm>.*

Demolition: Part 1

1-1 Has an order for demolition of the structure been issued by the Division of Code Enforcement, Chief of Fire, or another agency of the City of Syracuse?

No

Yes

Please indicate the date when order was issued: _____

Please indicate the issuing department or agency: _____

1-2 Certificate of Appropriateness is being sought for:

Complete demolition

Partial Demolition – Enclose site plan showing portions to be removed and photographs of existing structure.

1-3 Why is the demolition necessary? _____

Remove existing back pad to build new engineered floor to allow entry into new sunroom from existing patio door

1-4 List any other factors or information that you feel should be considered by the Syracuse Landmark Preservation Board: _____

Alteration: Part 2

2-1 Please describe the nature of the work for which the Certificate of Appropriateness is being sought: Install 3 Season Patio enclosure (Allview elite)
(white in color)

2-2 Is the history of existing materials and building components known?
 Yes
 No

2-3 Does the alteration attempt to return the building to a known former appearance?
 Yes
 No
 Unknown

2-4 Does the proposal call for the covering or removal of existing materials or finishes? (i.e. installation of new siding).
 No
 Yes (please explain what will be covered or removed). removing existing brick pad

2-5 Materials to be removed or covered are:
 Part of the original building
 Part of a subsequent addition (please give date if known _____).
 Not Known

2-6 Can materials that are to be covered or removed be exposed or reattached in the future without damage?
 Yes
 No

2-7 **Please submit the following: photos of the existing building and site of proposed work; site plan and elevation drawings of proposed alteration; materials list; and manufacturer's cut sheets or other descriptive materials that illustrate the proposed alteration.**

Cleaning/Painting: Part 3

- 3-1 This application is for:
- Painting of building exterior
 - Cleaning of building exterior
 - Painting of building interior (only if interior is designated).
 - Cleaning of building interior (only if interior is designated).
- 3-2 The components to be painted and/or cleaned are made of: _____

- 3-3 The cleaning process that is being proposed is: _____

- 3-4 Do new colors match a previous color scheme?
- Yes
 - No
- Please submit color chips of proposed colors if proposed colors are different from existing scheme.**

Additional/New Construction: Part 4

- 4-1 This application is for:
- Addition to existing structure
 - Construction of new building
- 4-2 Is proposed addition or new construction in public view from neighboring streets?
- Yes
 - No
- 4-3 What is the purpose of the purposed addition or new building? _____

- 4-4 Describe how the new construction is compatible in scale, materials, and texture to the design of the existing structure and the character of surrounding buildings: _____

- 4-5 **Submit a site plan, elevation drawings and a materials list for the new construction.**



DEED REFERENCE:

George H. Lowe and Barbara A. Lowe
 to
 William Hull and Margherita Hull
 Warranty Deed
 Liber 5180 Of Deeds / Page 191

Subject to any state of facts a current reader up to date abstract of title may show.
 Also subject to any other assessments, commitments or restrictions of record.

LEGEND:

- Denotes Existing Survey Marker
- Denotes Existing Iron Pipe
- ⊙ Denotes Existing Iron Rod
- Denotes Existing Fire Hydrant
- Denotes Existing Fire Hydrant
- Denotes Existing Concrete Monument
- Denotes Existing Electric Meter
- Denotes Overhead Power Pole Line
- Denotes Location And Direction Of Photographs Taken On October 15, 2014

MAP REFERENCE:

"Map Of A Part Of Onondaga County
 City Of Syracuse, Onondaga County, State Of New York
 By Albert G. Card, Civil Engineer dated 1823 and
 filed in the Onondaga County Clerk's Office on March 9, 1825."

**TOTAL ACREAGE THIS SURVEY IS "0.310± ACRES"
 (13,314.8± SQ. FT.)**

SCALE: 1" = 30 FEET



Professional Address: 120 North 11th Street, Syracuse, NY 13204
 Date: 10/20/14
 Drawn By: J. Angelo
 Checked By: B. Snyder
 Date: 10/20/14
 Scale: 1" = 30 Feet
 Project Number: 2014.375.002

NO.	DATE	REVISION
1	10/20/14	To Show Revised File Block
2	10/20/14	Update Survey

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS IS AN ACCURATE MAP OF AN ACTUAL FIELD SURVEY DATED October 20, 2014 AND

THAT BOTH MAP AND SURVEY ARE CORRECT

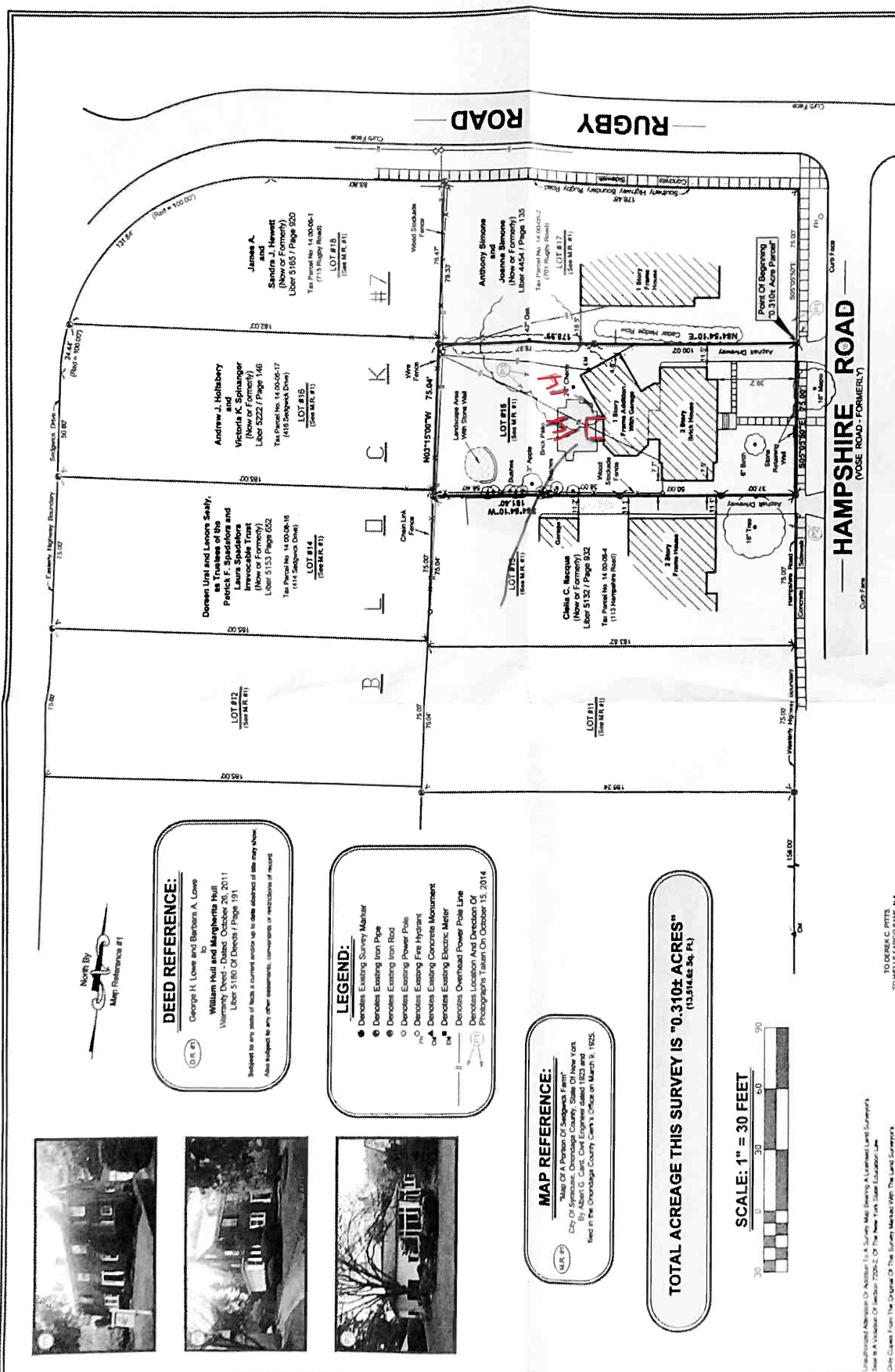
Bruce W. Sotterle
 BRUCE W. SOTTERLE, RLS

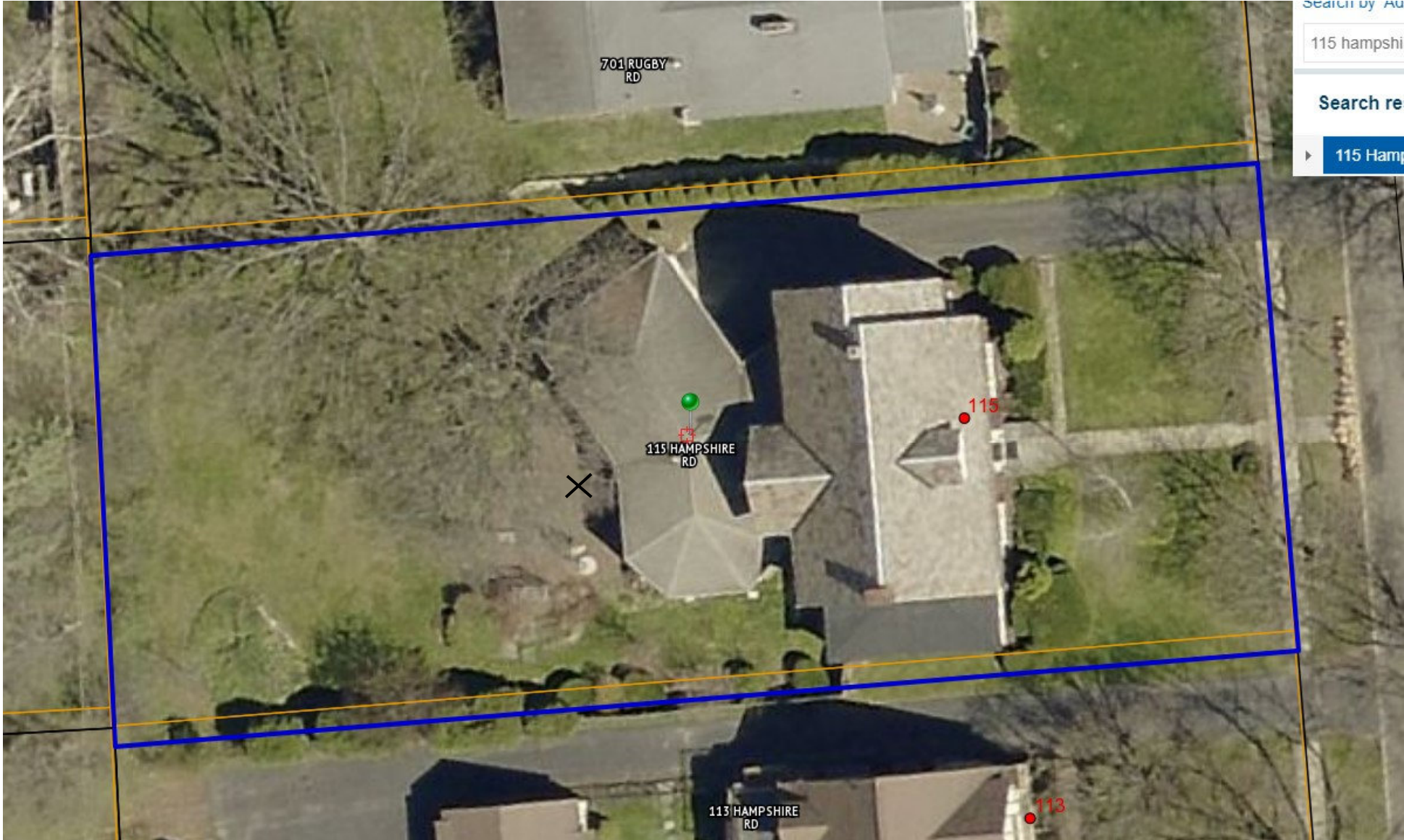


Lands Of
Margherita Hull
 115 Hampshire Road
 Being A Part Of Farm Lot #247
 City Of Syracuse - Onondaga County
 State Of New York

DELTA
 ENGINEERS, ARCHITECTS, & LAND SURVEYORS
 4873 NYS Route 5, Varmon, NY 13476
 Tel: 315.953.4200
 Fax: 315.953.4202
 Website: www.deltaingen.com

Designed By	N/A
Drawn By	J. Angelo
Reviewed By	B. Snyder
Date	October 20, 2014
Last Revised	May 4, 2011
Scale	1" = 30 Feet
Project Number	2014.375.002
Sheet #	N/A



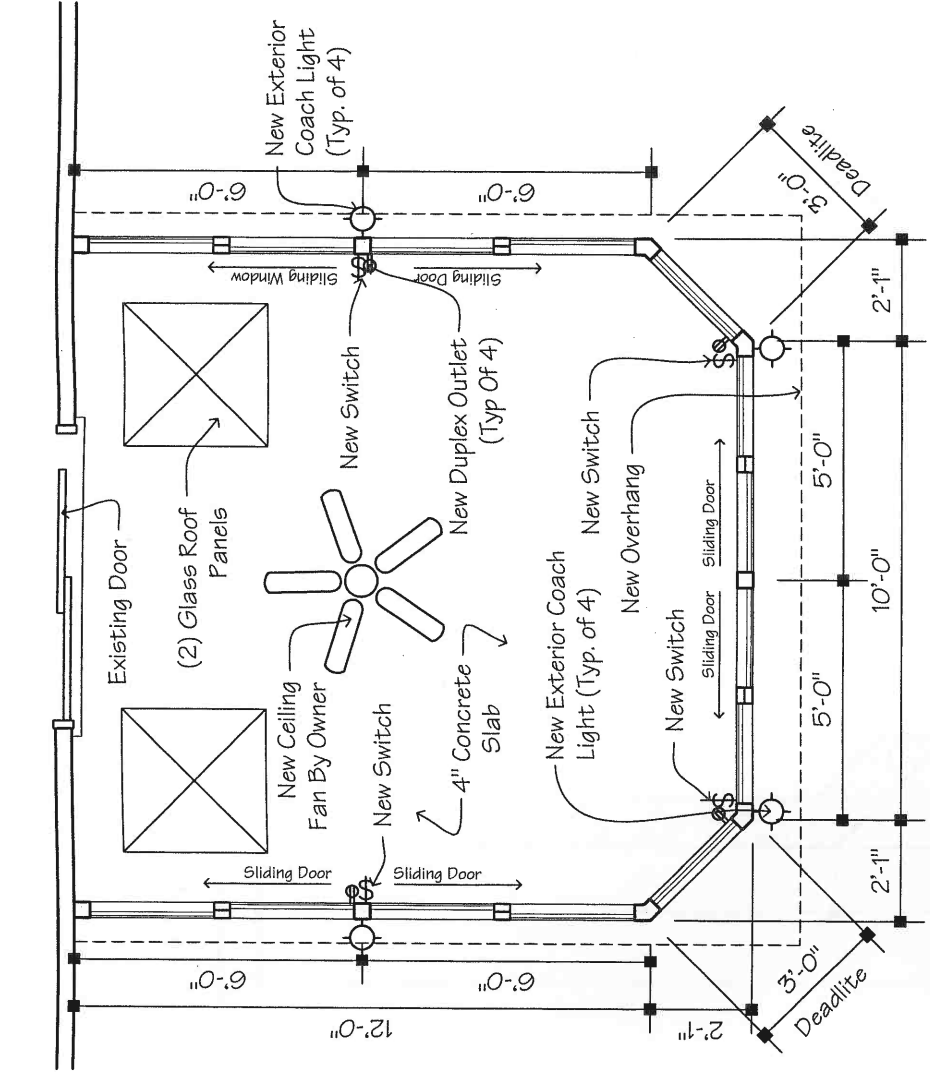


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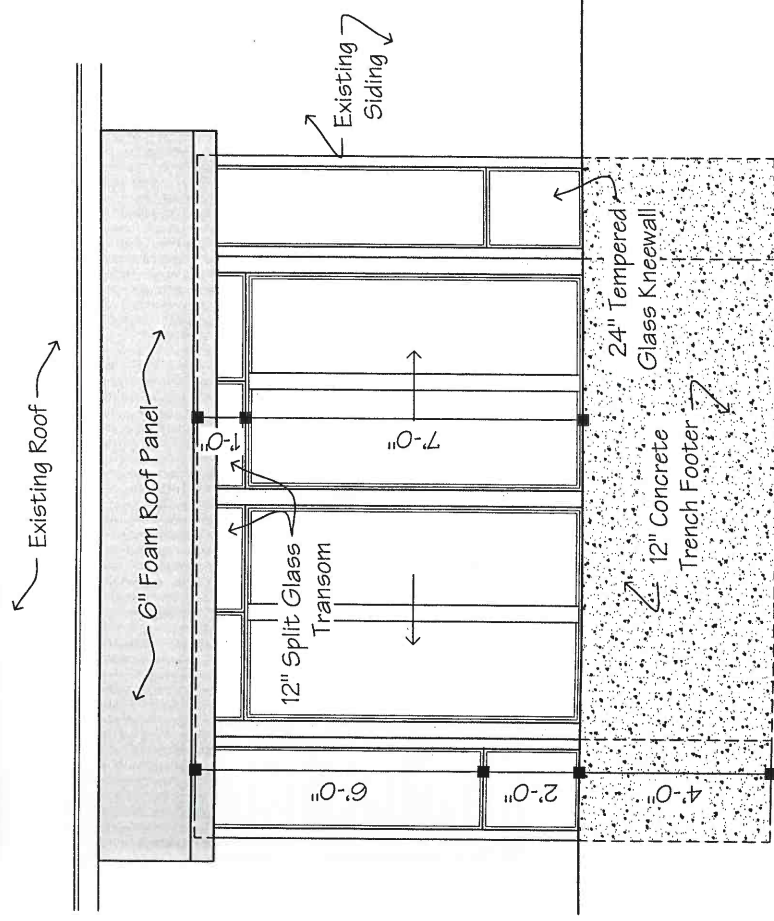
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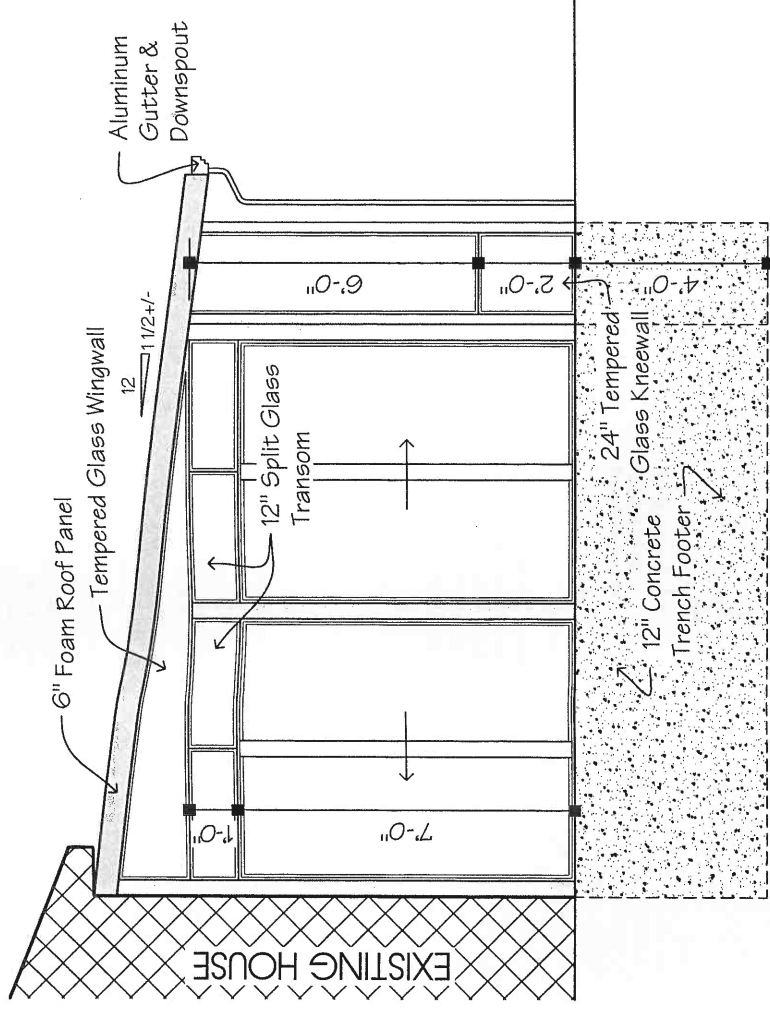
A1.1 Floor Plan

1/4"=1'-0"



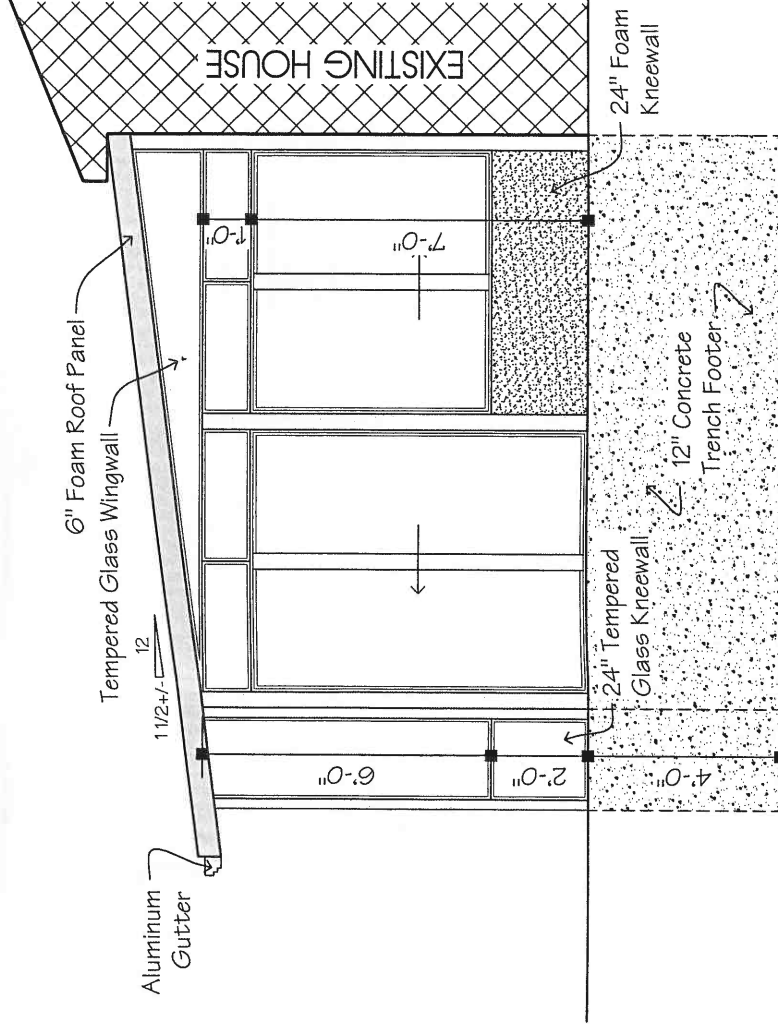
A1.3 Elevation

1/4"=1'-0"



A1.2 Elevation

1/4"=1'-0"



A1.4 Elevation

1/4"=1'-0"

General Notes:

- All Wood In Direct Contact With Concrete Must Be EPA Approved Preservative Treated Per Code, & Designated As "Ground Contact".
- All Connections To Existing House Shall Be Done In Accordance With Sound Construction Practices. Particular Attention Must Be Given To Ensure A Proper Load Path From The Sunroom To The Existing House Framing & To The Sunroom Foundation.
- All Wood Member Connections Shall Be Rigid & Secure Or Simpson Strong-Tie Or Equivalent Where Applicable.
- When Using EPA Approved Preservative Treated Lumber In Contact With Aluminum, First Isolate Wood From Aluminum With Either Of The Following, 15 Lb Roof Felt, Or 10 Mil Plastic Sheeting Prior To Installation Of Aluminum. All Fasteners In Direct Contact With Preservative Treated Wood Shall Be Hot-Dipped Galvanized Per ASTM A153, Or Other Approved Protective Coating. Trim Coil To Be Attached To Isolated Wood Post Using Stainless Steel Nails, Lags Or Joist Board, Or Must Penetrate Center Of Header Or Joist Board. Or Provide Solid Blocking For Lag Embedment.
- Wedge Bolts Shall Have Empigard "Tri-Coat Coating" & Shall Be Installed Per Manufacturer's Recommendations.
- All Windows, Doors, & Glass Wing Panels Shall Be Tempered Insulated Glass. Roof Panels Are Tempered Insulated Glass Or Annealed Insulated Laminated Glass If Height Above Grade Equals 12 Feet Or More.
- Registered Professional Stamping These Details Cannot Be Responsible For Soil Bearing Analysis Or Adequacy Of Existing Structures, Or Proposed Work Performed Or Coordinated By Owner.

Note:

- This Is A 3 Season, Unheated, Non-Habitable Space Exempt From NYS Energy Code.
- Either The Contractor Or The Owner Shall Install Smoke Detectors Throughout Existing Structure Per RCNYS 313.
- All Dimensions Are Nominal. Installed On New Or Existing Concrete Foundation.

Notes:
 1. All Lumber To Be S-P-F#2 Or Better
 2. All Lumber In Contact w/ Concrete To Be Pressure Treated
 3. All Lumber Closer Than 18" To Ground To Be Pressure Treated
 4. New 10 Dia Piles Calculated To Support Roof & Floor Loading

Design Loads:
 Snow- 50 PSF
 Wind- 105 MPH
 Live- 50 PSF
 Dead- 10 PSF
 seismic-D

All Concrete Shall Be Min. 3500 PSI With 5 - 7% Air Entrainment w/ Assumed Soil Bearing Capacity Of 2000 PSF

I Certify That When This Pre Engineered Structure By "Patio Enclosures, Inc." Is Assembled With The Manufacturers Directions It Meets The Design Load Requirements Of RCNYS. Snow: 55 PSF Wind: 115 Mph

D·E·A·N ARCHITECTS
 www.deanarchitects.com
 REGISTERED ARCHITECT
 STATE OF NEW YORK
 023863
 323 W. BENTLEY BLVD #43
 DEPEW, NY 14224
 PHONE: 716 851-0381
 FAX: 716 851-0382

20-209

GREAT DAY IMPROVEMENTS, LLC
 2620 North America Dr.
 West Seneca, NY 14224
 (716) 674-6446

Ditts Residence
 715 Hampshire Rd
 Syracuse, NY

No.	Description	Date	By
1	Construction Documents	5-11-20	AB

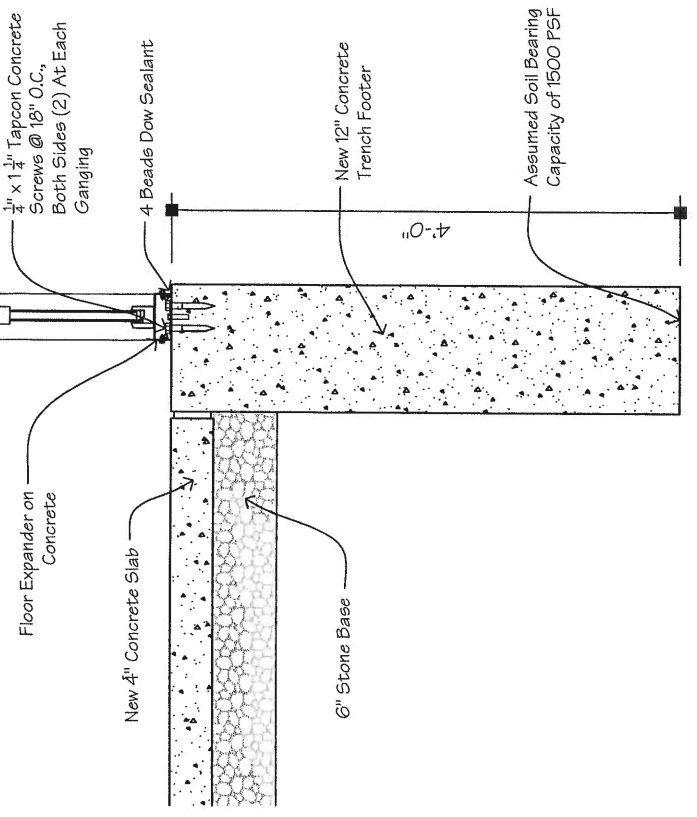
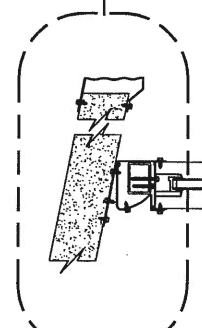
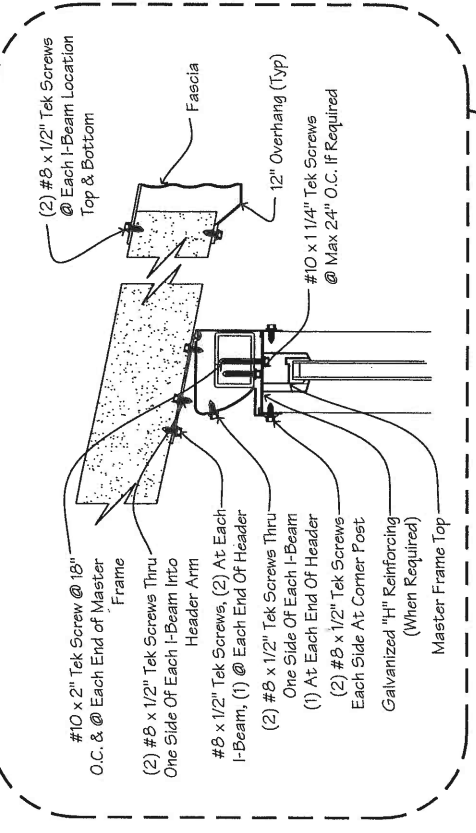
DATE: 4-30-2020
 DRAWN BY: A. Brass
 CHECKED BY: M. Dean
 SCALE: 1/4"=1'-0"

Plans & Elevations

A1

No.	Description	Date	By
1	Construction Documents	5-11-20	AB

DATE: 4-30-2020
DRAWN BY: A. Brosse
CHECKED BY: M. Dean
SCALE: AS NOTED

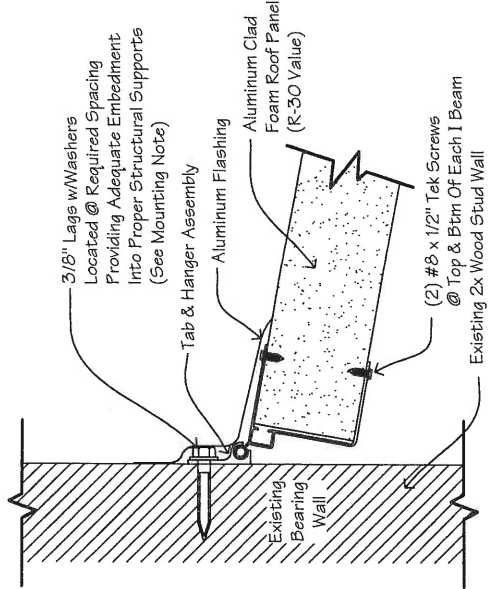


A2.4 Wall Section

Not To Scale

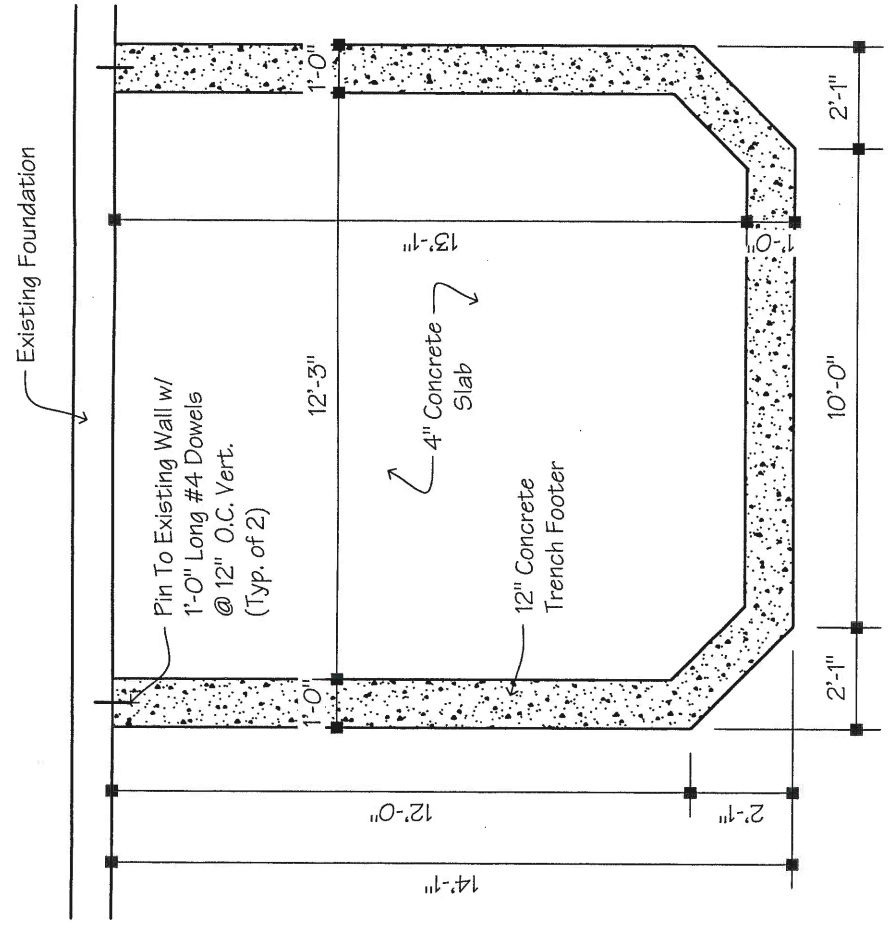
Mounting To Existing Structures:
Remove Existing Siding & Any Compressible Sheathing At Connection Points Of Enclosure To House. Lags Must Be Securely Anchored To Structural Framing Or Install Blocking Securely To Structural Framing To Provide Minimum 1 1/2" Embedment For Mounting Fasteners.

Mounting Note:
The Quality & Size of Fasteners Required Varies By Application. A Ledger w/ Lags, Adequately Fastened To The Existing Structure, Or A Support Beam Mounted On Support Posts At The Face Of The Existing Structure May Be Required Under Heavy Loads.



A2.3 Roof Connection @ House

Not To Scale



A2.1 Foundation Plan

1/4" = 1'-0"

Attaching Sunroom Wall Expander To Existing Structure:
Wood Framed Structures & Wood Framing w/ Brick Veneer: Use 1/4" Inch Diameter Galvanized Lags & Washers Providing A Minimum 1 1/2" Inch Embedment Into Wood Framing Or Wood Blocking Installed & Nailed To Wood Framing At All Locations Noted Below.

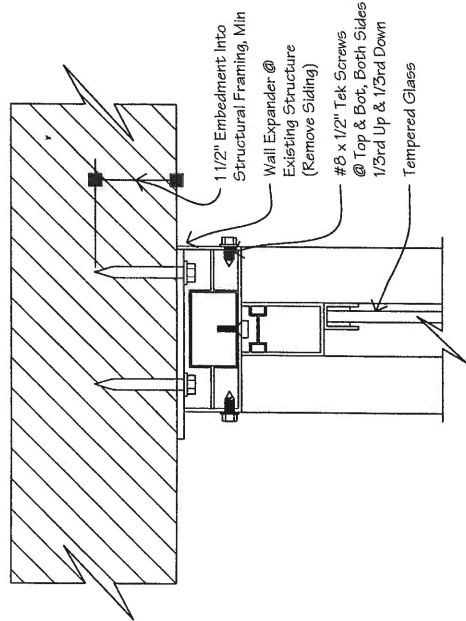
Bearing Walls:
Locate (2) Fasteners Near Floor Level. (2) At Knee Wall Of Railing Height. (2) At Transom, & (2) Near Header Height. Install Single Fasteners Located @ 16" O.C. Vertically & Staggered Along The Expander Height Between Double Fastener Locations Typical.

Non-Bearing Walls:
Locate (2) Fasteners Near Floor. (2) At Knee Wall Or Railing Height. (2) At Transom Height, (2) At H, & (2) Near Top End Of Expander Install Single Fasteners Located At 16" O.C. Vertically & Staggered Along The Expander Height Between Double Fasteners Locations (Typ)

A2.2 Connection @ House

To Existing House

Not To Scale



A2.4 Wall Section

Not To Scale



Patio Enclosures sunrooms are built to last. The angled wall adds uniqueness.

Experience the outdoors in comfort

Slow down a little, enjoy family and friends, and rediscover nature in a three-season sunroom. No more worries about bugs or inclement weather.



This Elite sunroom located on the Jersey Shore withstood the 140 mph winds of Hurricane Sandy without damage.

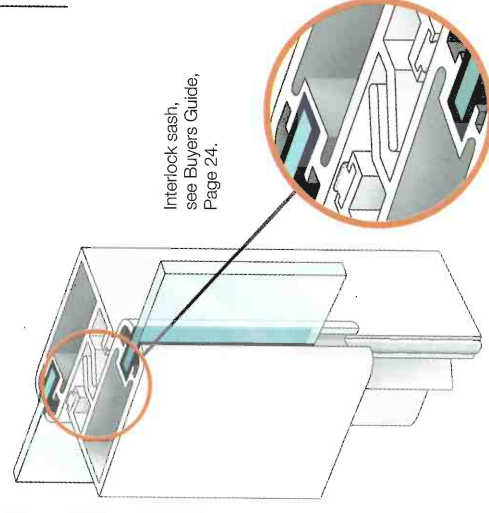
Enjoy your surroundings and the view from the comfort of your Elite sunroom. This top-of-the-line three-season sunroom offers more security and weather protection benefits than our other seasonal room products!

Quality you can see and feel

- Durability** — Our modernized powder-coated 3 1/8-inch construction-grade aluminum frame provides structural integrity and has the highest resistance to fading, peeling and chipping.
- Weather protection** — Our advanced weatherlock with interlocking sashes and polypropylene weather stripping with fin seal create an airtight system to keep inclement weather out of your sunroom.
- Dependability** — Windows and doors roll easily and screens won't fall out with our unique triple-track system.
- Ease of use** — Stainless steel ball bearings surrounded by nylon tires eliminate rust, sticky doors and reduce track wear keeping your windows and doors operating smoothly.
- Safety** — Single- or double-pane insulated, tempered glass increase safety.
- Visibility** — Black aluminum mesh screens increase visibility, eliminate sagging and stay cleaner than ordinary fiberglass screens.
- Security** — Our color-matched Euro-style handle easily engages the dual-point throw-bolt locking system and secondary night latch with ventilation set-back for exceptional security.
- Added light** — Add more natural light and a view of the sky with Comfort-Gard® PLUS high-performance glass roof panels (our skylights). Solar shades included.



Enjoy the outdoors in a three-season sunroom. Shown here in white with glass wings, rolling windows and glass knee walls.



Interlock sash, see Buyers Guide, Page 24.



ELITE THREE-SEASON SUNROOMS

Frame 3 1/8-inch powder-coated aluminum	Locking System Dual-point throw-bolt locking system, secondary night latch	Door Handle Color-matched, Euro-style	Weatherproofing Advanced weatherlock with interlock sash
			Frame Color Options White Sandstone Bronze

For detailed information, see the Buyers Guide, Pages 24-25.

PATIO ENCLOSURES ROOF SYSTEMS BUILT TO LAST



This is an actual un-retouched photo shot in our Macedonia, Ohio production facility. The only support system under our 3-inch roof panels with structural I-beams are the ones you see. There were no additional support systems underneath.

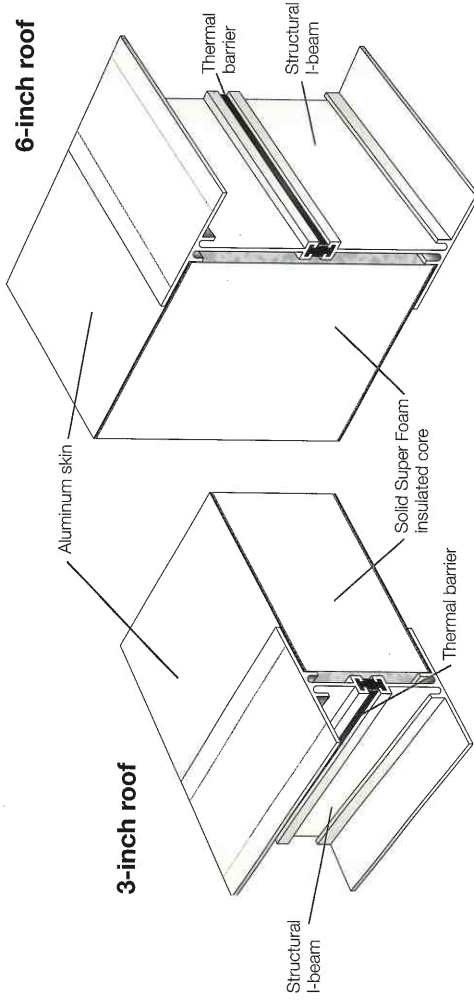
Super foam roofs for super strength

We've spent years building the strongest roofs in the industry so you can be carefree in all kinds of weather.

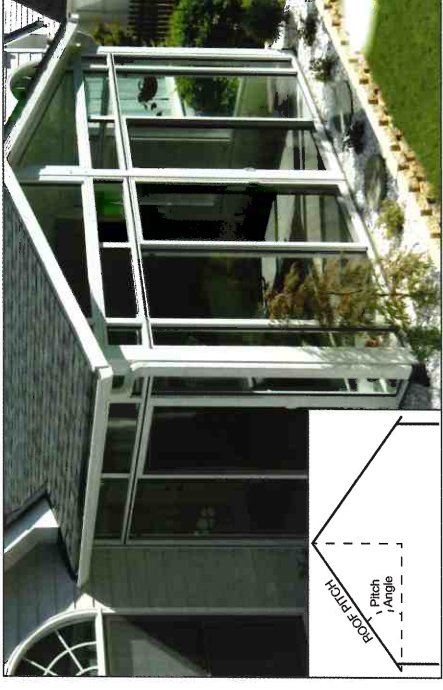
Would you park a two-and-one-half-ton Hummer H3 on your roof? We did! Because we're so confident of the engineered strength of our super-insulated roof system, we took this 5,100-pound Hummer for some real "off-road" activity. Our roof system passed this test with flying colors!

As energy efficient as it is strong

- | **3- or 6-inch-thick panels** insulate from weather and sound providing maximum structural integrity and meeting code requirements in a wide range of room sizes and designs.
- | **Structural I-beams** provide strength to withstand maximum snow loads and contain a thermal barrier to eliminate the transfer of heat or cold from the outside of the roof to the inside of the panel. This helps to keep your room more comfortable.
- | Our panels are 3-feet wide unlike our competitor's 4-foot panels. A smaller width allows us to **use more structural I-beams**, providing you with a stronger roof. We go the extra mile to make sure your roof is one of the industry's best.

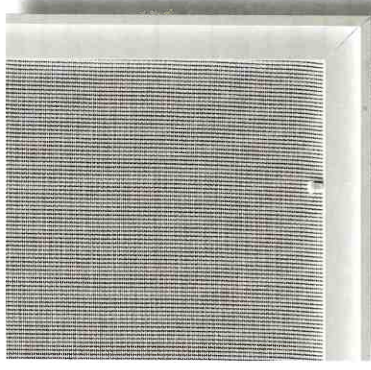


Gable Roof



Choose a gable (left) or single-slope (right) roof for your new enclosure. The pitch angle of the roof will be customized to suit your home.

Roof options



Close-up detail of removable solar screen.

Your Patio Enclosures' roof is completely customizable. Choose gable or single-slope, white or sandstone, and customize the pitch of the roof to suit your home.

Exclusive Comfort-Gard® PLUS glass roof panels

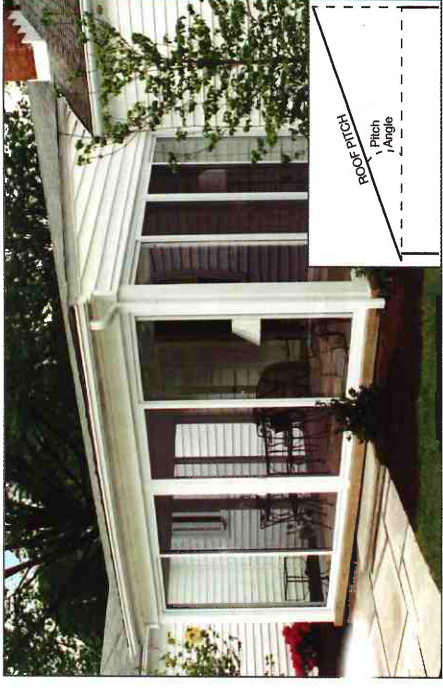
Take in the views of the night sky and let natural light filter in from above with our patented Comfort-Gard PLUS 3'x3' glass roof panels. They are made with our most energy-efficient glass that also reduces sun glare and helps slow the effects of damaging UV rays.

Glass roof panels are a built-in part of our three- or six-inch super foam roof and the glass is flush with the roof to prevent snow and ice build-up that causes leaks. Because we design and manufacture in our own facility, you have maximum flexibility in placing them.*

Glass roof panels come with removable solar screens that allow you to control the amount of incoming light.

*Glass roof panel layout depends on snow loads in your area.

Single-slope Roof



Choose a gable (left) or single-slope (right) roof for your new enclosure. The pitch angle of the roof will be customized to suit your home.



Energy-efficient Comfort-Gard PLUS glass roof panels allow more natural light into your sunroom.



Removable screens allow you to control the amount of incoming light.



Right: Glass roof panels are built in flush with the roof to prevent ice and snow build-up.

Choose the Patio Enclosures® room that is right for you.

Visit patioenclosures.com



	Screen Room	3-Season	Elite 3-Season	4-Season Aluminum	4-Season Vinyl	Solarium
Screens	Standard	Standard	Standard	Standard	Standard	Optional
Electrical	Optional	Optional	Optional	Standard	Standard	Optional
	Standard	Standard	Standard			
	Standard	Standard				
Weatherlock	Standard	Standard	Standard	Standard	Standard	Standard
Weather Stripping	Standard	Standard	Standard	Standard	Standard	Standard
Roof Options	Standard	Standard	Standard	Standard	Standard	Standard
	Optional	Optional	Optional	Optional	Optional	
	Standard	Standard	Standard	Standard	Standard	Standard
Door and Window Rolling Systems	Standard	Standard	Standard	Standard	Standard	Standard
Door Handles	Standard	Standard	Standard	Standard	Standard	Standard
Locking System	Standard	Standard	Standard	Standard	Standard	Standard
Glass		Standard	Standard	Standard	Standard	Standard
		Optional	Optional	Standard	Standard	Standard
		Optional	Optional	Optional	Optional	Optional
Glass Tints		Standard	Standard	Standard	Standard	Standard
Framing	Standard	Standard	Standard	Standard	Standard	Standard
				Standard		









